



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

## GENERAL NOTES

1. All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
2. All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
3. Examination of the site and portions thereof which affect this work shall be made by the General Contractor, who shall compare existing conditions with the contract documents and satisfy him/herself as to the existing conditions under which work is to be performed. Contractor shall at such time ascertain and verify the locations of existing structures.
4. The contract documents describe design intent, and are not intended to be all inclusive. Contractor is responsible for the means and methods to provide complete operational systems & installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
5. Contractor shall be responsible for thorough coordination of trades. All claims for additional work will not be awarded for any and all work related to such coordination.
6. Contractor shall verify all dimensions, elevations and conditions at the site, confirm that the work is buildable as shown, and notify Architect in writing of any discrepancies prior to proceeding with any and all work in question.
7. All dimensions are to finish face of concrete, centerline of steel, face of stud or casework unless otherwise noted. Dimensions noted as "CLR" must be precisely maintained. Dimensions are not adjustable without architect's approval unless noted as "A.L.". Verify dimensions marked "A.L." prior to commencement of construction, and notify architect of any inconsistencies.
8. All dimensions, notes and details shown on one portion of a drawing shall apply typically to all opposite hand and/or conditions unless otherwise noted.
9. "Align" shall mean to accurately locate finish faces in the same plane.
10. The contract documents are complementary. What is shown or referred to partially or whole on any shall be provided as though shown on all.
11. Do not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans and elevations.
12. Contractor shall verify layout of partitions, doors, electrical outlets, data and telephone outlets, light fixtures, and switches with Architect prior to proceeding with construction. Contractor shall verify that no conflicts exist in locations of any mechanical, telephone, data, electrical, lighting, plumbing and sprinkler equipment (to include, but not limited to all piping, ductwork and conduit) and that all required clearances for installation and maintenance are provided.
13. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the Contractor.
14. All work listed, shown, or implied on any contract document shall be supplied and installed by the Contractor, except where noted otherwise.
15. In case of conflict between the architect's and engineer's drawings in the location of materials and/or equipment, architectural drawings shall govern. The Contractor shall notify the Architect immediately of such conflict.
16. All manufactured articles, materials, and equipment shall be installed, connected, erected, cleaned, and conditioned per the manufacturer's instructions. In case of differences between manufacturer's instructions and the contract documents, the contractor shall notify the architect before proceeding with the work in question.
17. All work noted "By Others" or "N.L.C." shall be provided by owner or under separate contract. Submit to the architect and owner schedule requirements for this "other" work in the construction progress schedule and coordinate as required to assure orderly sequence of installation.
18. The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting any finished areas in or outside the job site. Burning of debris on site shall not be permitted.
19. Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without authorization from the architect or owner's representative. Failure to obtain authorization shall invalidate any claim for additional compensation.
20. Provide fireblocking at all ceilings, floors, furred-down ceilings, soffits, and concealed draft openings per CBC 708.2.1. Fireblocking shall not exceed 10 ft. max. in both vertical and horizontal directions.
21. Some work shall be designated as design / build - deferred submittal. It shall be submitted to the project architect and engineer of record for review and coordination. Following completion review and coordination by architect and engineer of record, the Design Builder is responsible to submit stamped drawings and calculations to the San Francisco Building Department for review and approval along with a letter frm Architect and Engineer of record that they have been coordinated and found to be acceptable with no exceptions. Design / Build - deferred submittal work shall include, but is not limited to:
  - Electrical Plans
  - Plumbing Plans
  - Mechanical Plans
  - Sprinkler and Fire Alarm Plans

## GENERAL CONSTRUCTION NOTES:

1. PROVIDE SMOKE DETECTORS AT BEDROOMS AND HALLWAYS PER CALIFORNIA BUILDING CODE.
2. AT ALL HABITABLE AREAS, RECEPTACLE OUTLETS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
  1. AT 12" O.C. MAXIMUM AND WITHIN 6 FEET FROM END OF WALLS.
  2. ANY WALL SPACE 2 OR MORE FEET WIDE.
    - AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", AND LOCATED SUCH THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTACLE.
    - IN ANY HALLWAY MORE THAN 10' IN LENGTH.
    - ADJACENT TO EACH BATHROOM BASIN LOCATION.
3. GROUND FAULT CIRCUIT INTERRUPT (GFCI) OUTLETS SHALL BE INSTALLED IN REMODELED AREAS AT THE FOLLOWING LOCATIONS:
  - GARAGE
  - BATHROOMS
  - ALL KITCHEN COUNTERTOPS
  - ALL EXTERIOR RECPTICLES
  - ALL UNFINISHED BASEMENT AREAS
  - WITHIN 6 FEET OF WET BAR SINKS
4. KITCHEN SHALL BE SUPPLIED WITH AT LEAST 2 SEPARATE 20 AMPERE SMALL APPLIANCE CIRCUITS.
5. LAUNDRY SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE CIRCUIT FOR LAUNDRY APPLIANCES.
6. BATHROOM RECEPTACLE OUTLETS SHALL BE ON A DEDICATED 20 AMPERE CIRCUIT AND SEPARATED FROM BATHROOM LIGHTING CIRCUITRY.
7. PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR GRILL TO SERVE DRYER.
8. WALL COVERINGS IN SHOWERS AND SHOWER /TUB COMBINATION UNITS SHALL BE CERAMIC TILE TO A HEIGHT OF +70", OVER APPROVED MORTAR BED OR CEMENTITIOUS TILE UNDERLAYMENT BOARD OVER A VAPOR BARRIER.
9. ALL MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN TUB / SHOWER AREAS ARE TO BE MOISTURE RESISTANT.
10. GLASS ENCLOSURE DOORS AND PANELS SHALL BE LABELED CATEGORY II, WITH ALL DOORS TO SHOWER SWINGING OUTWARD.
11. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.
12. ALL SHOWER AND TUB / SHOWERS ARE TO BE PROVIDED WITH PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE CONTROLS.
13. ALL NEW PLUMBING FIXTURES SHALL BE LOW FLOW WATER SAVING PLUMBING DEVICES.
14. ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:
  1. A. CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
  2. THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
  3. INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH
  4. HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
  5. HANDGRIP SURFACE SHALL BE 1-1/4" to 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
  6. HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.
15. A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.
16. EACH BATHROOM WITH A SHOWER OR BATHTUB MUST HAVE AT LEAST ONE LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT OR APPROVED EQUAL).
17. PRIMARY LIGHTING AT KITCHEN (FIRST SWITCH) SHALL CONTROL A LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT FIXTURE OR APPROVED EQUAL).
18. PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..
19. PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" X 30" WHERE ATTIC HEIGHT 30" OR GREATER AS PER C.B.C..
20. AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
21. SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
  1. GLAZING IN EGRESS OR EGRESS DOORS
  2. GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
  3. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
  4. GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT., EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

## PROJECT DESCRIPTION:

REMODEL EXISTING COTTAGE TO TWO-FAMILY RESIDENTIAL STRUCTURE. CONSTRUCTION OF NEW 4-STORY THREE FAMILY RESIDENTIAL STRUCTURE WITH BASEMENT ON SAME LOT, UNDER SEPERATE PERMIT.

## PROJECT INFO:

BLOCK / LOT: 3580 / 035  
(E) USE: R3 - SINGLE FAMILY  
PROPOSED USE: R3 - TWO-FAMILY  
ZONING: RM-1  
HEIGHT LIMIT: 40-X  
LOT: 31' X ~136'  
LOT AREA: 4,242 SQ. FT.  
CONSTRUCTION: TYPE-V-A, FULLY SPRINKLERED

## SHEET INDEX

### ARCHITECTURAL

A0.1 INDEX, PROJECT INFO, NOTES  
A1.0 PROPOSED AND EXISTING SITE PLANS  
A1.1 EXISTING / DEMOLITION PLANS  
A1.2 EXISTING ELEVATIONS  
A1.3 EXISTING ELEVATIONS  
A1.4 PROPOSED COTTAGE SECTION AND COTTAGE DEMOLITION CALCULATIONS  
A2.1 PROPOSED FIRST, SECOND FLOOR AND ROOF PLANS  
A3.1 PROPOSED ELEVATIONS

## BUILDING CALCS.

### NEW 3 UNIT RESIDENTIAL BUILDING:

<b>GARAGE:</b>	<b>663</b>	<b>SQ.FT.</b>
<b>ENTRY / LOBBY - FIRST FLOOR:</b>	<b>320</b>	<b>SQ.FT.</b>
<b>ENTRY / LOBBY - SECOND FLOOR:</b>	<b>91</b>	<b>SQ.FT.</b>
UNIT #1 - BASEMENT:	747	SQ.FT.
UNIT #1 - FIRST FLOOR:	658	SQ.FT.
<b>UNIT #1 - TOTAL:</b>	<b>1,405</b>	<b>SQ.FT.</b>
UNIT #2 - SECOND FLOOR:	792	SQ.FT.
UNIT #2 - THIRD FLOOR:	972	SQ.FT.
UNIT #2 - FOURTH FLOOR:	737	SQ.FT.
<b>UNIT #2 - TOTAL:</b>	<b>2,501</b>	<b>SQ.FT.</b>

UNIT #2 - SECOND FLOOR DECK:	150	SQ.FT.
UNIT #2 - THIRD FLOOR DECK:	87	SQ.FT.
UNIT #2 - FOURTH FLOOR DECK:	322	SQ.FT.
UNIT #2 - ROOF DECK:	302	SQ.FT.

UNIT #3 - SECOND FLOOR:	822	SQ.FT.
UNIT #3 - THIRD FLOOR:	746	SQ.FT.
UNIT #3 - FOURTH FLOOR:	750	SQ.FT.
<b>UNIT #3 - TOTAL:</b>	<b>2,318</b>	<b>SQ.FT.</b>

UNIT #3 - THIRD FLOOR DECK:	51	SQ.FT.
UNIT #3 - FOURTH FLOOR DECK:	104	SQ.FT.
UNIT #3 - ROOF DECK:	302	SQ.FT.

<b>NEW 3 UNIT RESIDENTIAL BUILDING</b>		
<b>TOTAL AREA:</b>	<b>7,268</b>	<b>SQ.FT.</b>

### REMODELED COTTAGE BUILDING:

EXISTING FIRST FLOOR:	1,075	SQ.FT.
EXISTING SECOND FLOOR:	1,140	SQ.FT.
TOTAL AREA:	2,215	SQ.FT.

