



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>116A Downey St</b>	Case No.:	<b>2014.1542V</b>
Cross Street(s):	<b>Frederick Street</b>	Building Permit:	<b>2014.0521.6440</b>
Block / Lot No.:	<b>1269/190</b>	Applicant/Agent:	<b>Serina Calhoun</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-558-9843</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>serina@sync-arch.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to construct a stair penthouse and roof deck above the rear roof of the four-story, three-unit building.</p> <p><b>Section 134 of the Planning Code</b> requires the subject property to maintain a rear yard of 27 feet, with the last 10 feet of the building depth permitted to extend into the rear 45% of the lot depth limited to 30 feet in height. The proposed stair penthouse is partially located within the last 10 feet of permitted building depth and is approximately 45' in height. Therefore, the project requires a rear yard variance.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b></p> <p>Planner: <b>Laura Ajello</b> Telephone: <b>415-575-9142</b> Mail: <a href="mailto:Laura.Ajello@sfgov.org">Laura.Ajello@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2014.1542V.pdf">http://sf-planning.org/ftp/files/notice/2014.1542V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On November 12, 2014, the Department issued the required Section 311 notification for this project (expires December 12, 2014).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

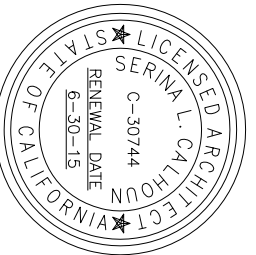


# 116 Downey Street

## Construction of New Roof Deck

[illegible]

116 Downey Street  
San Francisco, CA



116 DOWNEY ST  
San Francisco, CA  
PROJECT NO. 13-19

DATE	SET ISSUE
05-21-2014	PERMIT SUBMITTAL
10-28-2014	VARIANCE SUBMITTAL

CONTACT:

**SERINA CALHOUN**  
(415) 558-9843 P  
serina@sync-arch.com

SCALE: AS NOTED

COVER SHEET

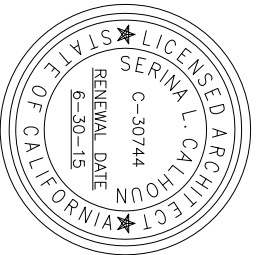
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# 116 Downey Street

## San Francisco, CA



116 DOWNEY ST  
San Francisco, CA  
PROJECT NO. 13-19

DATE SET ISSUE  
05-21-2014 PERMIT SUBMITTAL  
10-28-2014 VARIANCE SUBMITTAL

CONTACT:

