



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>972 Bush St</b>	Case No.:	<b>2014.1275V</b>
Cross Street(s):	<b>Jones &amp; Taylor Streets</b>	Building Permit:	<b>201307313201</b>
Block / Lot No.:	<b>0275/005</b>	Applicant/Agent:	<b>Lucky Stewart</b>
Zoning District(s):	<b>RC-4 / 65-A</b>	Telephone:	<b>415-434-9700</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>lstewart@mmgprop.com</b>

### PROJECT DESCRIPTION

The proposal is to construct three new dwelling units within the existing seven-story, 26 dwelling unit building. The three new units will be constructed by converting basement level common and storage space into dwellings, as well as reducing an existing dwelling at the first floor to create a two-story dwelling. The proposal will not expand the existing building.

**Per Section 140 of the Planning Code** each dwelling unit is required to face either a street or alley at least 25 feet in width, a code-complying rear yard, or sufficient open area. The proposed new dwelling units at the rear of the lot face onto a non-compliant rear yard measuring approximately 16 feet in depth and a 12-foot wide inner court. Therefore, a variance is needed from the dwelling unit exposure requirement of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Kanishka Burns** Telephone: **415-575-9112** Mail: [kanishka.burns@sfgov.org](mailto:kanishka.burns@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.1275V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

There is an associated Building Permit Application with this Variance request.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

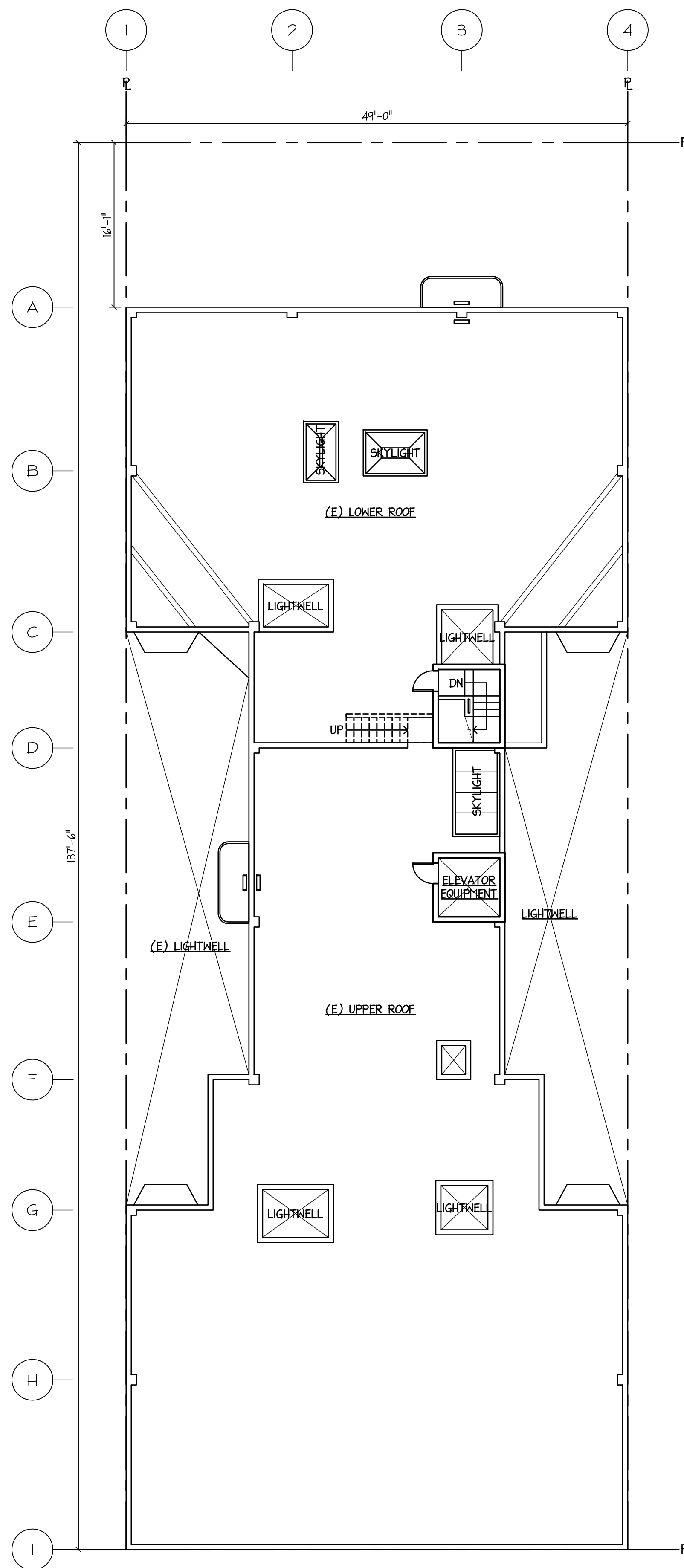
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

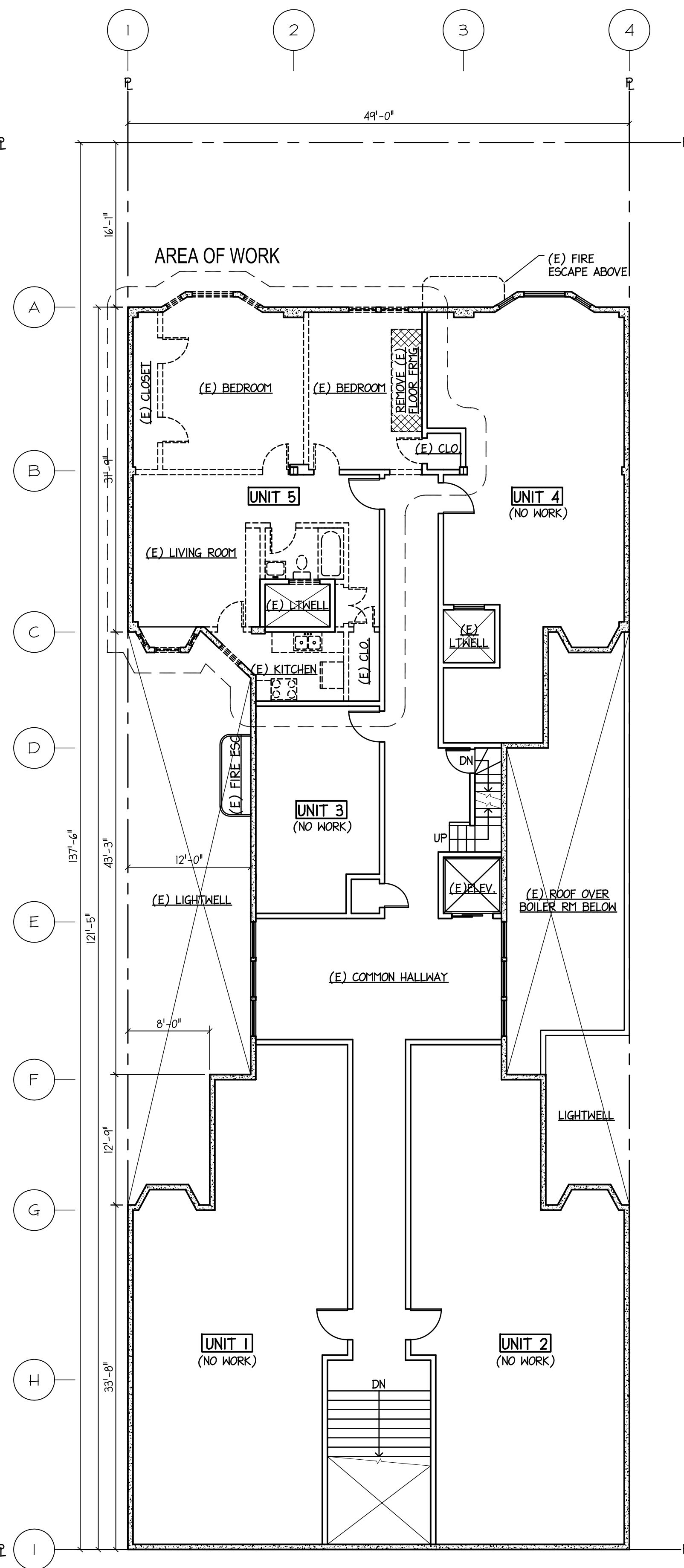
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