UNIT #4 - FIRST FLOOR:	574	SQ.FT.
UNIT #4 - SECOND FLOOR:	487	SQ.FT.
<b>UNIT #4 - TOTAL:</b>	<b>1,061</b>	<b>SQ.FT.</b>

UNIT #5 - FIRST FLOOR:	574	SQ.FT.
UNIT #5 - SECOND FLOOR:	487	SQ.FT.
<b>UNIT #5 - TOTAL:</b>	<b>1,061</b>	<b>SQ.FT.</b>

<b>NEW REMODELED COTTAGE</b>		
<b>TOTAL AREA:</b>	<b>2,122</b>	<b>SQ.FT.</b>

## PROJECT DIRECTORY:

### ARCHITECTURAL DRAWINGS

Y.A. studio  
2407 Harrison Street, suite 2  
San Francisco, CA 94110  
415.920.1839

### OWNER

Matt Pendergast & Bill Young  
265 Dorland Street  
San Francisco, CA 94114  
415.726.5002

## APPLICABLE CODES:

2007 CALIFORNIA BUILDING CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA FIRE CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA PLUMBING CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA ELECTRICAL  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA MECHANICAL CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 S.F. HOUSING CODE  
2005 CALIFORNIA ENERGY CODE  
ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS



## 3 - LOCATION MAP

SCALE: N/A



## 2 - SITE PHOTO

SCALE: N/A



## 1 - STREET PHOTO

SCALE: N/A

Y.A. studio

REMODEL OF (E) REAR YARD COTTAGE

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

2407 Harrison Street, #2, San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT:

STAMP

TITLE

INDEX, NOTES,  
INFO

REV.

PRINTING

SITE PERMIT

DATE

02.17.09

JOB NO.

08029 - DORLAND

DRAWN

K.W.

CHECKED

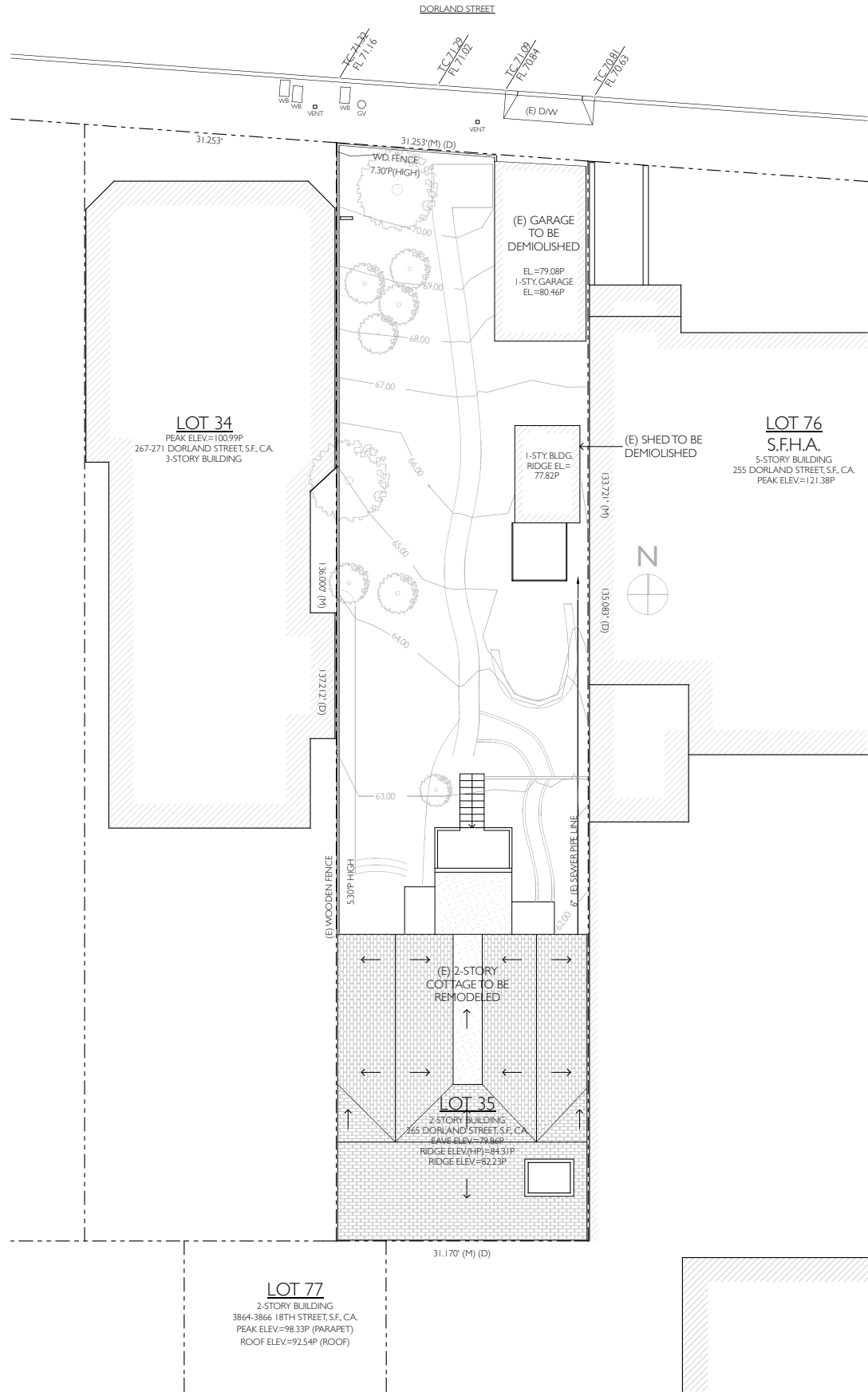
Y.A.

DATE

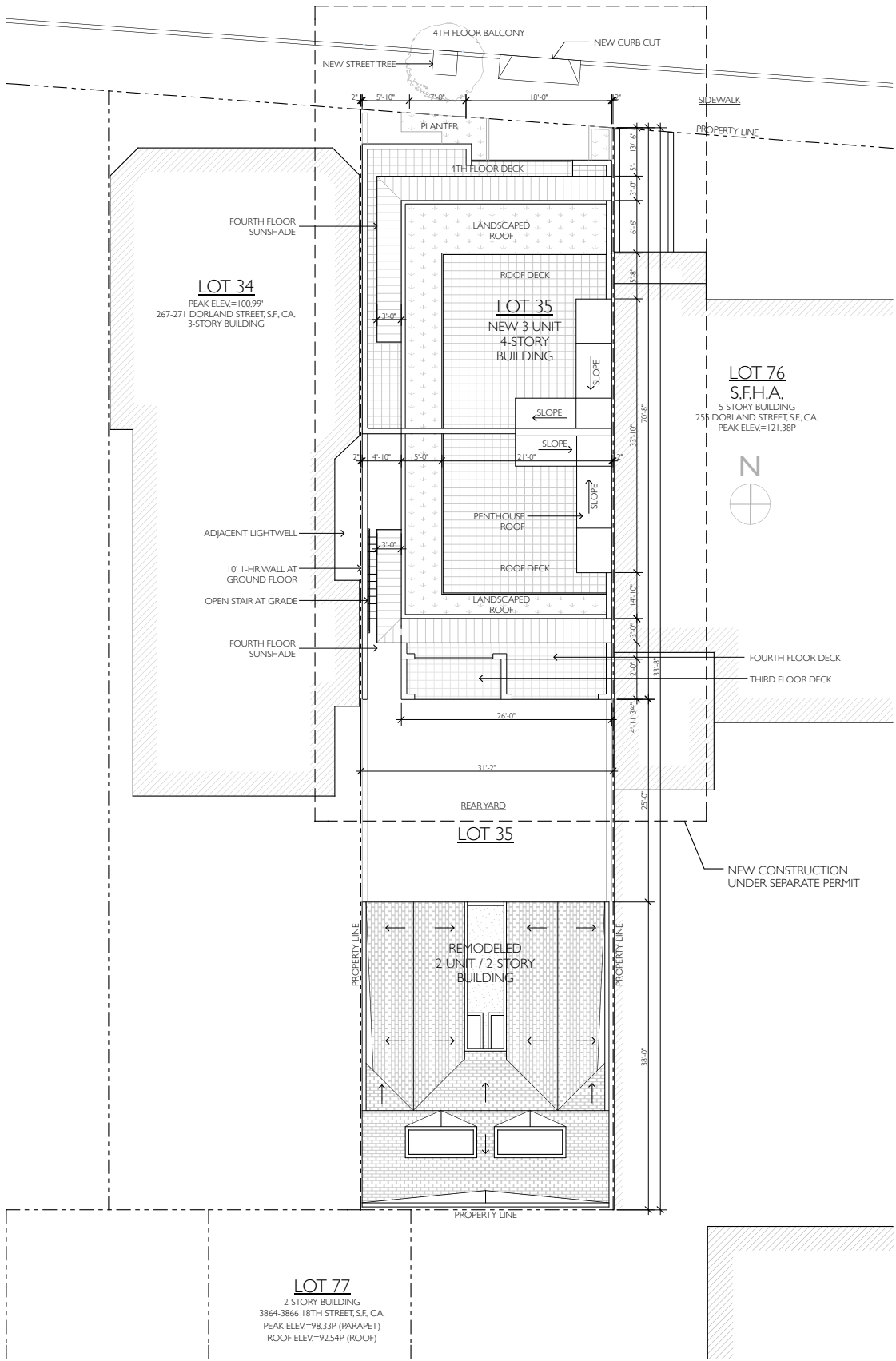
02.17.09

SHEET

A0.1



2- EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"



1- PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"

PROJECT:

REMODEL OF (E) REAR YARD COTTAGE

STAMP

TITLE

SITE PLAN

REV. PRINTING

SITE PERMIT

DATE

02.17.09

JOB NO.

08029 - DORLAND

DRAWN

K.W.

CHECKED

Y.A.