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serina@sync-arh.com

SCALE: AS NOTED

PLOT  
PLAN

A1.0

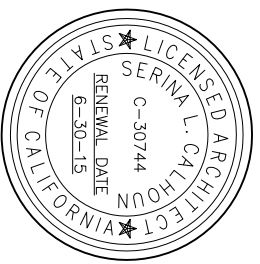


1 SITE PLAN  
1/8"=1'-0"



# 116 Downey Street

## San Francisco, CA



116 DOWNEY ST  
San Francisco, CA  
PROJECT NO. 13-19

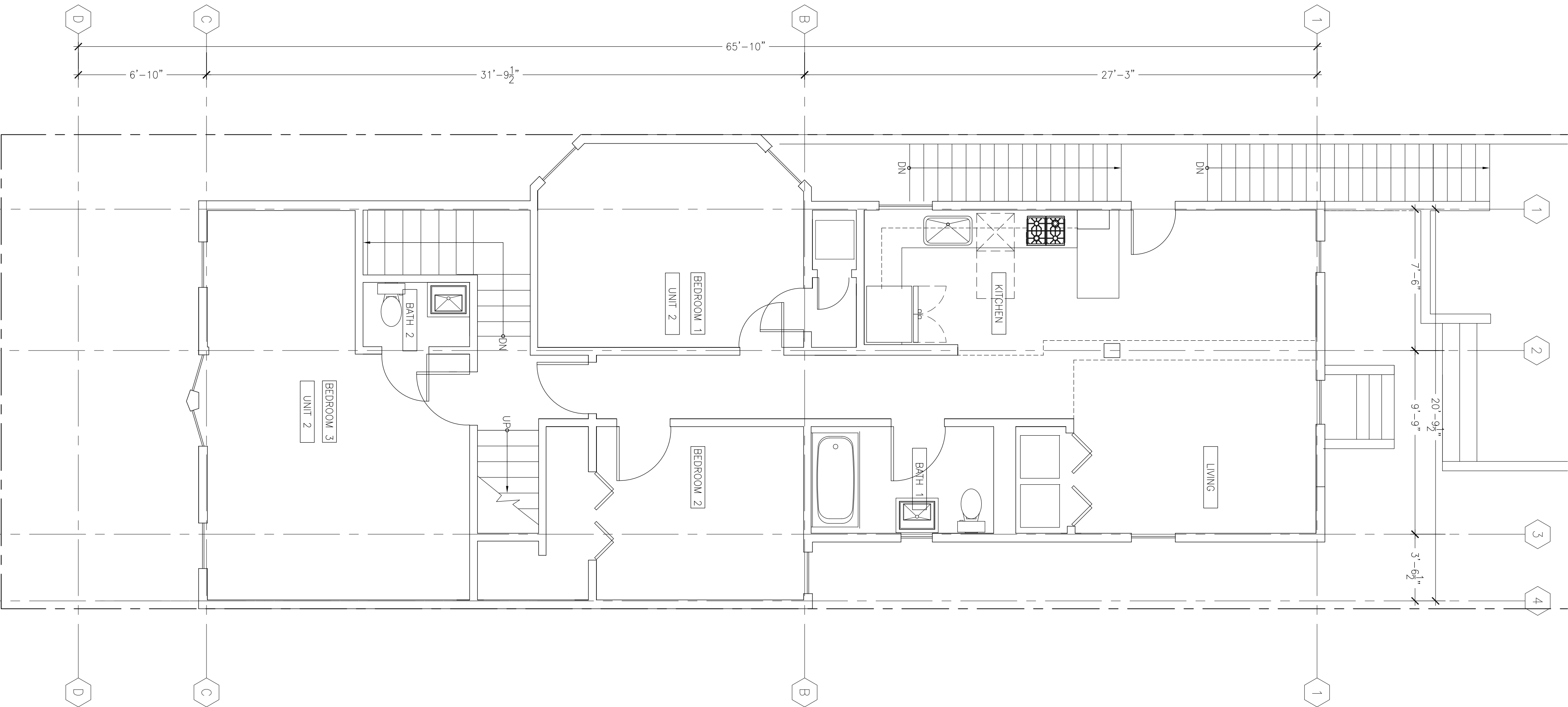
DATE: SET ISSUE  
03-20-2014 ISSUED FOR PRICING


CONTACT:  
SERINA CALHOUN  
(415) 558-9843 P  
serina@sync-arch.com

SCALE: 1/4" = 1'-0"