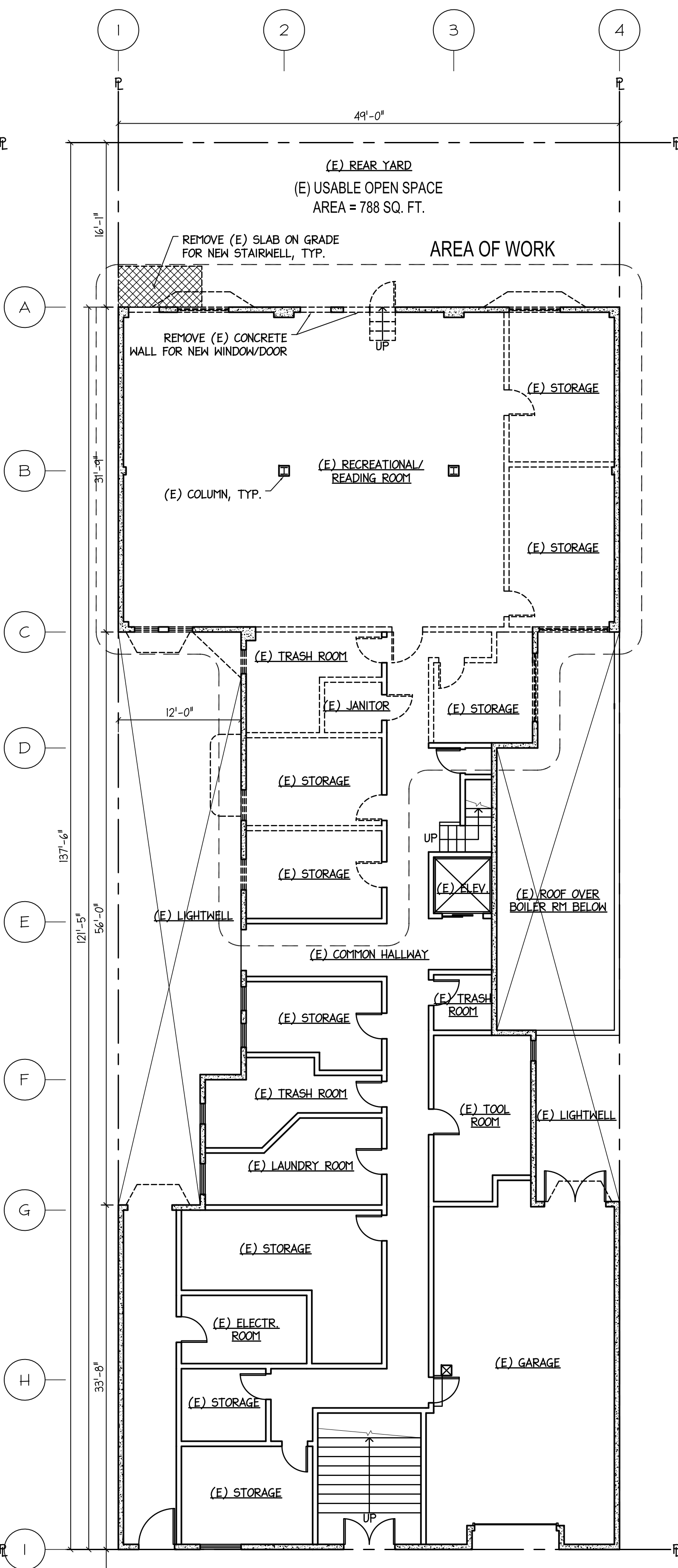
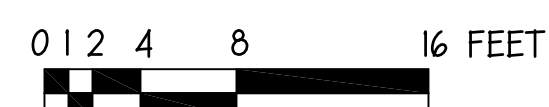
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



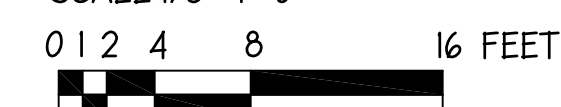
(E) ROOF PLAN  
SCALE: 1/8" = 1'-0"



(E) FIRST FLOOR DEMO PLAN  
SCALE: 1/8" = 1'-0"



PLOT & (E) BASEMENT DEMO PLAN



## PROJECT DATA

ADDRESS: 972 BUSH STREET  
SAN FRANCISCO, CA 94109  
0275/005  
BLOCK/LOT:  
NO. OF STORIES: 6  
TYPE OF CONST.: TYPE III-B  
# OF UNITS: (E) 26, (N) 29  
SPRINKLERS: (E) SPRINKLERED AT G/F ONLY  
(N) SPRINKLERED UNITS 6,7,8  
AND AT ALL OF GROUND FLOOR ONLY

SCOPE OF WORK: OBTAIN SITE PERMIT FOR INTERIOR RENOVATION OF APT BUILDING:

- CONVERT RECREATION ROOM AND OFFICE ON THE GROUND FLOOR TO 3 NEW UNITS AS #6, #7 AND #8
- REMODEL (E) UNIT #5 ON SECOND FLOOR.
- REPLACE WINDOWS PER PLAN- NONE VISIBLE FROM STREET
- PROVIDE NEW COMMON ROOF DECK (801 SQ FT)
- NO EXPANSION OF BUILDING ENVELOPE

DRAWING INDEX:

SHEET 1 - PROJECT DATA, PLOT PLAN,  
(E) FLOOR PLANS

SHEET 2 - (N) UNIT LOCATION PLANS

SHEET 3 - (N) GROUND FLOOR PLAN,  
NOTES AND DETAILS

SHEET 4 - (N) SECOND FLOOR PLAN,  
AND NOTES

SHEET 5 - (E) FRONT AND REAR ELEVATIONS

SHEET 6 - (E) WEST ELEVATION

SHEET 7 - (E) EAST ELEVATION

SHEET 8 - (N) FRONT AND REAR ELEVATIONS





SHEET 9 - (N) WEST ELEVATION

SHEET 10 - (N) EAST ELEVATION

APPLICABLE CURRENT CODES AND REGULATIONS:

CALIFORNIA BUILDING CODE	2010 EDITION
CALIFORNIA FIRE CODE	2010 EDITION
CALIFORNIA PLUMBING CODE	2010 EDITION
CALIFORNIA MECHANICAL CODE	2010 EDITION
CALIFORNIA ELECTRICAL CODE	2010 EDITION
CALIFORNIA ENERGY CODE	2010 EDITION
SAN FRANCISCO BUILDING CODE	AMENDMENTS

LEGEND:

-  NEW 2x4 INTERIOR WALL  
 WALL WITH R-13 INSULATION  
 EXISTING WALL TO REMAIN  
 NON-BEARING WALL TO BE REMOVED
- (N) NEW  
 (E) EXISTING  
 (R) REPLACE EXISTING, IN-KIND  
 (RE) RELOCATE EXISTING  
 (RM) REMODEL  
 IHR 1-HOUR FIRE-RATED  
 SMOKE ALARM, HARDWIRED, BATTERY BACKUP  
 SMOKE & CARBON MONOXIDE ALARM  
 COMBO, HARDWIRED, BATTERY BACKUP  
 FLOURESCENT LIGHT WITH FAN  
 AND BACKDRAFT DAMPER  
 NEW STEAM RADIATOR  
 CONNECTED TO (E) BOILER