DATE

02.17.09

SHEET

Y.A. studio

2407 Harrison Street, #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

A1.0



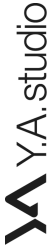
3- EXISTING FRONT ELEVATION AT COTTAGE  
SCALE: 1/8"=1'-0"



2- EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"



1- EXISTING FRONT ELEVATION  
SCALE: 1/8"=1'-0"



PROJECT: REMODEL OF (E) REAR YARD COTTAGE

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

2407 Harrison Street, #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

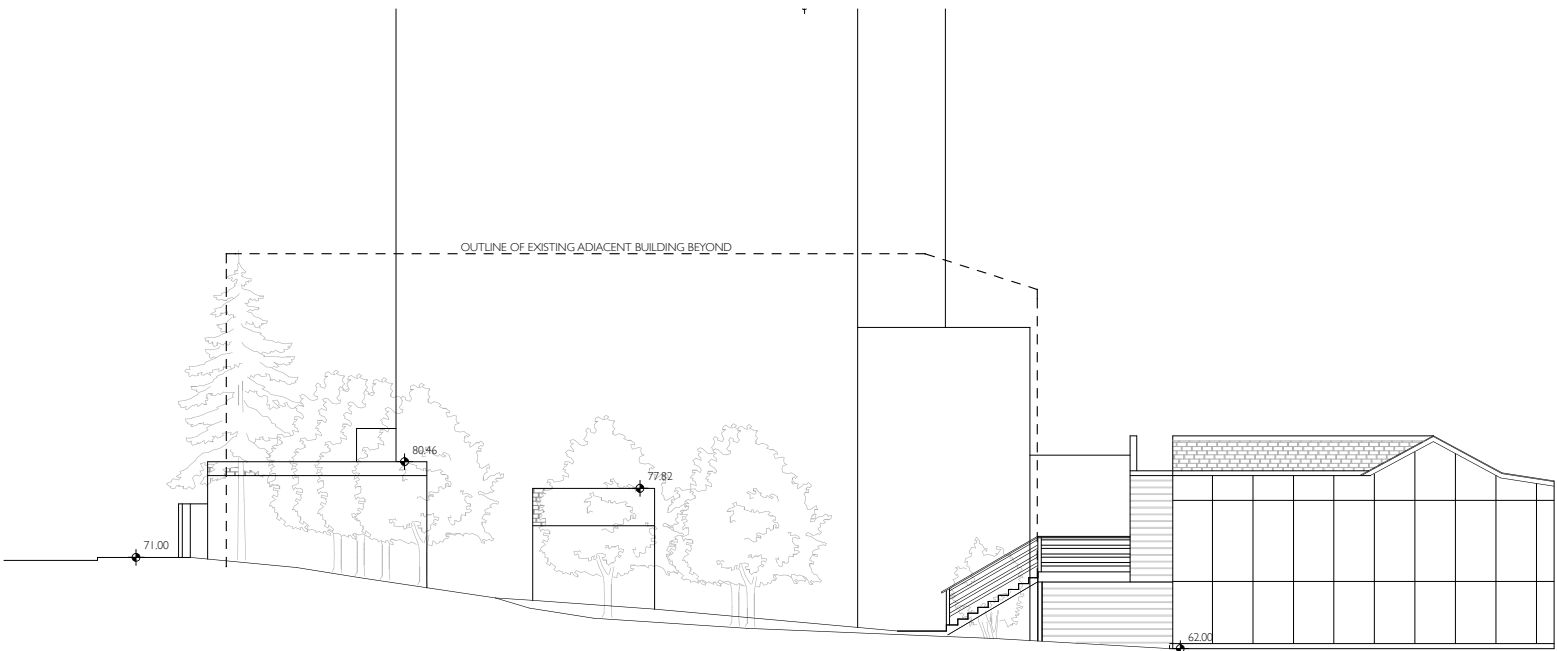
STAMP

TITLE  
EXISTING  
ELEVATIONS

REV. PRINTING DATE  
SITE PERMIT 02.17.09

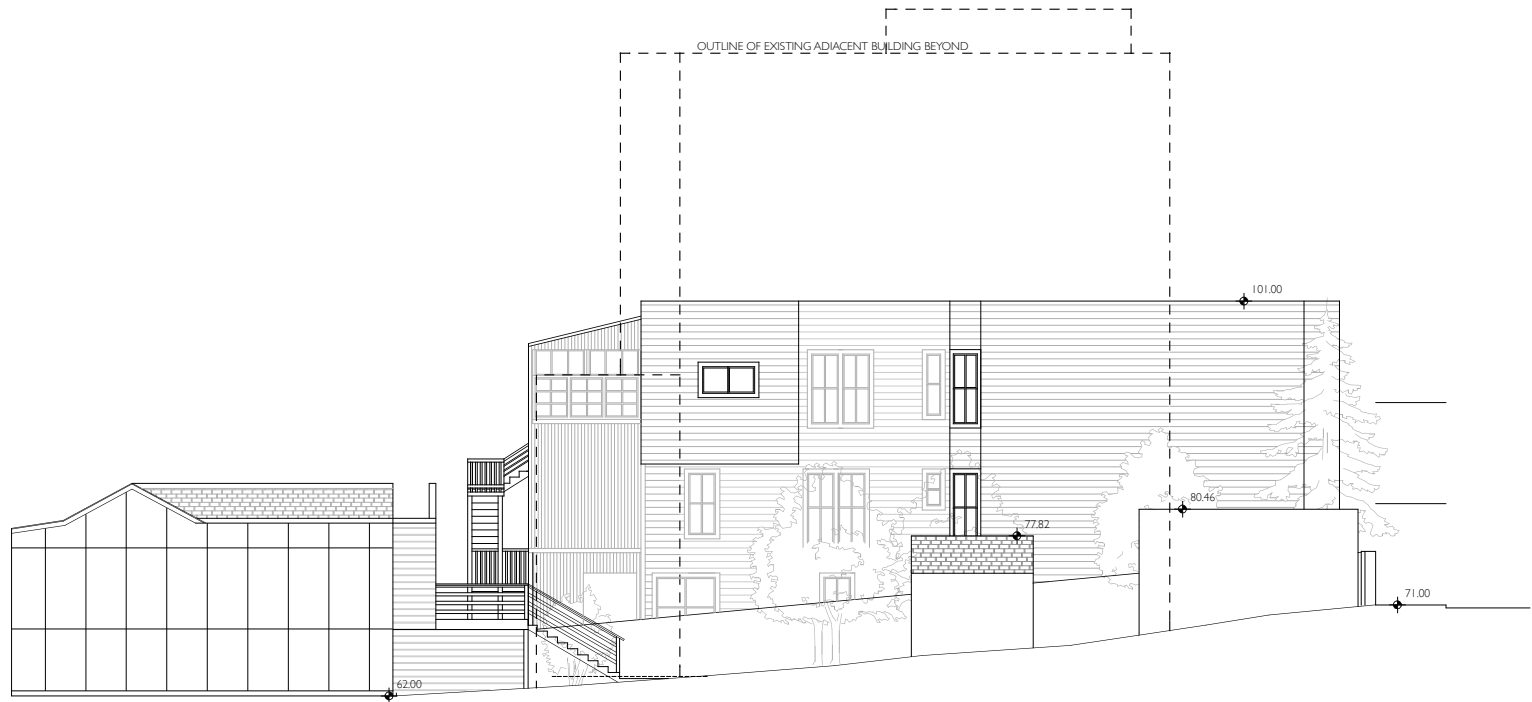
JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 02.17.09  
SHEET

A1.2



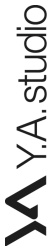
2- EXISTING SIDE ELEVATION

SCALE: 1/8"=1'-0"



1- EXISTING SIDE ELEVATION

SCALE: 1/8"=1'-0"



2407 Harrison Street, #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT: REMODEL OF (E) REAR YARD COTTAGE

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

PROJECT:

STAMP

TITLE

EXISTING SIDE  
ELEVATIONS

REV. PRINTING  
SITE PERMIT

DATE  
02.17.09

JOB NO. 08029 - DORLAND

DRAWN K.W.

CHECKED Y.A.