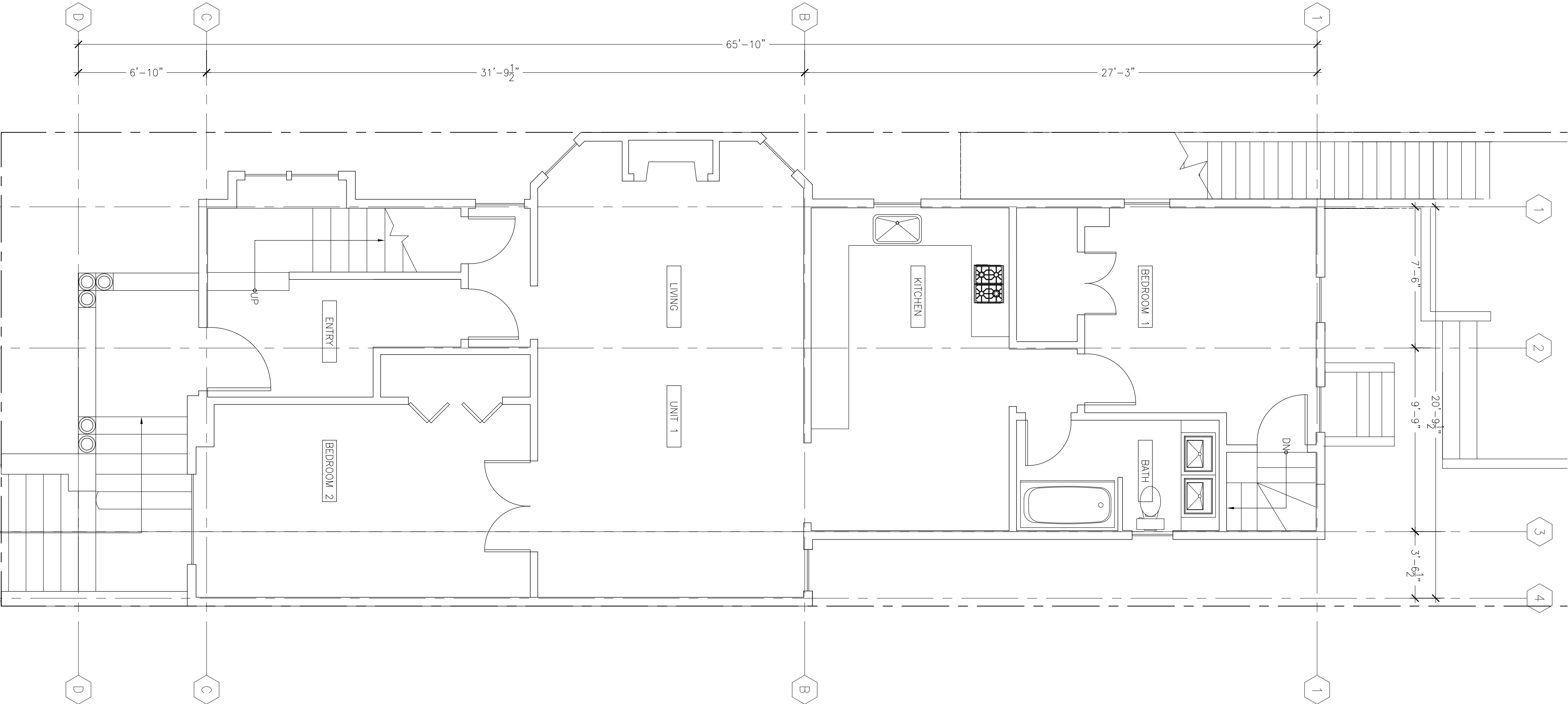
FLOORS 1,2,3  
NO WORK

A2.0



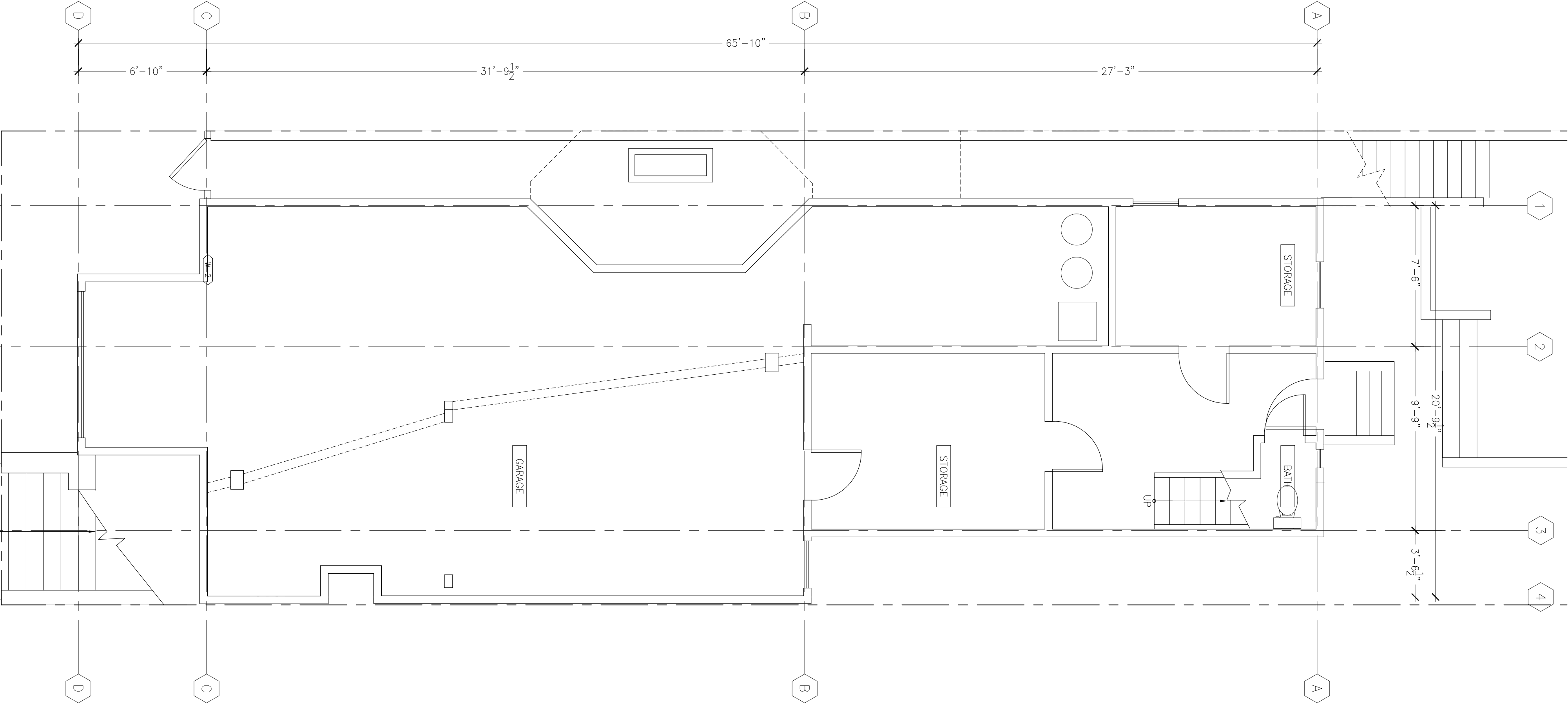
3 THIRD FLOOR PLAN: NO WORK

1/4"=1'-0"



2 SECOND FLOOR PLAN: NO WORK

1/4"=1'-0"



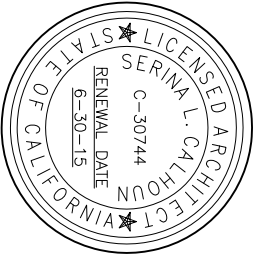
1 GROUND FLOOR PLAN: NO WORK

1/4"=1'-0"