REVISIONS	BY
-----------	----

Rolly Rivera

350 Irvington Street  
Daly City, CA 94014  
Tel. 650-255-8222  
Email: [rollgriv@yahoo.com](mailto:rollgriv@yahoo.com)

---

Primo Segundo ii  
1145 Bush St., Sf, Ca 94109  
Tel. 415-434-9700

---

972 Bush Street,  
San Francisco, CA 94109  
Parcel No. 0275 005

EVOLUTION OF

PROJECT DATA, PLOT PLAN AND EXISTING FLOOR and ROOF PLANS

APR 2013

As Shown

As shown	
n	Lok

11	LOK

t	a
---	---









1  
10 Sheets

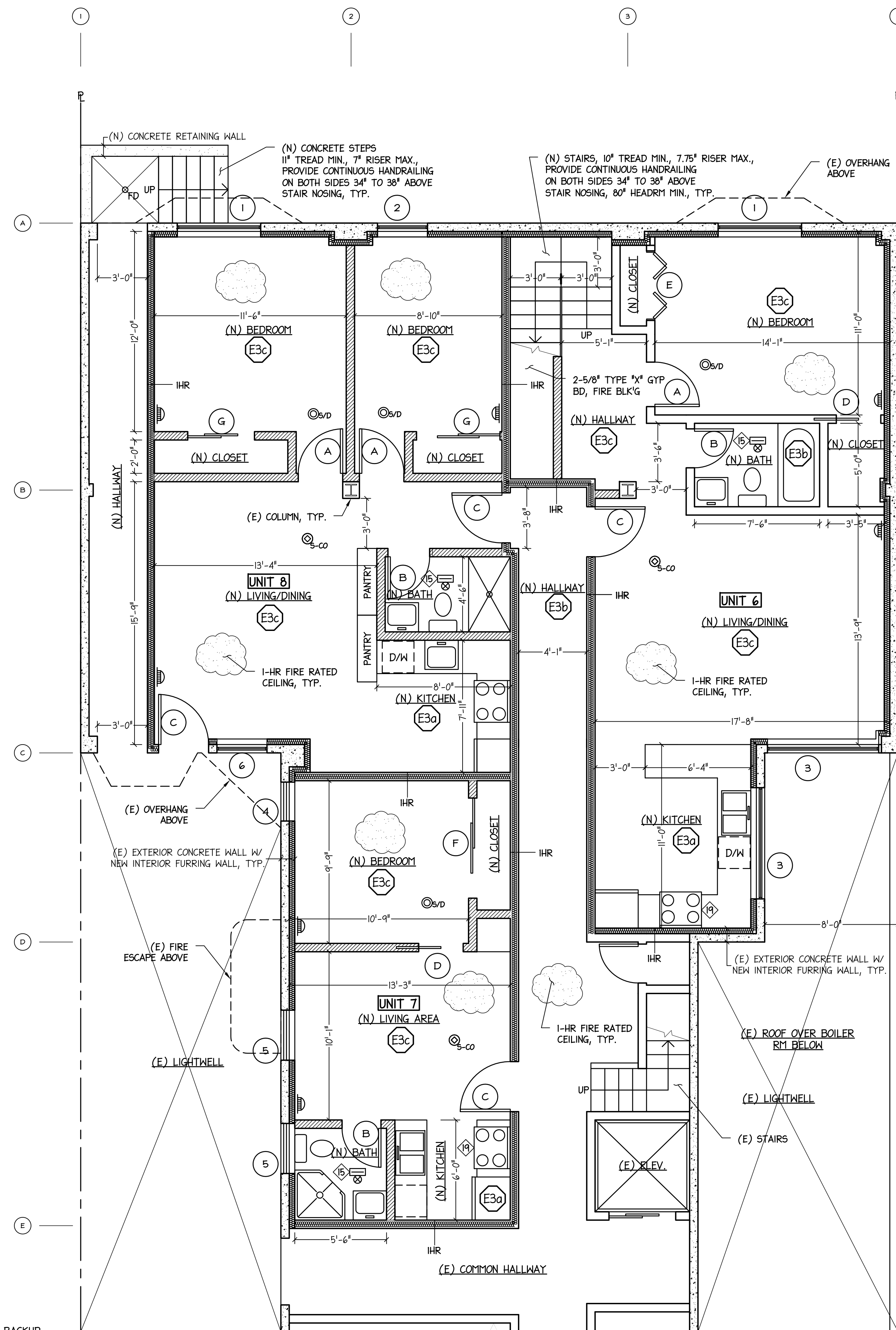





(for Consistency to T-24 Energy Compliance  
Certificate Sheets)

1. FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.
2. PROVIDE MIN. R-13 INSULATION FOR ALL PERIMETER WALLS.
3. WHENEVER THEY ARE OPENED.
4. PROVIDE 1-HR. CONSTRUCTION ON ALL PARTITION WALLS, I.E., FIRE TAPED 5/8" TYPE X GYP. BD. ON BOTH SIDES.
5. ALL FRAMING MEMBERS SHALL BE D.F. #2 OR BETTER.
6. HEADERS SHALL BE D.F. #1.
7. NAILING PER CBC TABLE 2304.9.1 NAILING SCHEDULES.
8. ALL BEDROOMS AND BATHROOMS SHALL HAVE CLEAR MINIMUM OPERABLE AREA OF 5.7 SQUARE FEET. MINIMUM NET CLEAR DIMENSION OF 20" WIDE & 24" HIGH AND FINISH SILL HEIGHT NOT OVER 44".
9. PROVIDE BATTERY POWERED SMOKE DETECTORS FOR ALL EXISTING BEDROOMS AND HALLWAYS AND HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP ON NEW BEDROOM.
10. FINISH CEILING HEIGHT 7'-6" MINIMUM. HALLWAYS, BATHROOMS AND TOILET COMPARTMENTS SHALL NOT BE LESS THAN 7'-0".
11. INTERIOR FINISH OF SHOWER SHALL BE CERAMIC GLAZED TILES LAID OVER GYP. BOARD TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.
12. PROVIDE SAFETY GLAZING FOR WINDOW ABOVE BATHTUB WITH SHOWER AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET OF THE COMPARTMENT. PROVIDE SAFETY GLASS DOOR AT THE BATHTUB.
13. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUALLY CONTROLLED VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. POSITION STOP VALVES SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F. SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.5 GALLONS PER MINUTE.
14. ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH WATER HAMMER ARRESTER. NEW WATER CLOSET SHALL USE 1/6 GALLONS/FLUSH MAXIMUM.
15. AIR CHAMBER OR OTHER APPROVED MECHANICAL DEVICE PER CPC 609.10.
16. EXISTING FLOOR, CEILING, DUCTS AND REGISTERS TO BE REPLACED ONLY WHENEVER NECESSARY TO PROVIDE THE DWELLING UNIT WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70°F AT A POINT 3 FEET ABOVE THE FLOOR. DUCT CONNECTION AND OPENING SHALL BE SEALED WITH PRESSURE SENSITIVE DUCT TAPE TESTED AND LABELED UL 181, UL 181A or UL 181B.
17. PROVIDE MECHANICAL VENT CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. DUCT TERMINATION 3 FEET AWAY FROM PROPERTY LINES AND WALL OPENINGS.
18. PROVIDE RECEPTACLES INSTALLED IN WALL SPACE OF LIVING AREA THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6- FEET FROM AN OUTLET MEASURED HORIZONTALLY.
19. BATHROOM OUTLETS SHALL BE ON A DEDICATED 20-AMPERE BRANCH CIRCUIT AND SHALL NOT BE INSTALLED IN "FACE-UP" POSITION.
20. ALL 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLES IN HALLWAYS AND KITCHENS AND WITHIN 6 FEET OF KITCHEN SINK SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER FOR PERSONNEL.
21. HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30 INCHES. (CMC 916.1 (B)) PROVIDE SELF VENT HOOD OR RE-CIRCULATED HOOD.
22. ALL WORK TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

	NEW 2x4 INTERIOR WALL	 SMOKE ALARM, HARDWIRED, BATTERY BACKUP
	WALL WITH R-13 INSULATION	 SMOKE & CARBON MONOXIDE ALARM
	EXISTING WALL TO REMAIN	COMBO, HARDWIRED, BATTERY BACKUP
	NON-BEARING WALL TO BE REMOVED	 FLOURESCENT LIGHT WITH FAN
(N)	NEW	AND BACKDRAFT DAMPER
(E)	EXISTING	 NEW STEAM RADIATOR
(R)	REPLACE EXISTING, IN-KIND	CONNECTED TO (E) BOILER
(RE)	RELOCATE EXISTING	
(RM)	REMODEL	
IHR	1-HOUR FIRE-RATED	



SHEET TITLE		LOCATION	APPLICANT	PREPARED BY	REVISIONS	BY
INTERIOR RENOVATION OF APT BUILDING		972 Bush Street, San Francisco, CA 94109 Parcel No. 0215 005	Primo Segundo II 1145 Bush St, CA 94109 Tel. 415-434-9700	Rolly Rivera 350 Irvington Street Daly City, CA 94014 Tel. 650-255-8222 Email: rolyrivera@yahoo.com		
(N) PART. BASEMENT FLOOR PLAN, NOTES AND DETAILS						
Date	APR 2013					
Scale	As Shown					
Drawn	Lok					
Job						
Sheet						
Of 3 Sheets						