DATE 02.17.09

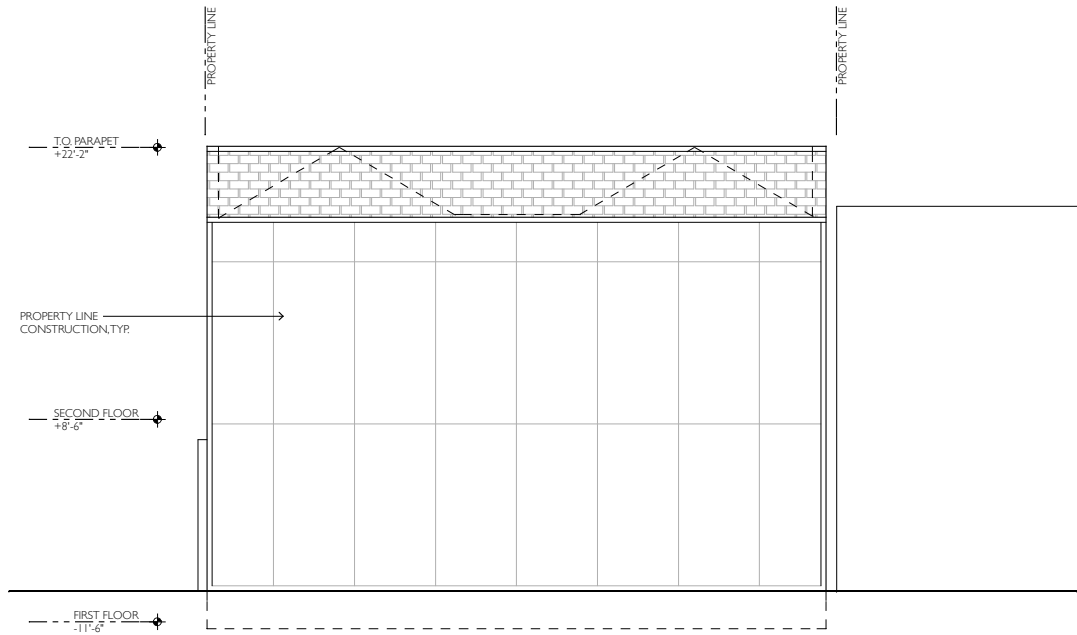
SHEET

A1.3

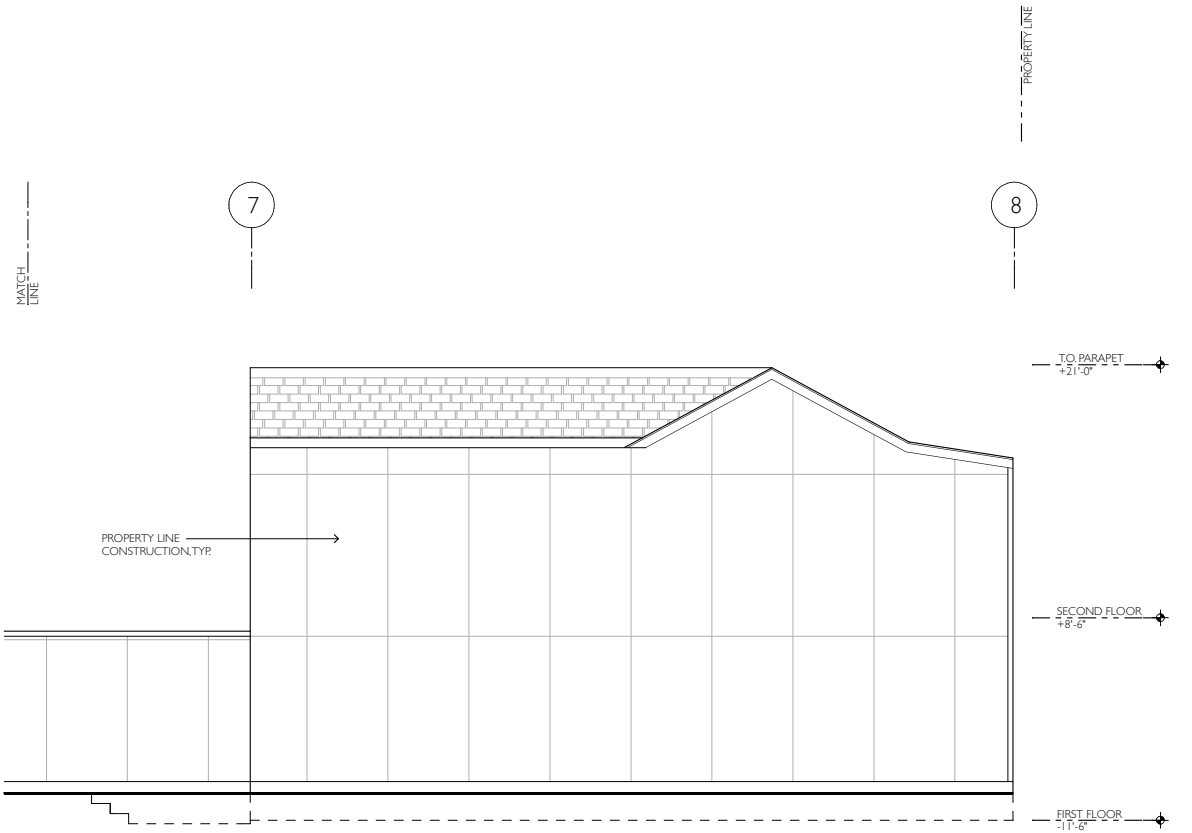




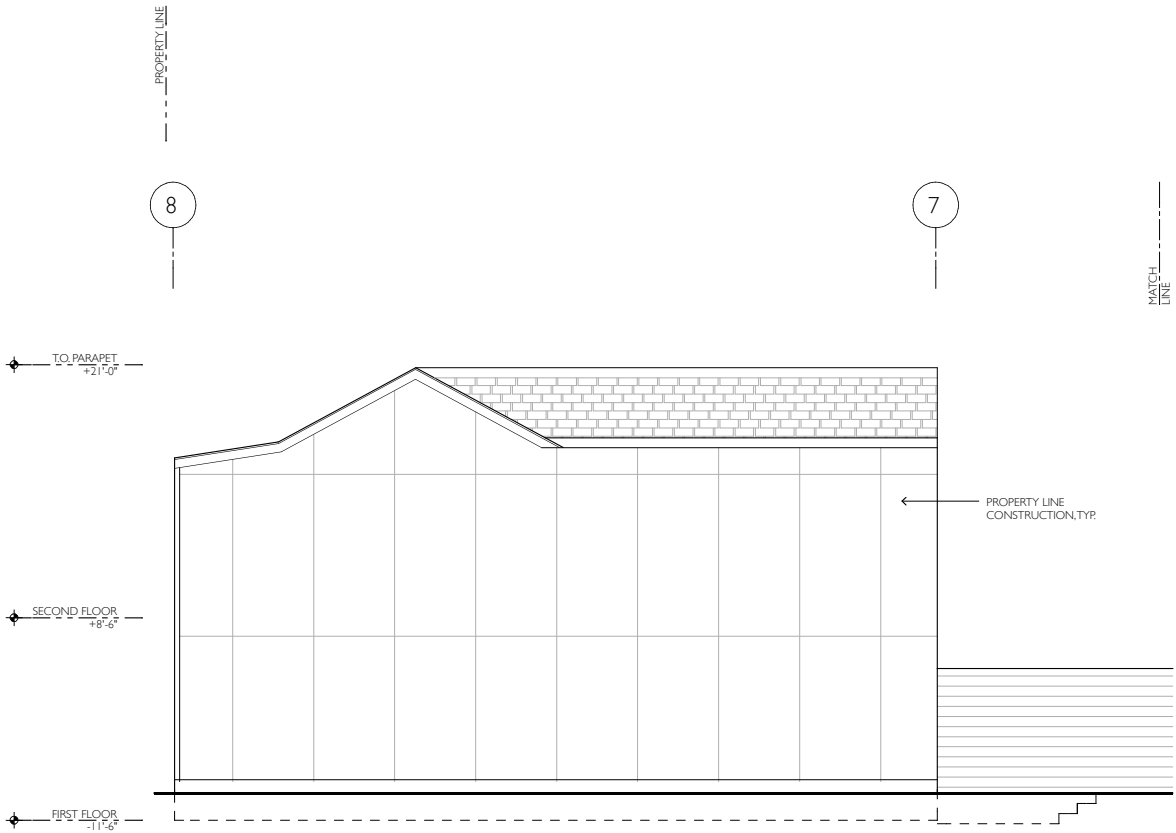
1- COTTAGE FRONT ELEVATION - NORTH  
SCALE: 1/4"=1'-0"



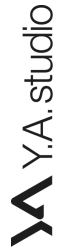
2- COTTAGE FRONT ELEVATION - SOUTH  
SCALE: 1/4"=1'-0"



3- COTTAGE FRONT ELEVATION - WEST  
SCALE: 1/4"=1'-0"



4- COTTAGE FRONT ELEVATION - EAST  
SCALE: 1/4"=1'-0"



PROJECT: REMODEL OF (E) REAR YARD COTTAGE

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

2407 Harrison Street, #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

STAMP

TITLE  
COTTAGE  
ELEVATIONS

REV. PRINTING DATE  
SITE PERMIT 02.17.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 02.17.09  
SHEET

A3.1

## GENERAL NOTES

1. All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
2. All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
3. Examination of the site and portions thereof which affect this work shall be made by the General Contractor, who shall compare existing conditions with the contract documents and satisfy him/herself as to the existing conditions under which work is to be performed. Contractor shall at such time ascertain and verify the locations of existing structures.
4. The contract documents describe design intent, and are not intended to be all inclusive. Contractor is responsible for the means and methods to provide complete operational systems & installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
5. Contractor shall be responsible for thorough coordination of trades. All claims for additional work will not be awarded for any and all work related to such coordination.
6. Contractor shall verify all dimensions, elevations and conditions at the site, confirm that the work is buildable as shown, and notify Architect in writing of any discrepancies prior to proceeding with any and all work in question.
7. All dimensions are to finish face of concrete, centerline of steel, face of stud or casework unless otherwise noted. Dimensions noted as "CLR" must be precisely maintained. Dimensions are not adjustable without architect's approval unless noted as "H.C.". Verify dimensions marked "N.I.C." prior to commencement of construction, and notify architect of any inconsistencies.
8. All dimensions, notes and details shown on one portion of a drawing shall apply typically to all opposite hand and/or conditions unless otherwise noted.
9. "Align" shall mean to accurately locate finish faces in the same plane.
10. The contract documents are complementary. What is shown or referred to partially or whole on any shall be provided as though shown on all.
11. Do not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans and elevations.
12. Contractor shall verify layout of partitions, doors, electrical outlets, data and telephone outlets, light fixtures, and switches with Architect prior to proceeding with construction. Contractor shall verify that no conflicts exist in locations of any mechanical, telephone, data, electrical, lighting, plumbing, and sprinkler equipment (to include, but not limited to all piping, ductwork and conduit) and that all required clearances for installation and maintenance are provided.
13. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the Contractor.
14. All work listed, shown, or implied on any contract document shall be supplied and installed by the Contractor, except where noted otherwise.
15. In case of conflict between the architect's and engineer's drawings in the location of materials and/or equipment, architectural drawings shall govern. The Contractor shall notify the Architect immediately of such conflict.
16. All manufactured articles, materials, and equipment shall be installed, connected, erected, cleaned, and conditioned per the manufacturer's instructions. In case of differences between manufacturer's instructions and the contract documents, the contractor shall notify the architect before proceeding with the work in question.
17. All work noted "By Others" or "N.I.C." shall be provided by owner or under separate contract. Submit to the architect and owner schedule requirements for this "other" work in the construction progress schedule and coordinate as required to assure orderly sequence of installation.
18. The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting any finished areas in or outside the job site. Burning of debris on site shall not be permitted.
19. Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without authorization from the architect or owner's representative. Failure to obtain authorization shall invalidate any claim for additional compensation.
20. Provide fireblocking at all ceilings, floors, furred-down ceilings, soffits, and concealed draft openings per CBC 708.2.1. Fireblocking shall not exceed 10 ft. max. in both vertical and horizontal directions.
21. Some work shall be designated as design / build - deferred submittal. It shall be submitted to the project architect and engineer of record for review and coordination. Following completion review and coordination by architect and engineer of record, the Design/Builder is responsible to submit stamped drawings and calculations to the San Francisco Building Department for review and approval along with a letter from Architect and Engineer of record that they have been coordinated and found to be acceptable with no exceptions. Design / Build - deferred submittal work shall include, but is not limited to:
  - Electrical Plans
  - Plumbing Plans
  - Mechanical Plans
  - Sprinkler and Fire Alarm Plans

## GENERAL CONSTRUCTION NOTES:

1. PROVIDE SMOKE DETECTORS AT BEDROOMS AND HALLWAYS PER CALIFORNIA BUILDING CODE.
2. AT ALL HABITABLE AREAS, RECEPTICLE OUTLETS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
  1. AT 12" O.C. MAXIMUM AND WITHIN 6 FEET FROM END OF WALLS.
  2. ANY WALL SPACE 2' OR MORE FEET WIDE.
    - AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", AND LOCATED SUCH THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTICLE.
    - IN ANY HALLWAY MORE THAN 10' IN LENGTH.
    - ADJACENT TO EACH BATHROOM BASIN LOCATION.
3. GROUND FAULT CIRCUIT INTERRUPT (GFCI) OUTLETS SHALL BE INSTALLED IN REMODELED AREAS AT THE FOLLOWING LOCATIONS:
  - GARAGE
  - BATHROOMS
  - ALL KITCHEN COUNTERTOPS
  - ALL EXTERIOR RECEPTICLES
  - ALL UNFINISHED BASEMENT AREAS
  - WITHIN 6 FEET OF WET BAR SINKS
4. KITCHEN SHALL BE SUPPLIED WITH AT LEAST 2 SEPARATE 20 AMPERE SMALL APPLIANCE CIRCUITS.
5. LAUNDRY SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE CIRCUIT FOR LAUNDRY APPLIANCES.
6. BATHROOM RECEPTICLE OUTLETS SHALL BE ON A DEDICATED 20 AMPERE CIRCUIT AND SEPARATED FROM BATHROOM LIGHTING CIRCUITRY.
7. PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR GRILL TO SERVE DRYER.
8. WALL COVERINGS IN SHOWERS AND SHOWER / TUB COMBINATION UNITS SHALL BE CERAMIC TILE TO A HEIGHT OF +7'0", OVER APPROVED MORTAR BED OR CEMENTITIOUS TILE UNDERLAYMENT BOARD OVER A VAPOR BARRIER.
9. ALL MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN TUB / SHOWER AREAS ARE TO BE MOISTURE RESISTANT.
10. GLASS ENCLOSURE DOORS AND PANELS SHALL BE LABELED CATEGORY II, WITH ALL DOORS TO SHOWER SWINGING OUTWARD.
11. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.
12. ALL SHOWER AND TUB / SHOWERS ARE TO BE PROVIDED WITH PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE CONTROLS.
13. ALL NEW PLUMBING FIXTURES SHALL BE LOW FLOW WATER SAVING PLUMBING DEVICES.
14. ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:
  1. A CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
  2. THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
  3. INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH
  4. HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
  5. HANDGRIP SURFACE SHALL BE 1-1/4" TO 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
  6. HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.
15. A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.
16. EACH BATHROOM WITH A SHOWER OR BATHTUB MUST HAVE AT LEAST ONE LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT OR APPROVED EQUAL).
17. PRIMARY LIGHTING AT KITCHEN (FIRST SWITCH) SHALL CONTROL A LUMINARY WITH AN EFFICACY OF AT LEAST 40 LUMENS PER WATT (FLOURESCENT FIXTURE OR APPROVED EQUAL).
18. PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..
19. PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" X 30" WHERE ATTIC HEIGHT 30" OR GREATER, AS PER C.B.C..
20. AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
21. SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
  1. GLAZING IN EGRESS OR EGRESS DOORS
  2. GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
  3. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
  4. GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT., EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