# 116 Downey Street San Francisco, CA



116 DOWNEY ST  
San Francisco, CA  
PROJECT NO. 13-19

DATE SET ISSUE  
06-11-2014 PRICING REVISION

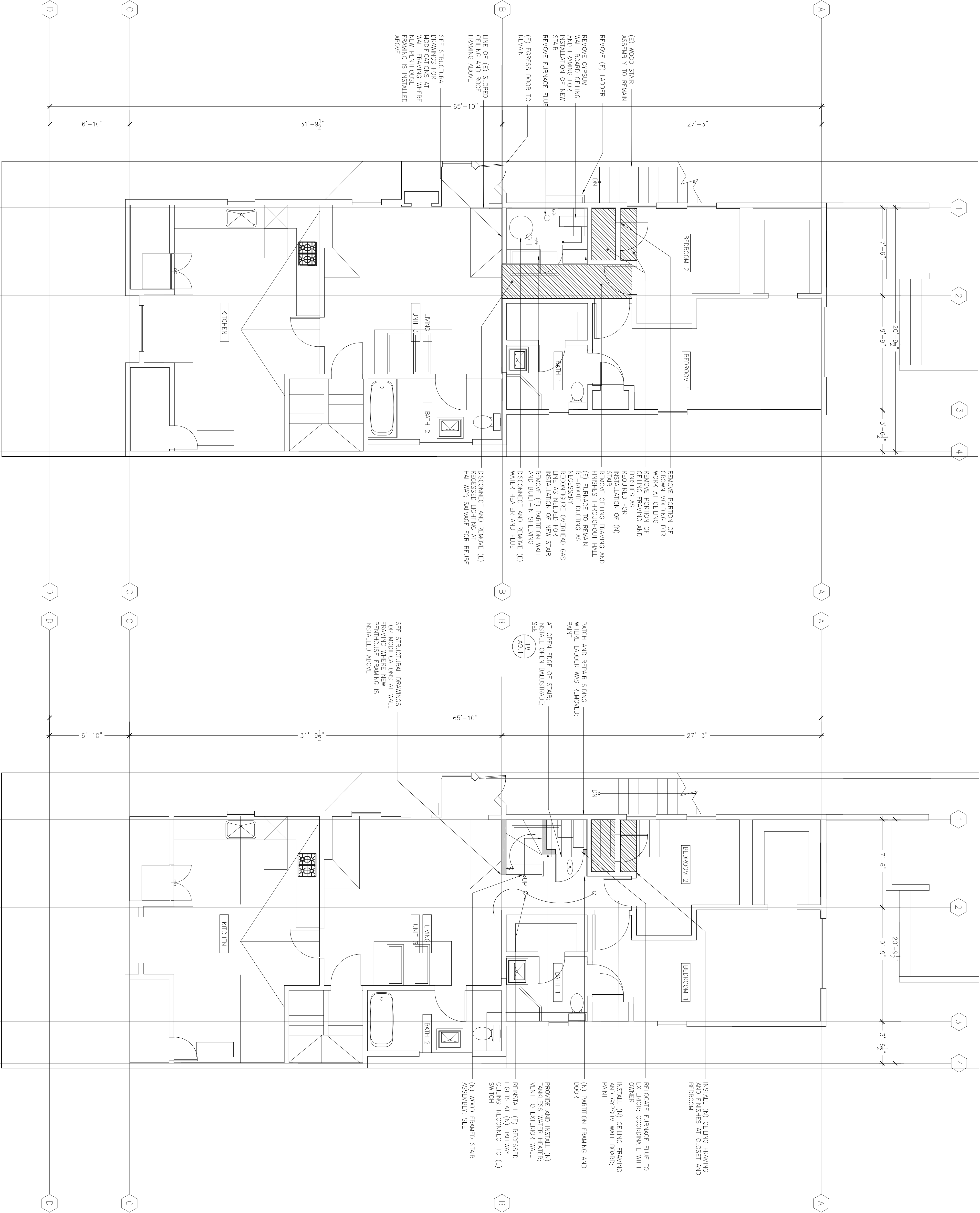
CONTACT:  
SERINA CALHOUN  
(415) 558-9843 P  
serina@snc-arch.com

SCALE: 1/4" = 1'-0"