ENERGY NOTES  
(for Consistency to T-24 Energy Compliance  
Certificate Sheets)

- E1 Envelope (new, altered or repaired/disturbed)  
a. Wall --- R13 min. insulation  
b. Roof --- R30 min. insulation  
c. Ceiling (also above garage) --- R19 min. insulation
- E2 Fenestrations:  
Windows and glass exterior doors shall have u-factor  
of 0.40 max.
- E3 Lighting:  
a. A minimum of 50% of total rated wattage of  
permanently installed lighting in kitchen  
shall be high efficacy.  
b. Permanently installed lighting in bathrooms,  
laundry rooms, garage, utility rooms, shall be  
high efficacy, or controlled by manual-on  
occupancy sensor.  
c. Permanently installed luminaire other than those  
in 2a & b shall be high efficacy, or controlled by  
dimmer switch or manual-on occupancy sensor.  
d. Permanently installed luminaire for outdoor  
entrances, balconies, porches, decks, patios lighting  
shall be high efficacy, or controlled with  
motion sensor and photo control not having  
override or bypass switch.
- E4 Luminaires recessed into insulated ceiling shall be  
U.L. listed for zero clearance contact (IC).
- E5 High efficacy luminaires shall be classified as follows:  
5 Watt or less --- 30 lumens/watt (1/w).  
>5 W to 15W --- 40 1/w  
>15W to 40W --- 50 1/w  
Over 40W ---- 60 1/w
- E6 Please see Mandatory Measures Summary Form  
MF-IR for complete energy measures and for  
items not included above.

GENERAL NOTES:

- 1 FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.  
2 PROVIDE MIN. R-13 INSULATION FOR ALL PERIMETER WALLS.  
WHENEVER THEY ARE OPENED.  
3 PROVIDE 1-HR. CONSTRUCTION ON ALL PARTITION WALLS,  
i.e., FIRE TAPED 5/8" TYPE X GYP. BD. ON BOTH SIDES.  
4 ALL FRAMING MEMBERS SHALL BE D.F. #2 OR BETTER.  
HEADERS SHALL BE D.F. #1.  
5 NAILING PER CBC TABLE 2304.9.1 NAILING SCHEDULES.  
6 ALL BEDROOM WINDOWS SHALL HAVE CLEAR MINIMUM OPERABLE AREA OF  
5.7 SQUARE FEET. MINIMUM NET CLEAR DIMENSION OF 20" WIDE & 24" HIGH  
AND FINISH SILL HEIGHT NOT OVER 44".  
7 PROVIDE BATTERY POWERED SMOKE DETECTORS FOR ALL EXISTING  
BEDROOMS AND HALLWAYS AND HARD WIRED SMOKE DETECTOR  
WITH BATTERY BACK-UP ON NEW BEDROOM.  
8 FINISH CEILING HEIGHT 7'-6" MINIMUM. HALLWAYS, BATHROOMS  
AND TOILET COMPARTMENTS SHALL NOT BE LESS THAN 7'-0".  
9 INTERIOR FINISH OF SHOWER SHALL BE CERAMIC GLAZED TILES  
LAID OVER CEMENT BOARD TO A HEIGHT OF NOT LESS THAN  
70 INCHES ABOVE THE DRAIN INLET.  
10 PROVIDE SAFETY GLAZING FOR WINDOW ABOVE BATHTUB WITH SHOWER  
AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN  
60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET OF THE  
COMPARTMENT. PROVIDE SAFETY GLASS DOOR AT THE BATHTUB.  
11 TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUALLY  
CONTROLLED VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC  
MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON  
SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S  
INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F.  
SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF  
2.5 GALLONS PER MINUTE.  
12 ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH WATER HAMMER ARRESTOR,  
NEW WATER CLOSET SHALL USE 1.6 GALLONS/FLUSH MAXIMUM.  
13 AIR CHAMBER OR OTHER APPROVED MECHANICAL DEVICE PER CPC 609.10  
14 EXISTING FURNACE TO REMAIN. DUCTS AND REGISTERS TO BE  
REPLACED ONLY WHENEVER NECESSARY TO PROVIDE THE  
DWELLING UNIT WITH HEATING FACILITIES CAPABLE OF MAINTAINING  
A ROOM TEMPERATURE OF 70°F AT A POINT 3 FEET ABOVE THE  
FLOOR. DUCT CONNECTION AND OPENING SHALL BE SEALED WITH  
PRESSURE SENSITIVE DUCT TAPE TESTED AND LABELED UL 181,  
UL 181A or UL 181B.  
15 PROVIDE MECHANICAL VENT CAPABLE OF PROVIDING 5 AIR CHANGES  
PER HOUR WITH DUCT TERMINATION 3 FEET AWAY FROM PROPERTY  
LINES AND WALL OPENINGS  
16 PROVIDE RECEPTACLES INSTALLED IN WALL SPACE OF LIVING AREA THAT  
NO POINT ALONG THE FLOOR LINE IS MORE THAT 6- FEET FROM AN  
OUTLET MEASURED HORIZONTALLY.  
17 BATHROOM OUTLETS SHALL BE ON A DEDICATED 20-AMPERE BRANCH  
CIRCUIT AND SHALL NOT BE INSTALLED IN "FACE-UP" POSITION.  
18 ALL 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLES  
INSTALLED IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINK  
SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER FOR PERSONNEL.  
19 HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE  
ABOVE THE COOKING TOP OF NOT LESS THAN 30 INCHES. (CFC 916.1 (B))  
PROVIDE SELF VENT HOOD OR RE-CIRCULATED HOOD.  
20 ALL WORK TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE  
CODES AND ORDINANCES.

SECOND FLOOR WINDOW SCHEDULE						
SYMBOL	SIZE	GLAZING	TYPE	FRAME	QUANTITY	REMARKS
1	4'-0"x6'-0"	DOUBLE PANE	SINGLE HUNG	VINYL	1	EXISTING OPENING E2
2	1'-8"x6'-0"	DOUBLE PANE	SINGLE HUNG	VINYL	2	EXISTING OPENING E2
3	2'-8"x6'-0"	DOUBLE PANE	SINGLE HUNG	VINYL	2	EXISTING OPENING E2
4	2'-6"x5'-0"	DOUBLE PANE	SINGLE HUNG	VINYL	1	EXISTING OPENING E2
5	2'-6"x6'-6"	DOUBLE PANE	SINGLE HUNG	VINYL	1	EXISTING OPENING E2
6	1'-2"x6'-6"	DOUBLE PANE	SINGLE HUNG	VINYL	2	EXISTING OPENING E2
7	3'-0"x4'-0"	DOUBLE PANE	SINGLE HUNG	VINYL	1	EXISTING OPENING E2