## PROJECT DESCRIPTION:

NEW 4-STORY THREE FAMILY RESIDENTIAL STRUCTURE  
WITH BASEMENT. REMODEL EXISTING COTTAGE TO  
TWO-FAMILY RESIDENTIAL STRUCTURE UNDER SEPARATE PERMIT.

## PROJECT INFO:

BLOCK / LOT: 3580 / 035  
(E) USE: RESIDENTIAL  
PROPOSED USE: R2 - MULTI-FAMILY RESIDENTIAL  
ZONING: RM-1  
HEIGHT LIMIT: 40-X  
LOT: 31' X ~136'  
LOT AREA: 4,242 SQ. FT.  
CONSTRUCTION: TYPE-V-A, FULLY SPRINKLERED

## SHEET INDEX

ARCHITECTURAL  
A0.1 INDEX, PROJECT INFO, NOTES  
A1.0 1/16" SCALE SITE PLAN & RENDERINGS  
A1.0a PROPOSED AND EXISTING SITE PLAN  
A1.1 EXISTING FLOOR PLANS  
A1.2 EXISTING ELEVATIONS  
A1.3 EXISTING ELEVATIONS  
A2.1 PROPOSED BASEMENT AND FIRST FLOOR PLANS  
A2.2 PROPOSED SECOND AND THIRD FLOOR PLANS  
A2.3 PROPOSED FOURTH FLOOR AND PENTHOUSE PLANS  
A3.1 PROPOSED FRONT ELEVATION  
A3.2 PROPOSED REAR ELEVATION  
A3.3 PROPOSED EAST ELEVATION  
A3.4 PROPOSED WEST ELEVATION  
A3.5 PROPOSED SECTION

## BUILDING CALCS.

### NEW 3 UNIT RESIDENTIAL BUILDING:

**GARAGE:** 663

**ENTRY / LOBBY - FIRST FLOOR:** 320  
**ENTRY / LOBBY - SECOND FLOOR:** 91

UNIT #1 - BASEMENT: 747  
UNIT #1 - FIRST FLOOR: 658  
**UNIT #1 - TOTAL:** 1,405

UNIT #2 - SECOND FLOOR: 792  
UNIT #2 - THIRD FLOOR: 972  
UNIT #2 - FOURTH FLOOR: 737  
**UNIT #2 - TOTAL:** 2,501

UNIT #2 - SECOND FLOOR DECK: 150  
UNIT #2 - THIRD FLOOR DECK: 87  
UNIT #2 - FOURTH FLOOR DECK: 322  
UNIT #2 - ROOF DECK: 302

UNIT #3 - SECOND FLOOR: 822  
UNIT #3 - THIRD FLOOR: 746  
UNIT #3 - FOURTH FLOOR: 750  
**UNIT #3 - TOTAL:** 2,318

UNIT #3 - THIRD FLOOR DECK: 51  
UNIT #3 - FOURTH FLOOR DECK: 104  
UNIT #3 - ROOF DECK: 302

**NEW 3 UNIT RESIDENTIAL BUILDING**  
**TOTAL AREA:** 7,268

**REMODELED COTTAGE BUILDING:**  
EXISTING FIRST FLOOR: 1,075  
EXISTING SECOND FLOOR: 1,140  
TOTAL AREA: 2,215

UNIT #4 - FIRST FLOOR: 574  
UNIT #4 - SECOND FLOOR: 487  
**UNIT #4 - TOTAL:** 1,061

UNIT #5 - FIRST FLOOR: 574  
UNIT #5 - SECOND FLOOR: 487  
**UNIT #5 - TOTAL:** 1,061

**NEW REMODELED COTTAGE**  
**TOTAL AREA:** 2,122

## PROJECT DIRECTORY:

**ARCHITECTURAL DRAWINGS**  
Y.A. studio  
2407 Harrison Street, suite 2  
San Francisco, CA 94110  
415.920.1839

**OWNER**  
Matt Pendergast & Bill Young  
265 Dorland Street  
San Francisco, CA 94114  
415.726.5002

## APPLICABLE CODES:

2007 CALIFORNIA BUILDING CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA FIRE CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA PLUMBING CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA ELECTRICAL  
W/ 2007 S.F. ADMENDMENTS  
2007 CALIFORNIA MECHANICAL CODE  
W/ 2007 S.F. ADMENDMENTS  
2007 S.F. HOUSING CODE  
2005 CALIFORNIA ENERGY CODE  
ALL OTHER APPLICABLE LOCAL AND STATE  
LAWS AND REGULATIONS