FLOOR 4  
DEMOLITION AND  
NEW

A2.4

<b>GENERAL</b>
FIELD VERIFY EXISTING JOBSITE CONDITIONS PRIOR TO START OF DEMOLITION AND/OR START OF WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFIC JOBSITE CONDITIONS.
NOT ALL PIPING, DUCTWORK, OR DEVICES HAVE BEEN SHOWN FOR CLARITY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK IN AND AROUND SYSTEMS NOT SHOWN HEREIN.
CONTRACTOR TO TEST ALL SYSTEMS PRIOR TO START OF WORK AND DOCUMENT ANY SYSTEMS NOT WORKING PROPERLY.
CONTRACTOR SHALL PROVIDE AND INSTALL ANY INCIDENTAL WORK OR ITEMS NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.
WHERE HOT WATER PIPING IS EXTENDED PROVIDE PIPE INSULATION THROUGHOUT.
DIMENSIONS SHOWN ARE BASED ON SITE MEASUREMENTS AND SHOULD BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION OF ORDERING ANY MATERIALS.
<b>DIMENSION NOTES</b>
DIMENSIONS ARE TO CENTERLINE OF STEEL OR FACE OF (E) STUD SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.
<b>DEMOLITION NOTES</b>
PROTECT EXISTING HARDWOOD FLOORS FROM DAMAGE DURING CONSTRUCTION.
OPEN WALLS AS NEEDED FOR INSTALLATION OF NEW UTILITY LINES, DUCTS, AND STRUCTURAL FRAMING WHERE NOT SHOWN EXPLICITLY HEREIN.
<b>NEW CONSTRUCTION NOTES</b>
WHERE (E) EXTERIOR WALLS ARE OPENED AND AT ALL NEW EXTERIOR WALLS, PROVIDE R-13 INSULATION MIN.
ALL SHADED WALLS INDICATE NEW WALL FRAMING AND FINISHES
PROVIDE POWER, GAS, COMBUSTION AIR, ETC. AS NEEDED TO ALL NEW APPLIANCES AND DEVICES.
CONTRACTOR SHALL CLEAR ALL SITE DRAINS AND TEST SYSTEM THROUGHOUT.
WHERE NEW EQUIPMENT REQUIRES VENTING, INSTALL VENTS A MINIMUM OF 3 FEET AWAY FROM OPERABLE WINDOWS OR DOORS.
<b>STAIR NOTES</b>
ALL DIMENSIONS ARE TO F.O.S., U.N.O.
ALL RISER HEIGHTS TO BE 7.75" MAX
ALL TREAD WIDTHS TO BE 10" MIN
PROVIDE MIN. HEADROOM CLEARANCE OF 6'-8"
FOR STAIR TREAD DETAILS REFER (A)17
FOR HANDRAIL DETAILS, REFER (A)19
PROVIDE HANDRAILS WITH 1-1/2" OUTSIDE DIAMETER MOUNT AT A MINIMUM OF 12" FROM FINISH FLOOR SURFACE. PROVIDE HANDRAILS OF 12" AT TOP LANDINGS AND 12" PLUS 1" RISER DEPTH AT BOTTOM LANDINGS. ALL HANDRAILS SHALL COMPLY WITH CBC 1012



1 DEMOLITION - FLOOR 4  
1/4"=1'-0"

2 NEW CONSTRUCTION - FLOOR 4  
1/4"=1'-0"



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serina@sync-arch.com

SCALE: 1/4" = 1'-0"

# ROOF PLAN DEMOLITION AND NEW

## A2.5

[illegible]