NOTE: WINDOWS WITHOUT SYMBOL ARE EXISTING TO REMAIN

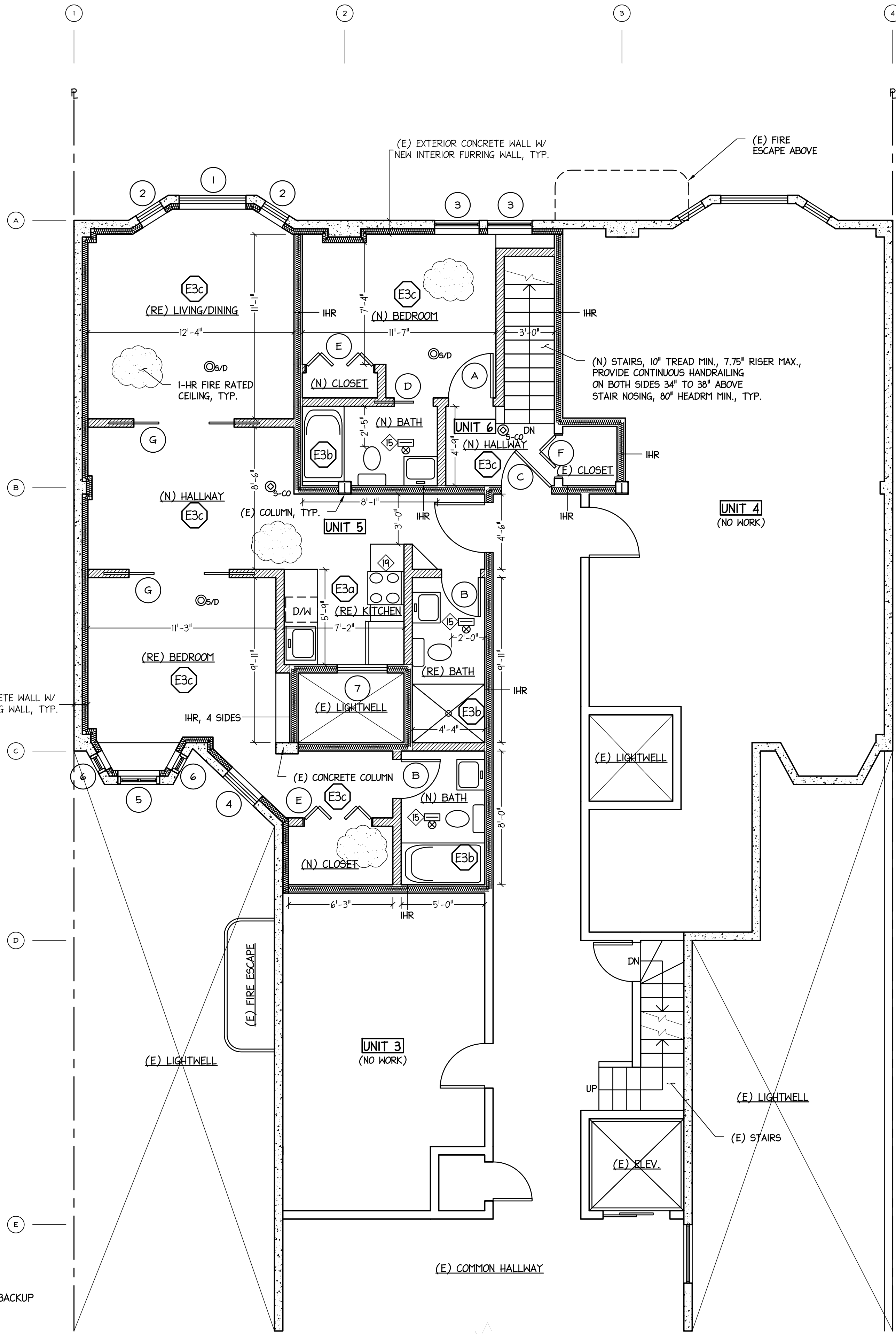
SECOND FLOOR DOOR SCHEDULE						
SYMBOL	SIZE	MATERIAL	TYPE	FRAME	QUANTITY	REMARKS
A	2'-8"x6'-8"	HOLLOW CORE	HINGED	WOOD	1	
B	2'-4"x6'-8"	HOLLOW CORE	HINGED	WOOD	2	
C	3'-0"x6'-8"	1 5/8" SOLID CORE	HINGED	WOOD	1	EQUIPPED WITH SELF CLOSER AND SMOKE GASKET
D	2'-4"x6'-8"	HOLLOW CORE	POCKET	WOOD	1	
E	4'-0"x6'-8"	HOLLOW CORE	DOUBLE BI-FOLD	WOOD	2	
F	2'-8"x6'-8"	HOLLOW CORE	BI-FOLD	WOOD	1	
G	6'-0"x6'-8"	HOLLOW CORE	DOUBLE POCKET	WOOD	2	

NOTE: DOORS WITHOUT SYMBOL ARE EXISTING TO REMAIN

LEGEND:

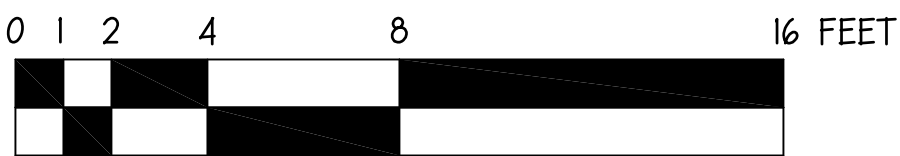
- NEW 2x4 INTERIOR WALL  
WALL WITH R-13 INSULATION  
EXISTING WALL TO REMAIN  
NON-BEARING WALL TO BE REMOVED  
(N) NEW  
(E) EXISTING  
(R) REPLACE EXISTING, IN-KIND  
(RE) RELOCATE EXISTING  
(RM) REMODEL  
IHR 1-HOUR FIRE-RATED

- SMOKE ALARM, HARDWIRED, BATTERY BACKUP  
SMOKE & CARBON MONOXIDE ALARM COMBO, HARDWIRED, BATTERY BACKUP  
FLOURESCENT LIGHT WITH FAN AND BACKDRAFT DAMPER  
NEW STEAM RADIATOR CONNECTED TO (E) BOILER



(N) PART. FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS BY

PREPARED BY

Rolly Rivera  
350 Irvington Street  
Daly City, CA 94014  
Tel: 650-255-8222  
Email: rollyrivera@yahoo.com