## 3 - LOCATION MAP

SCALE: N/A



## 2 - SITE PHOTO

SCALE: N/A



## 1 - STREET PHOTO

SCALE: N/A

Y.A. studio

PROJECT: **3 - NEW RESIDENTIAL CONDOS**

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

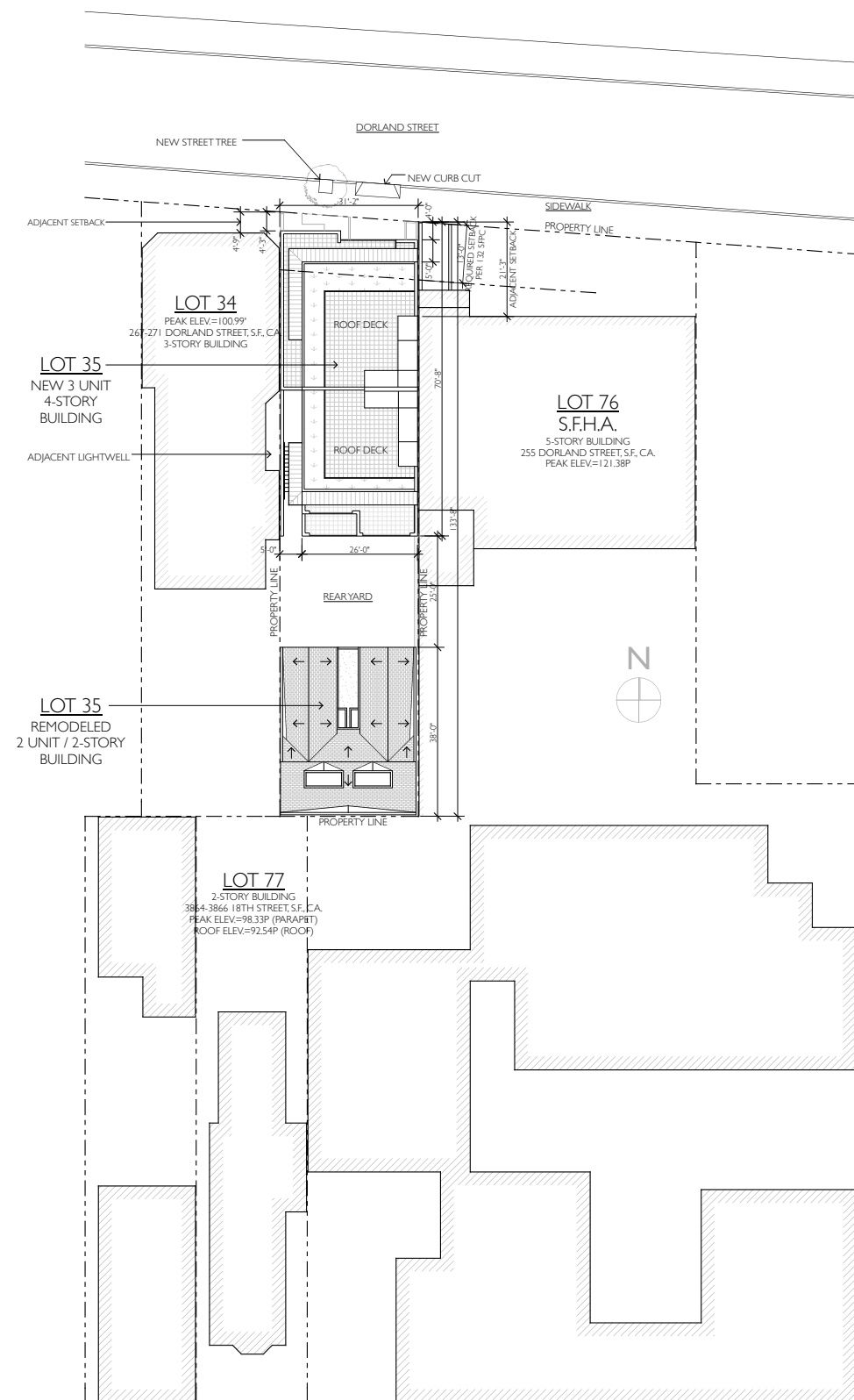
STAMP

TITLE  
**INDEX, NOTES,  
INFO**

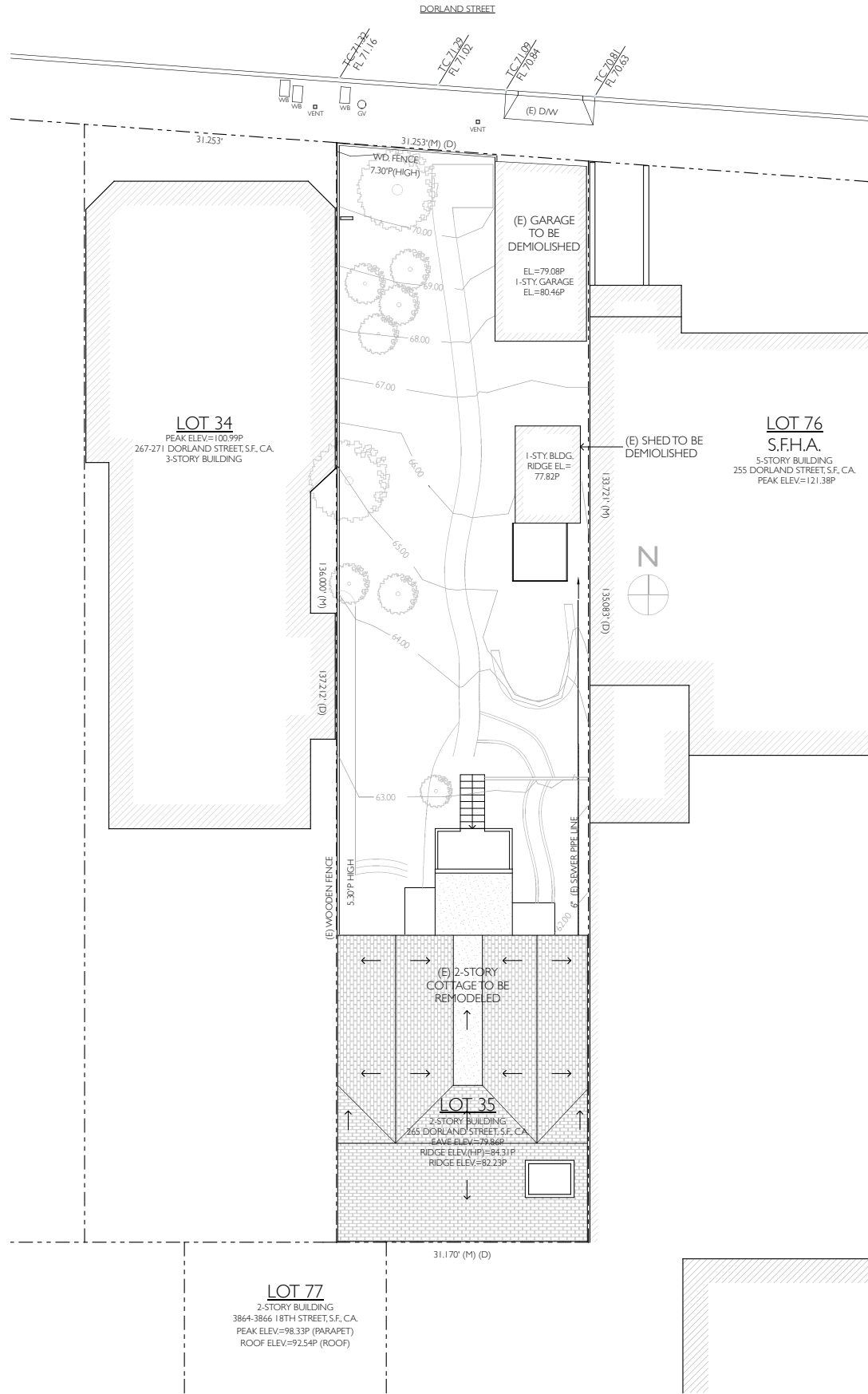
REV. PRINTING DATE  
SITE PERMIT 02.17.09  
REV. SITE PERMIT 05.18.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 05.18.09  
SHEET

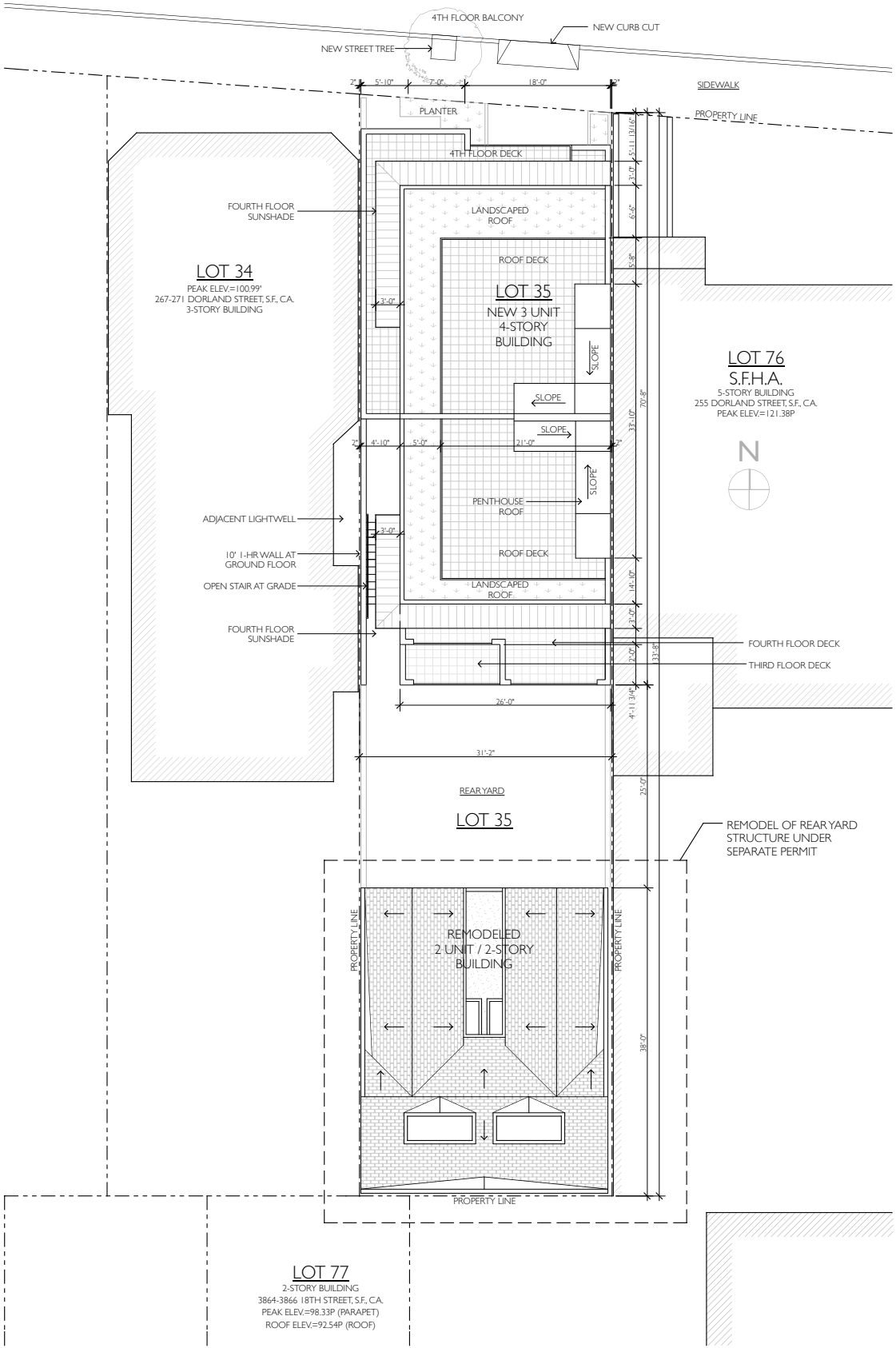
A0.1



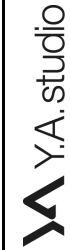




2- EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"



1- PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"



PROJECT: 3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

STAMP

TITLE  
SITE PLAN

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO.	08029 - DORLAND
DRAWN	K.W.
CHECKED	Y.A.
DATE	05.18.09
SHEET	

A1.0a

2407 Harrison Street #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com



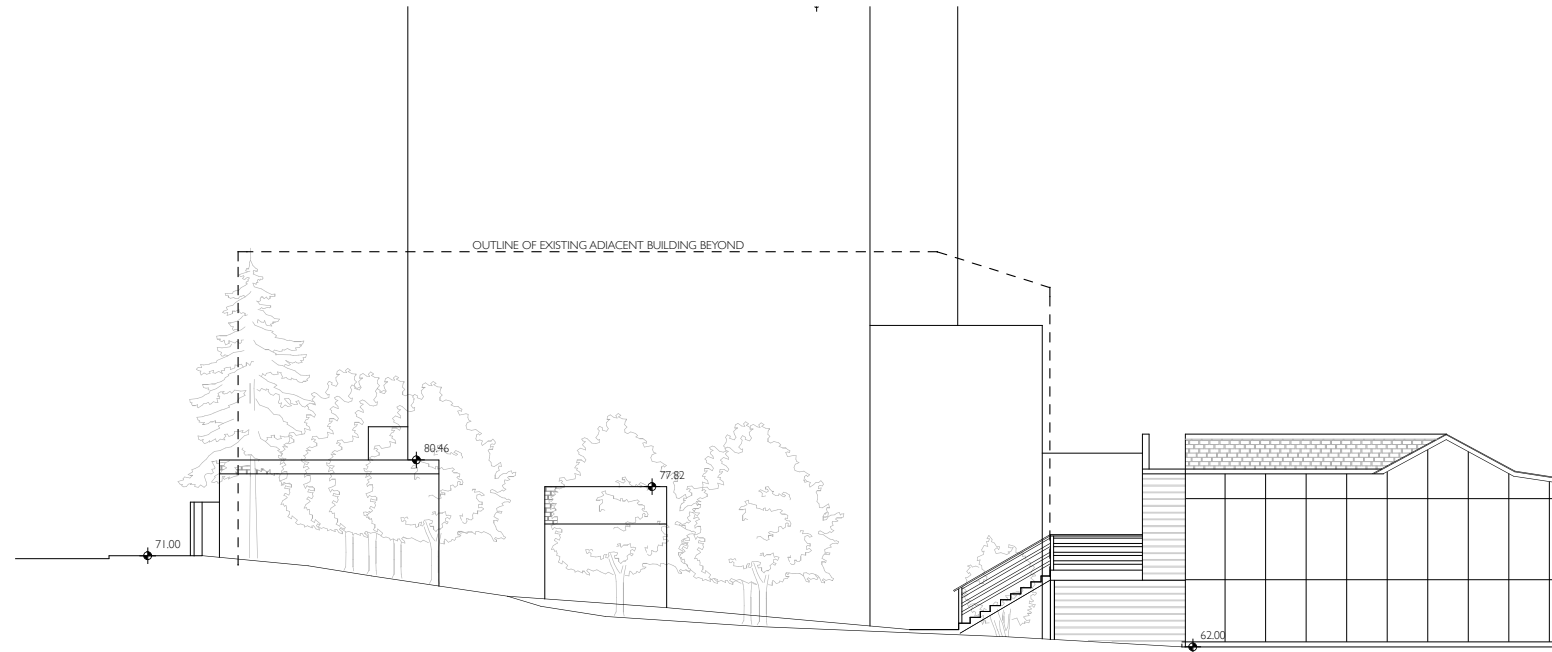
3- EXISTING FRONT ELEVATION AT COTTAGE  
SCALE: 1/8"=1'-0"