116 Downey Street  
San Francisco, CA



116 DOWNEY ST  
San Francisco, CA  
PROJECT NO. 13-19

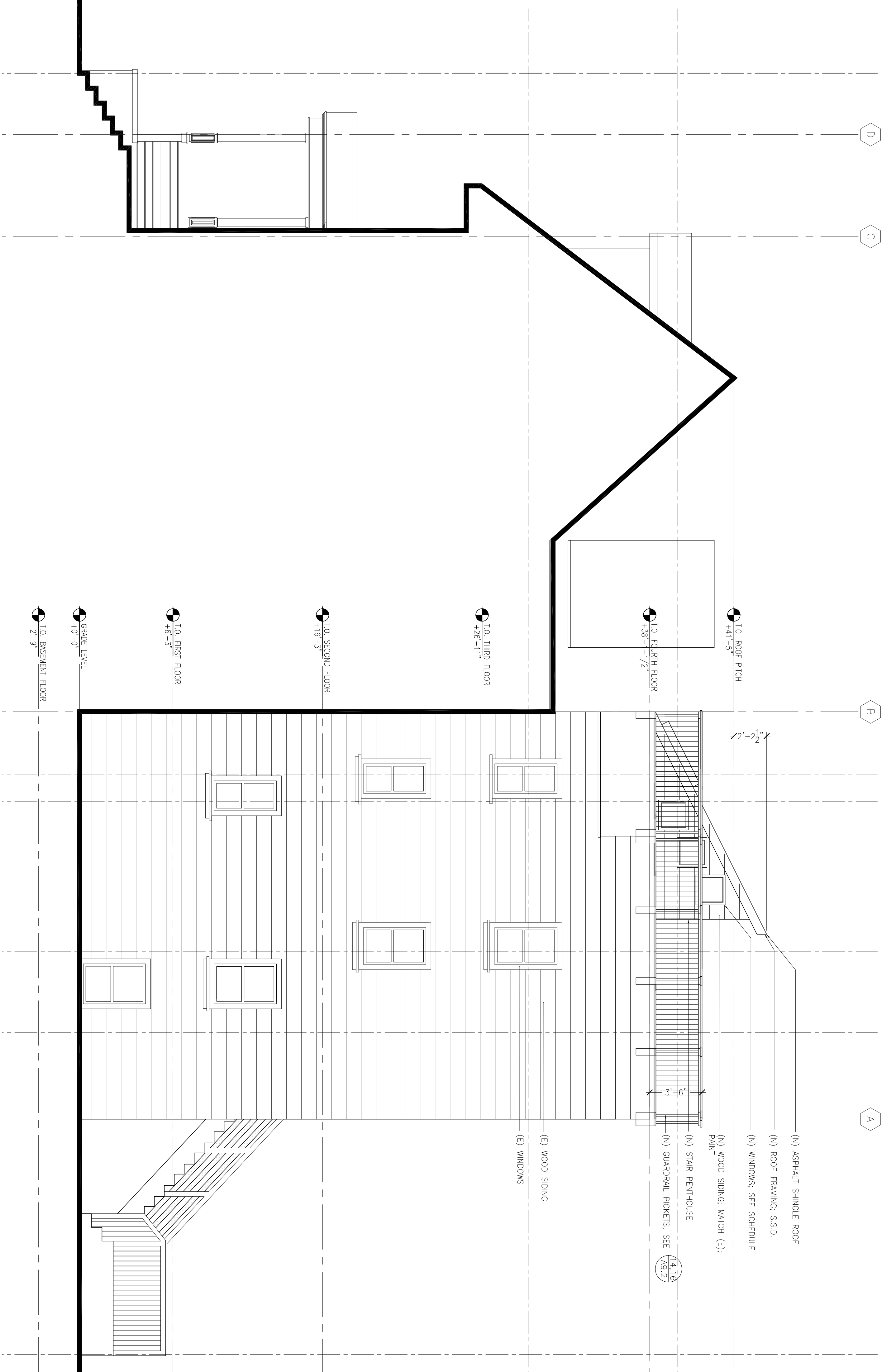
DATE SET ISSUE  
06-21-2014 PERMIT SUBMITTAL  
08-11-2014 PLANNING RESPONSE

CONTACT:  
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serina@sync-arch.com

SCALE: 1/4" = 1'-0"

EXTERIOR  
ELEVATIONS

A3.1



1 SOUTH ELEVATION  
1/4"=1'-0"

DATE	SET ISSUE
05-21-2014	PERMIT SUBMITTAL
08-11-2014	PLANNING RESPONSE

SCALE: 1/4" = 1'-0"

# A3.1A





DATE	SET ISSUE
05-21-2014	PERMIT SUBMITTAL
08-11-2014	PLANNING RESPONSE

## A3.2