APPLICANT

Primo Segundo II  
1145 Bush St., San Francisco, CA 94109  
Tel. 415-434-9700

LOCATION

972 Bush Street,  
San Francisco, CA 94109  
Parcel No. 0275 005

SHEET TITLE

INTERIOR RENOVATION OF APT BUILDING  
(N) PART. FIRST FLOOR PLAN AND NOTES

Date APR 2013

Scale As Shown

Drawn Lok

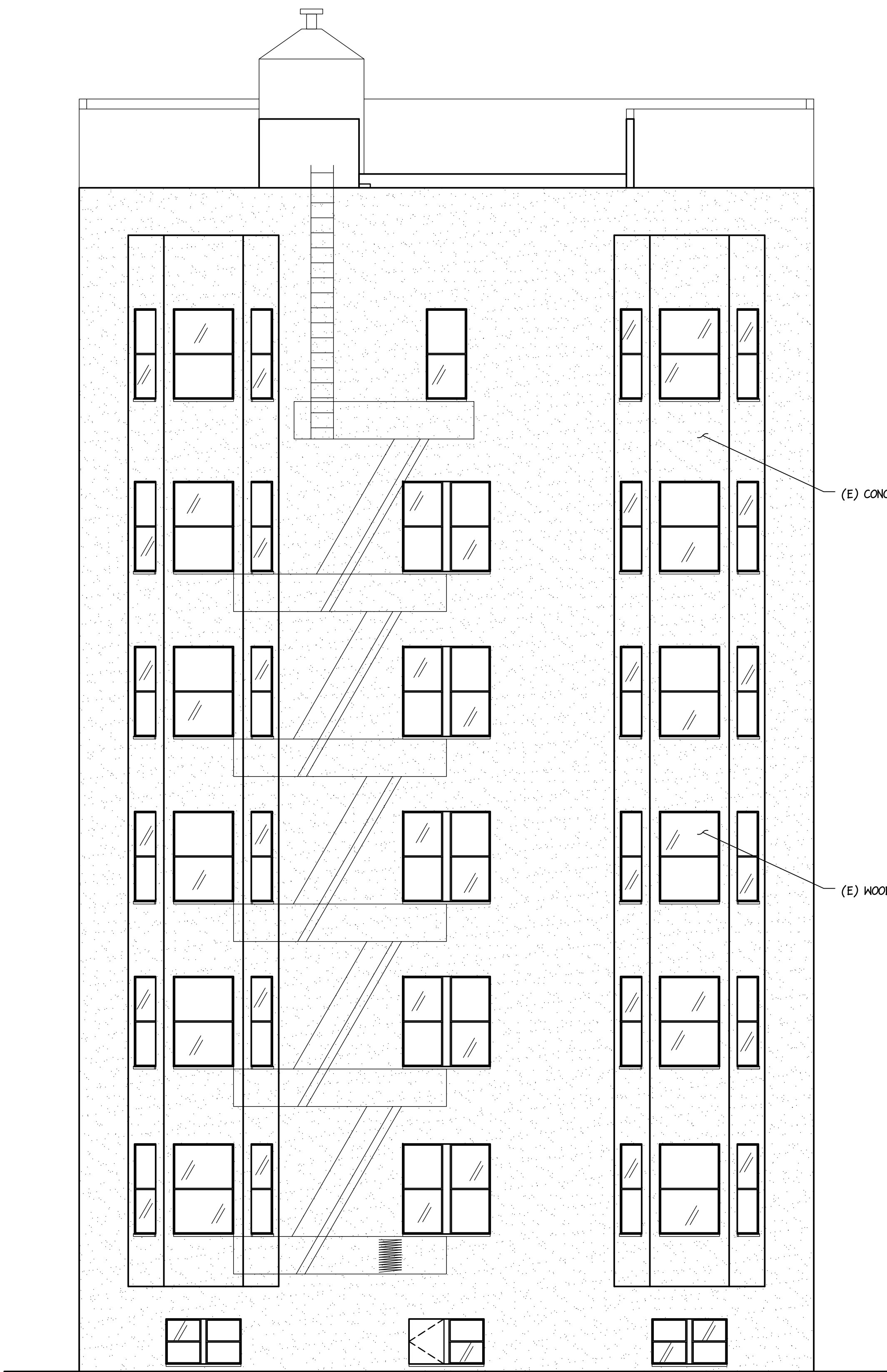
Job

Sheet

4

Of 10 Sheets





TOP OF CORNICE \_ \_ 86'-11" \_

UPPER ROOF \_ \_ \_ 81'-11" \_

LOWER ROOF \_ \_ \_ 76'-11" \_

6TH FLOOR \_ \_ \_ 63'-11" \_

(E) CONCRETE WALL, TYP.

5TH FLOOR \_ \_ \_ 58'-11" \_

4TH FLOOR \_ \_ \_ 41'-11" \_

(E) WOOD WINDOW, TYP.

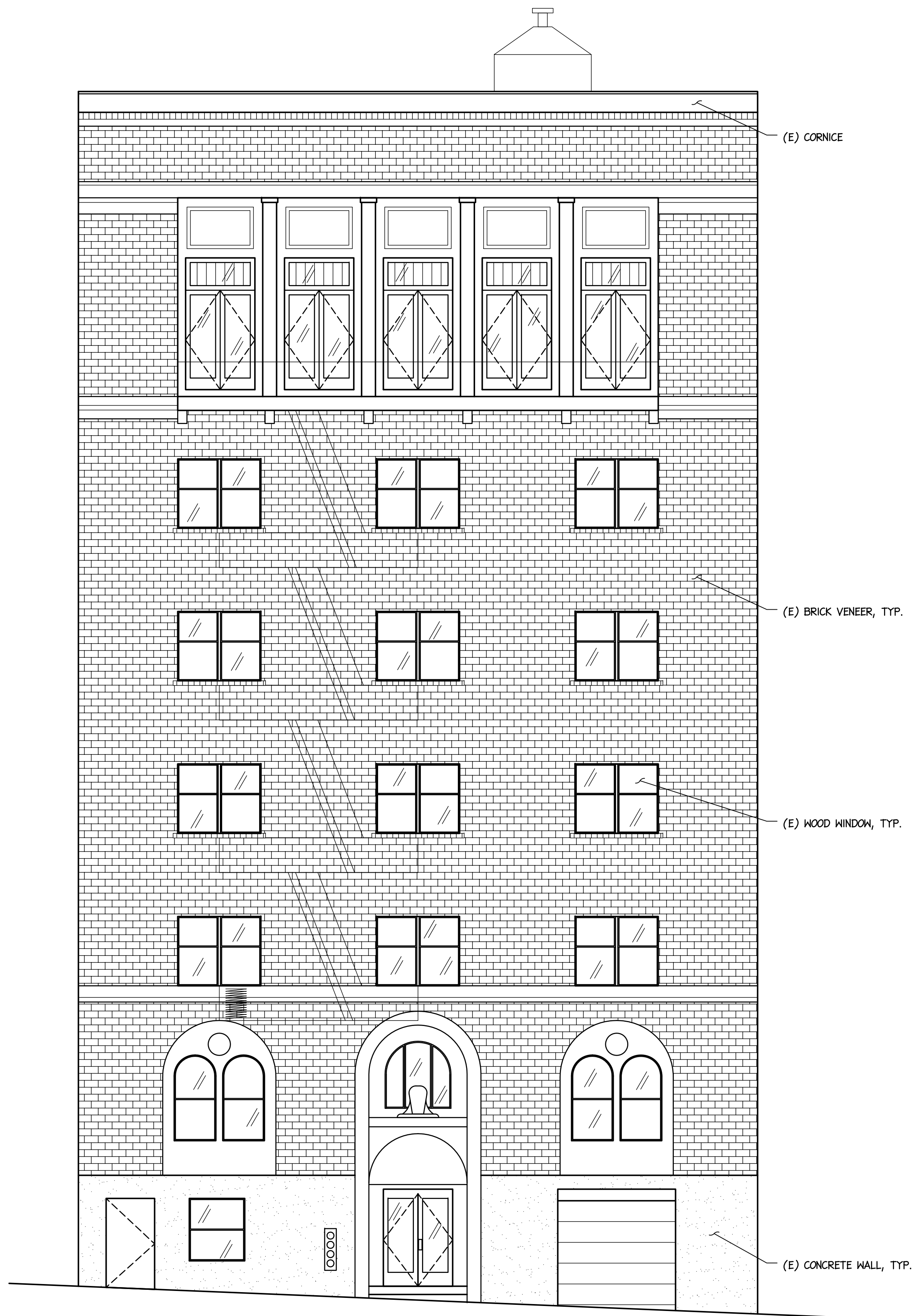
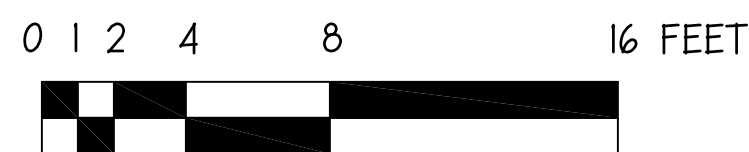
3RD FLOOR \_ \_ \_ 30'-11" \_

2ND FLOOR \_ \_ \_ 15'-11" \_

1ST FLOOR \_ \_ \_ 0'-0" \_

MAIN ENTRY \_ \_ \_ 0'-0" \_  
SPRD FLOOR \_ \_ \_ 0'-0" \_

(E) REAR ELEVATION  
SCALE:3/16"=1'-0"



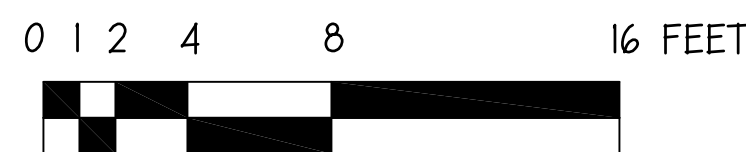
(E) CORNICE

(E) BRICK VENEER, TYP.

(E) WOOD WINDOW, TYP.

(E) CONCRETE WALL, TYP.

(E) FRONT ELEVATION  
SCALE:3/16"=1'-0"

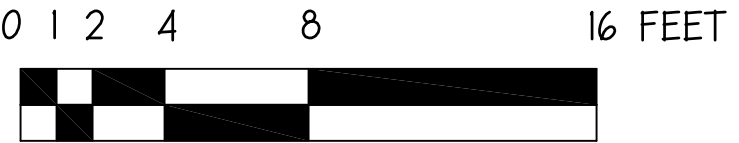


REVISIONS		BY
PREPARED BY		Rolly Rivera 350 Irvington Street Daly City, CA 94014 Tel: 650-255-8222 Email: rolyrivera@yahoo.com
APPLICANT		Primo Segundo II 1145 Bush St. Sf. Ca 94109 Tel. 415-434-9700
LOCATION		972 Bush Street, San Francisco, CA 94109 Parcel No. 0275 005
SHEET TITLE		INTERIOR RENOVATION OF APT BUILDING (E) FRONT AND REAR ELEVATIONS
Date		APR 2013
Scale		As Shown
Drawn		Lok
Job		
Sheet		5
Of 10 Sheets		