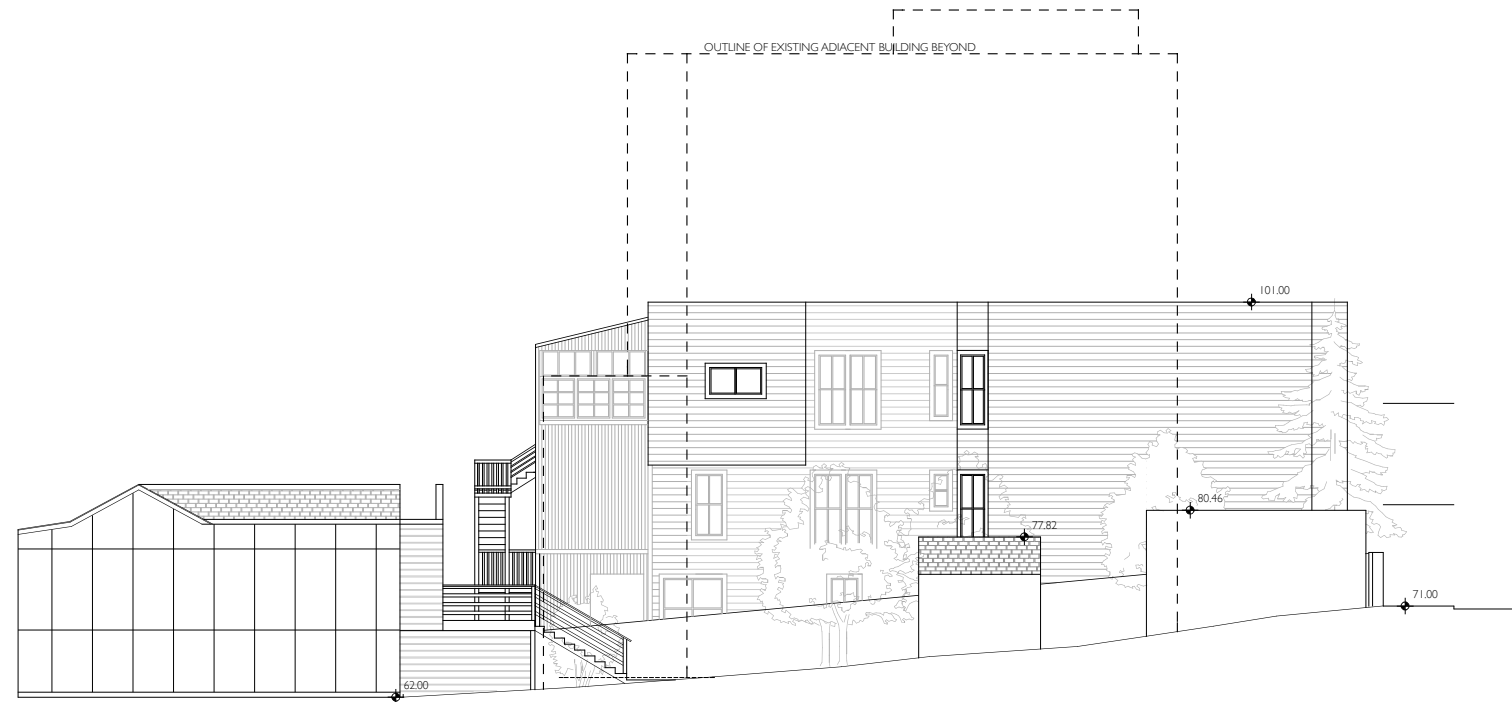
2- EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"



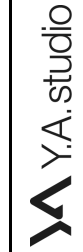
1- EXISTING FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2- EXISTING SIDE ELEVATION  
SCALE: 1/8"=1'-0"



1- EXISTING SIDE ELEVATION  
SCALE: 1/8"=1'-0"



2407 Haight Street #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT: **3 - NEW RESIDENTIAL CONDOS**

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

STAMP

TITLE  
**EXISTING SIDE  
ELEVATIONS**

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 05.18.09  
SHEET

**A1.3**



I - FRONT ELEVATION - NORTH  
SCALE: 1/4"=1'-0"

PROJECT: 3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

STAMP

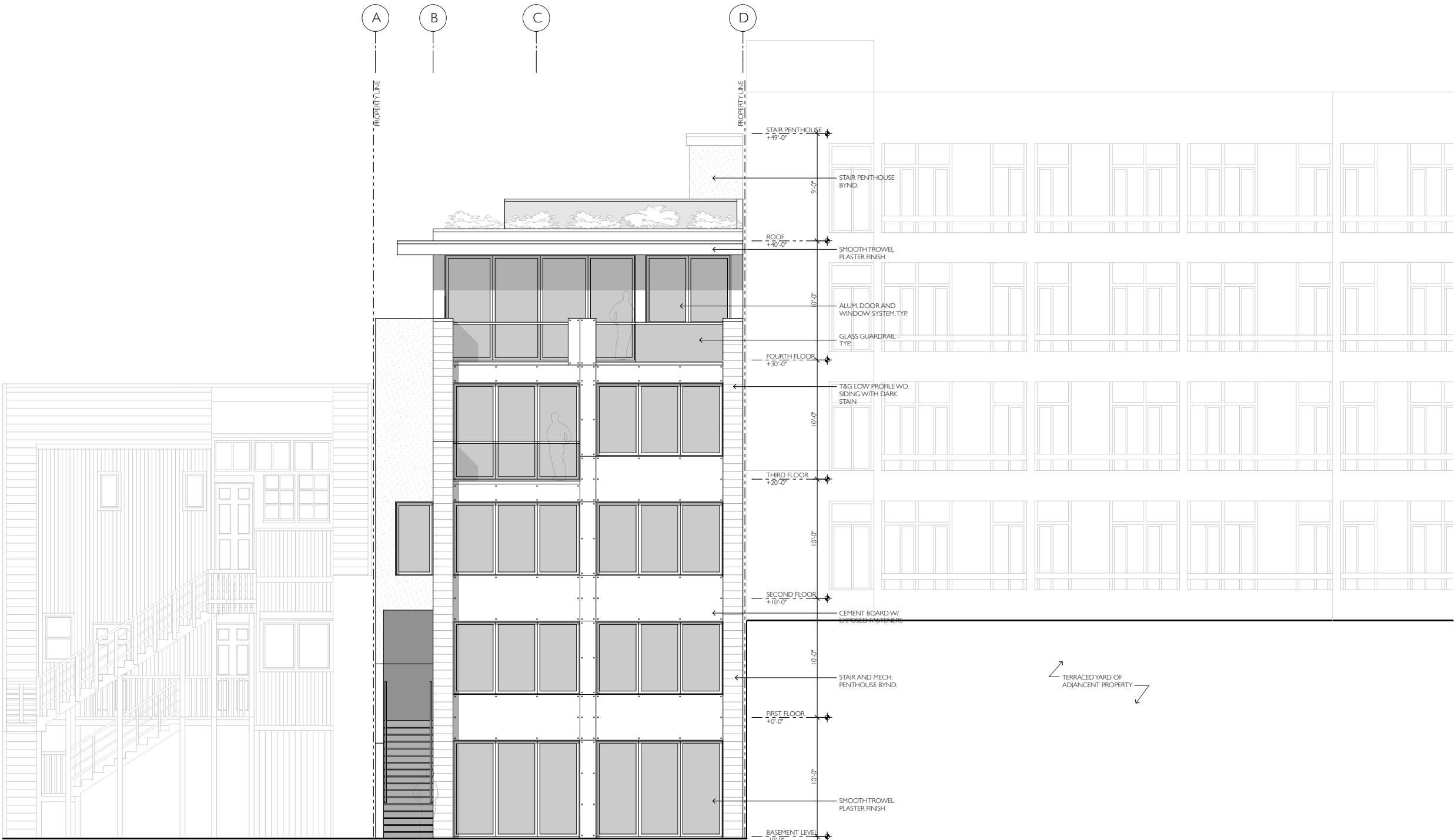
TITLE  
FRONT ELEVATION -  
NORTH

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

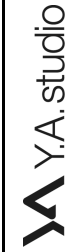
JOB NO.	08029 - DORLAND
DRAWN	K.W.
CHECKED	Y.A.
DATE	05.18.09
SHEET	

A3.1





I - REAR ELEVATION - SOUTH  
SCALE: 1/4"=1'-0"



2407 Harrison Street #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT: 3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