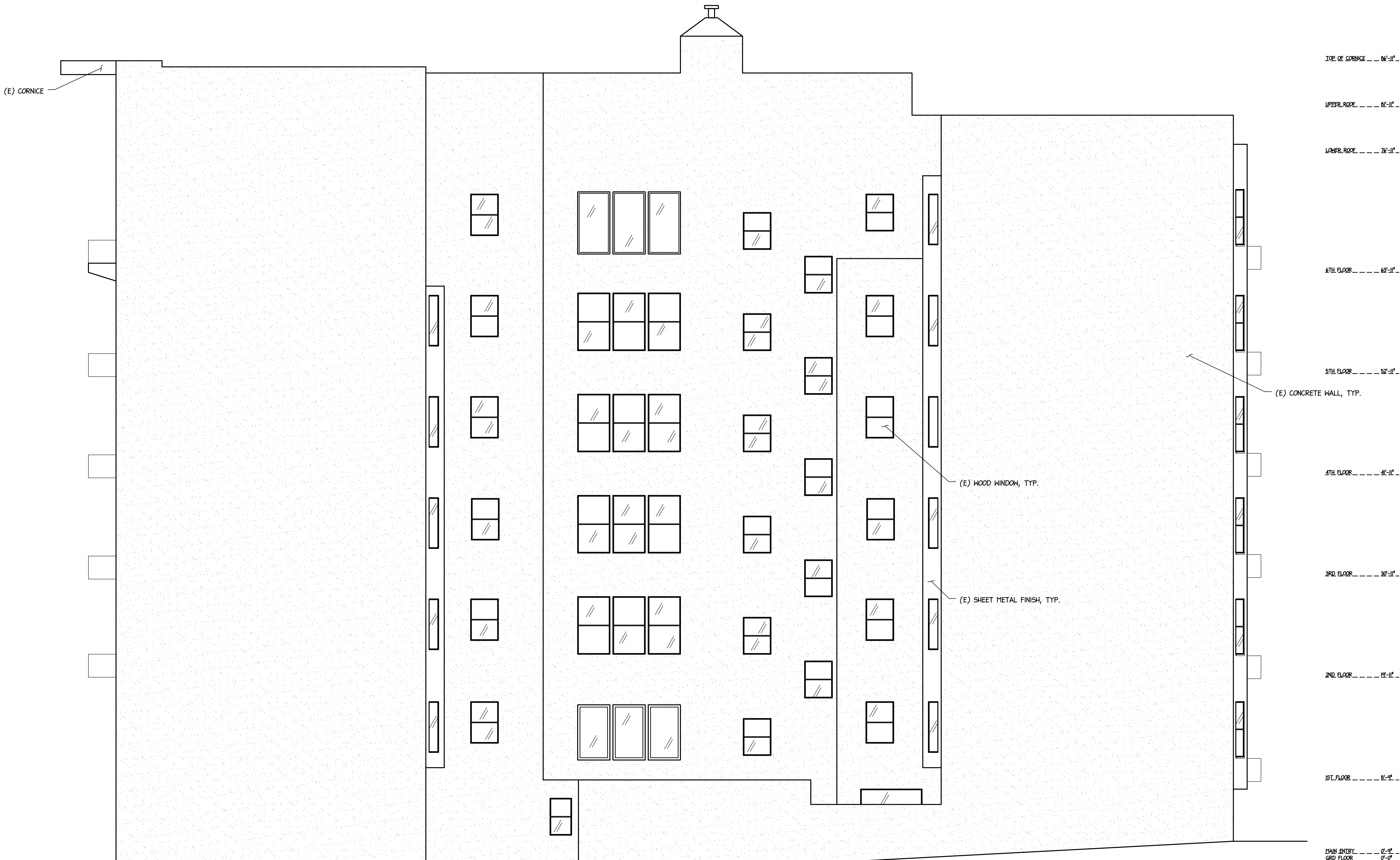




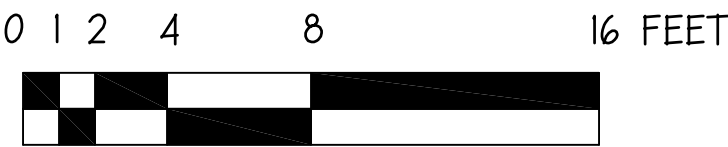
(E) WEST ELEVATION  
SCALE: 3/16" = 1'-0"



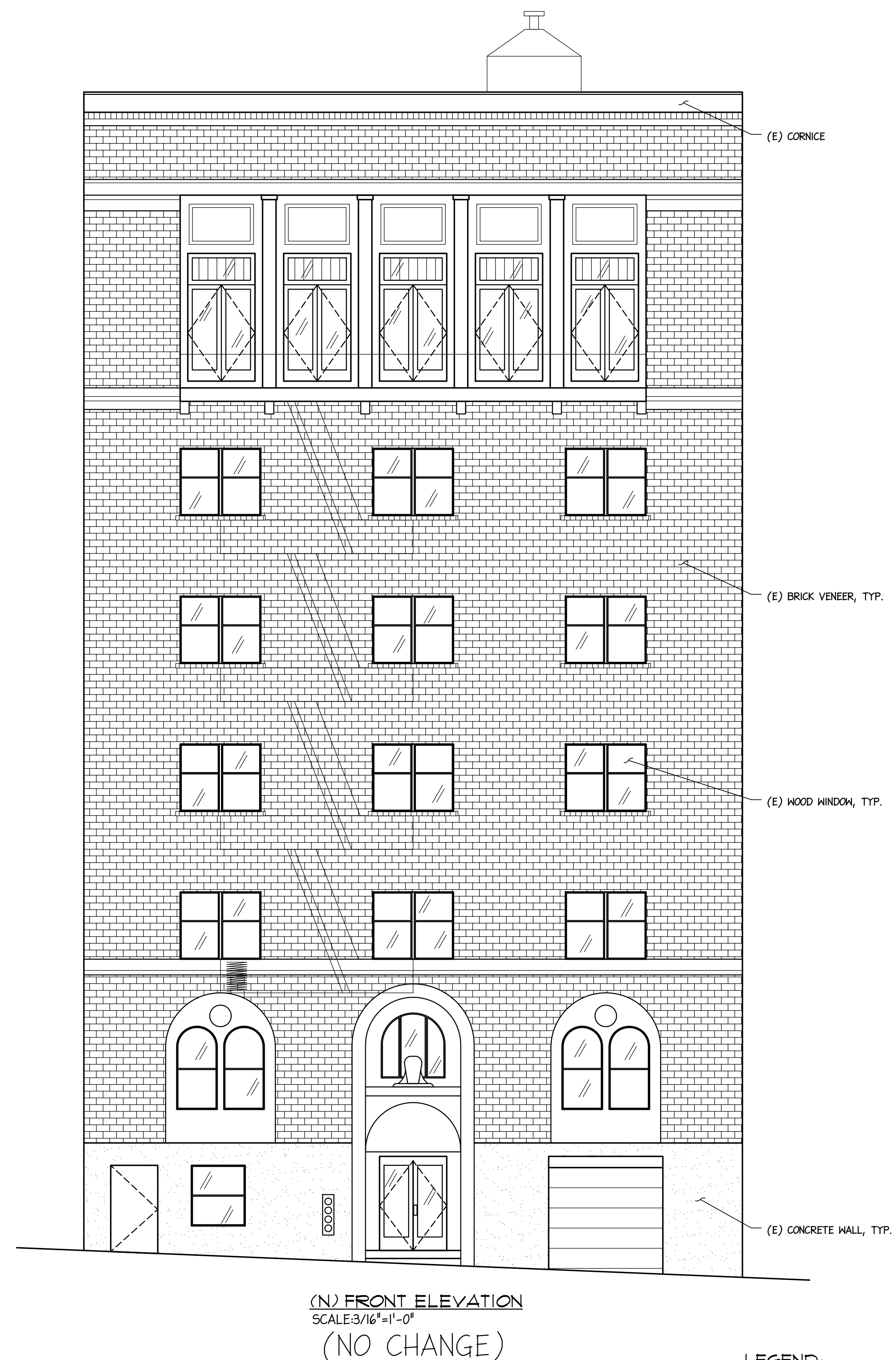
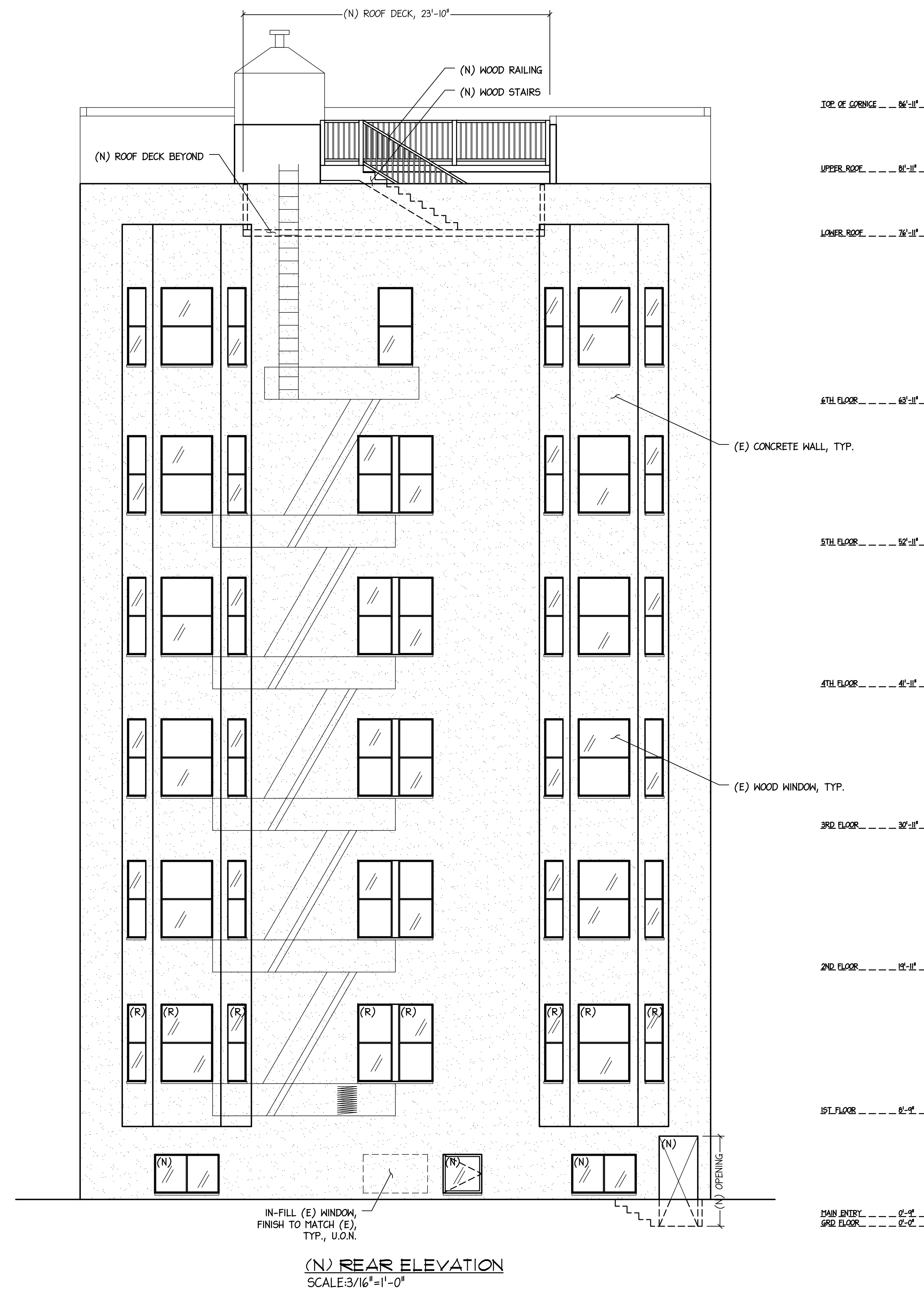
REVISIONS		BY
PREPARED BY		Rolly Rivera 350 Irvington Street Daly City, CA 94014 Tel: 650-255-8222 Email: rolyrivera@yahoo.com
APPLICANT		Primo Segundo II 1145 Bush St. S.F. Ca 94109 Tel. 415-434-9700
LOCATION		972 Bush Street, San Francisco, CA 94109 Parcel No. 0215 005
SHEET TITLE		INTERIOR RENOVATION OF APT BUILDING (E) WEST ELEVATION
Date		APR 2013
Scale		As Shown
Drawn		Lok
Job		
Sheet		
Of 10 Sheets		