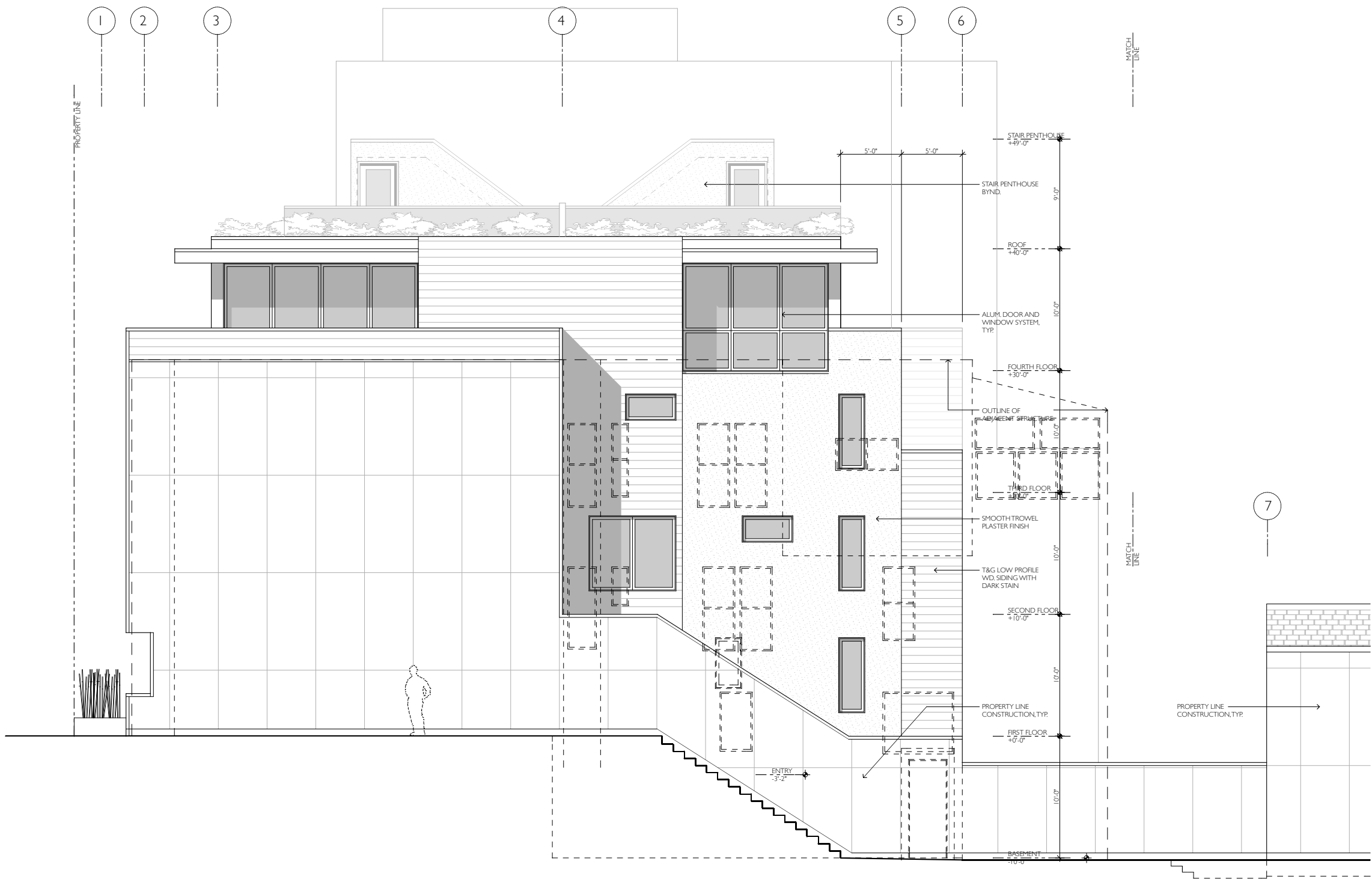
STAMP

TITLE  
REAR ELEVATION -  
SOUTH

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 05.18.09  
SHEET

A3.2



I - WEST ELEVATION  
SCALE: 1/4"=1'-0"

YA.studio

2407 Harrison Street #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT: 3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

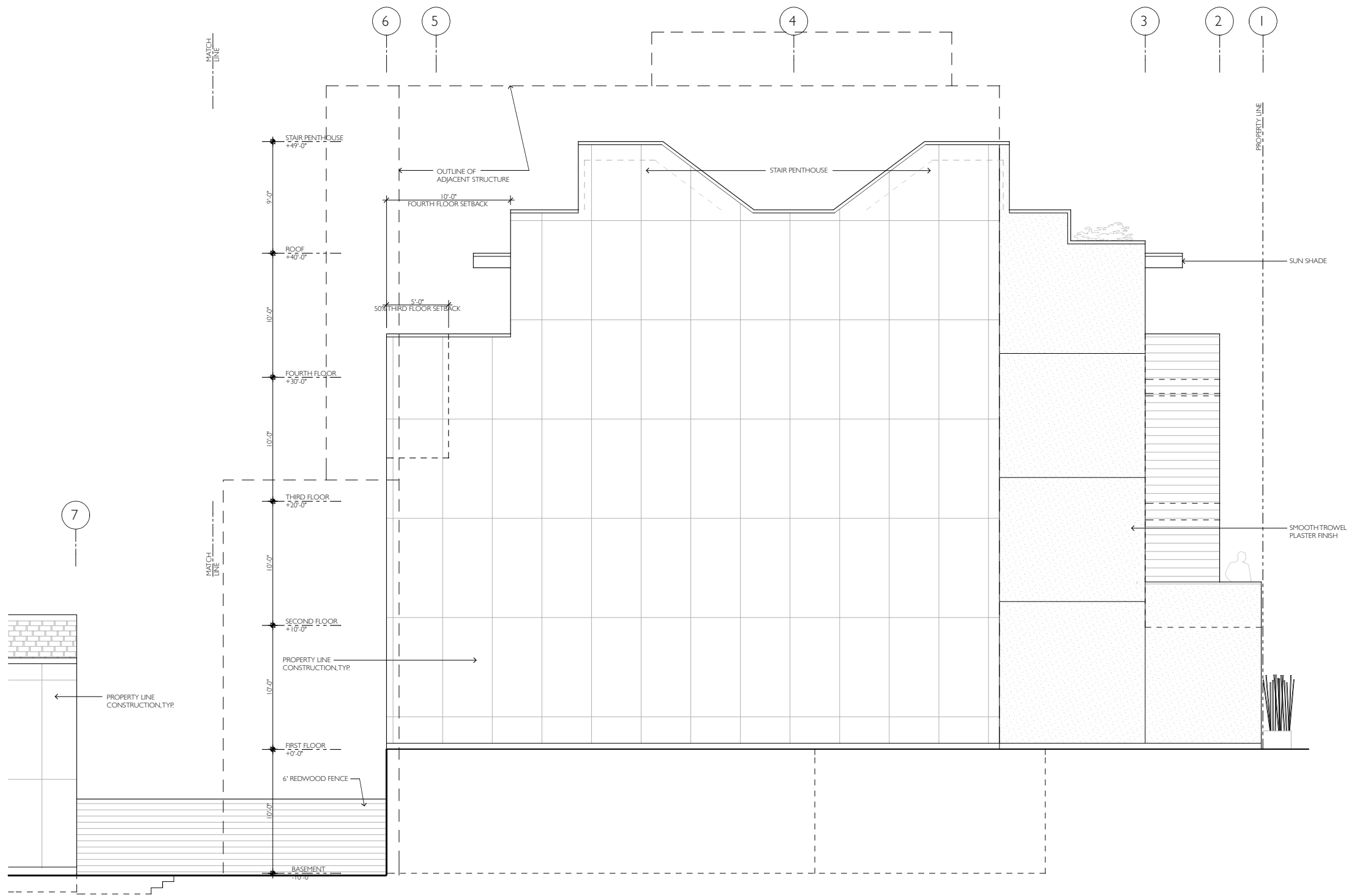
STAMP

TITLE  
WEST ELEVATION

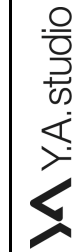
REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 05.18.09  
SHEET

A3.3



I - EAST ELEVATION  
SCALE: 1/4"=1'-0"



2407 Harrison Street #2 San Francisco, CA 94110  
office 415.920.1839 fax 415.920.1840  
www.ya-studio.com

PROJECT: 3 - NEW RESIDENTIAL CONDOS

NEW CONSTRUCTION - 4 STORIES + BASEMENT  
/ REMODEL OF (E) 2-STORY COTTAGE

BLOCK / LOT: 3580 / 035  
265 DORLAND STREET, SAN FRANCISCO, CA

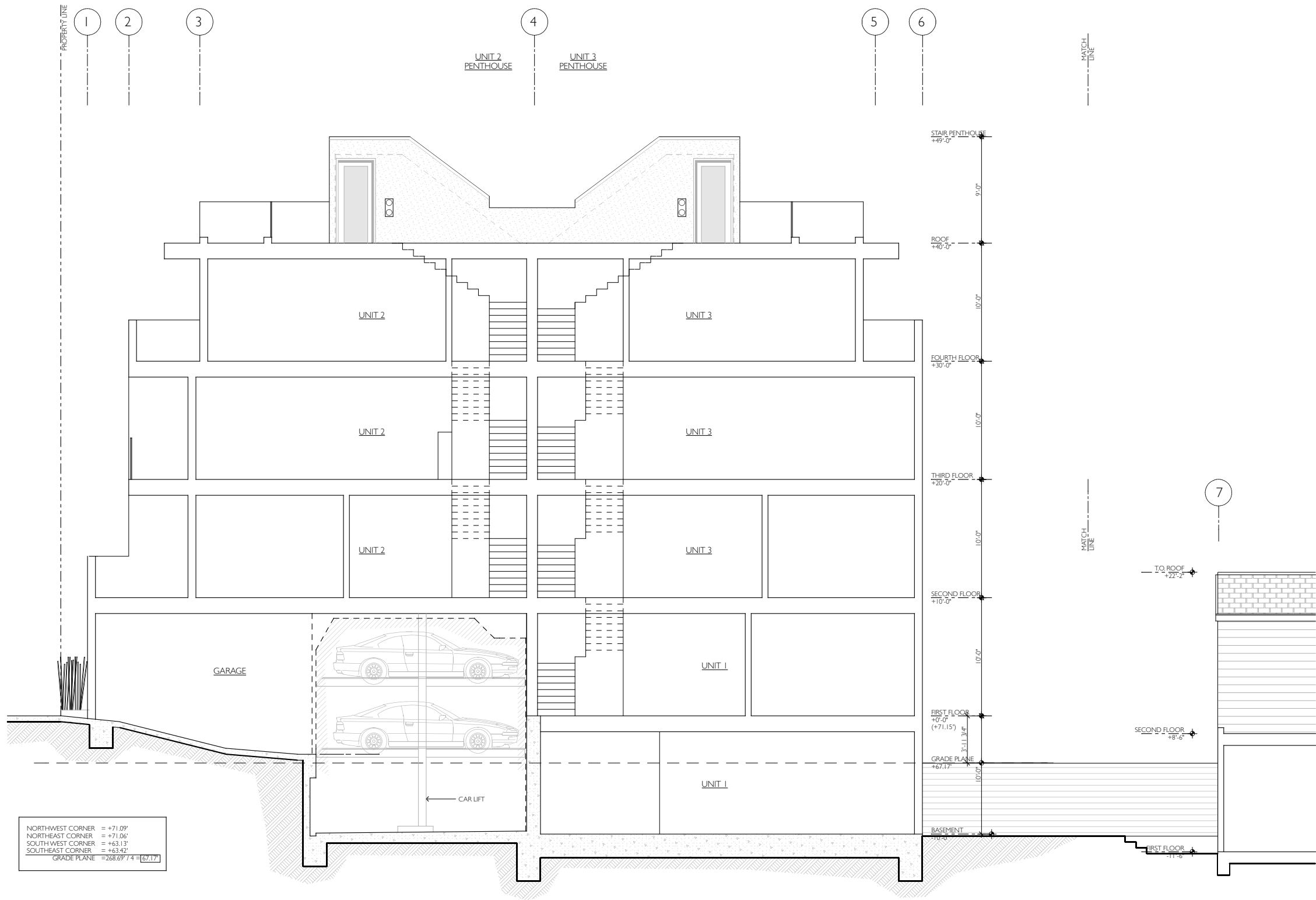
STAMP

TITLE  
EAST ELEVATION

REV.	PRINTING	DATE
1	SITE PERMIT	02.17.09
2	REV.SITE PERMIT	05.18.09

JOB NO. 08029 - DORLAND  
DRAWN K.W.  
CHECKED Y.A.  
DATE 05.18.09  
SHEET

A3.4



I- NORTH - SOUTH BUILDING SECTION A-A  
SCALE: 1/4"=1'-0"