(E) EAST ELEVATION  
SCALE:3/16"=1'-0"



REVISIONS		BY			

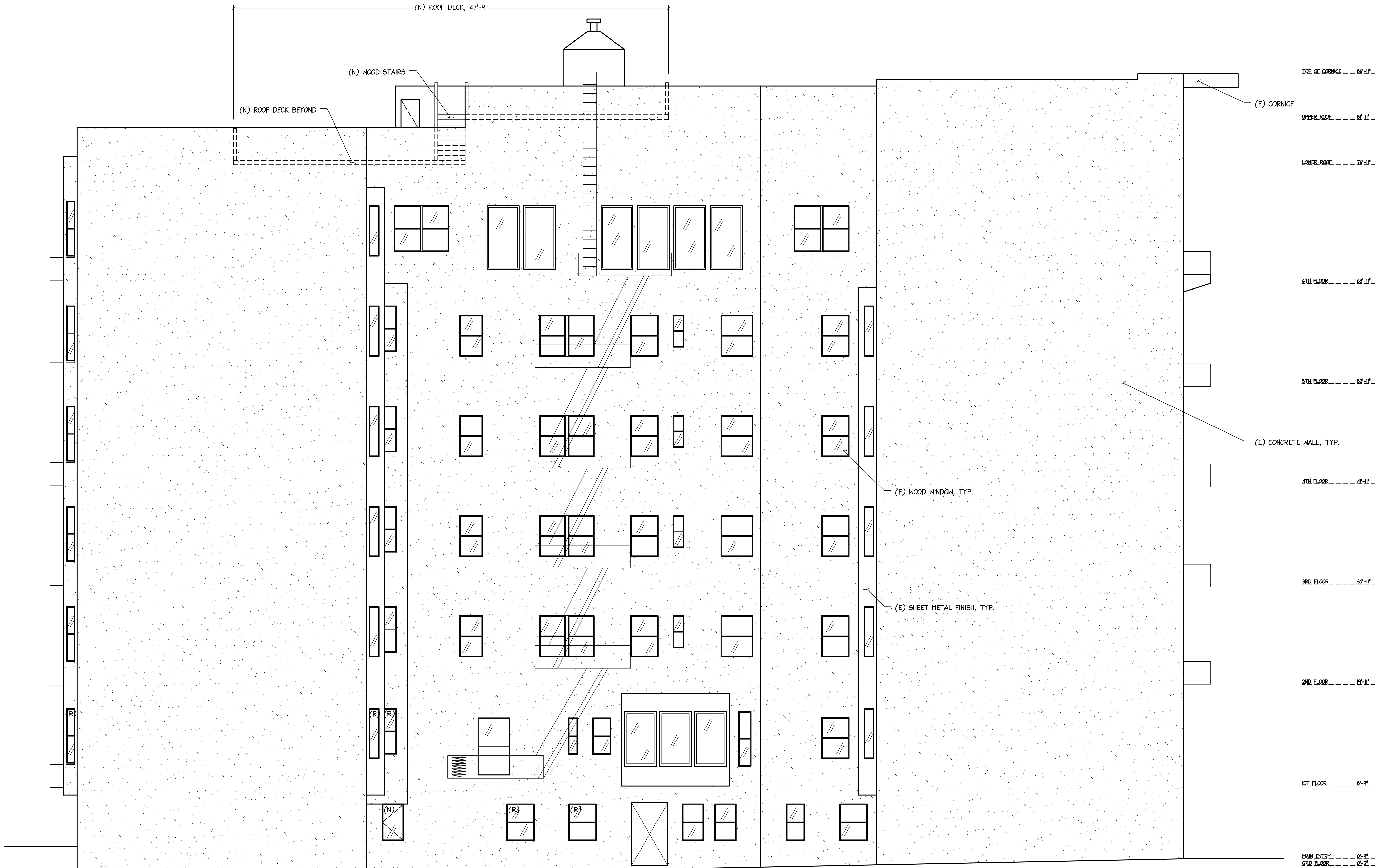


**LEGEND:**  
(N) NEW  
(R) REPLACE EXISTING, IN-KIND  
NOTE: WINDOWS WITHOUT SYMBOL ARE EXISTING TO REMAIN

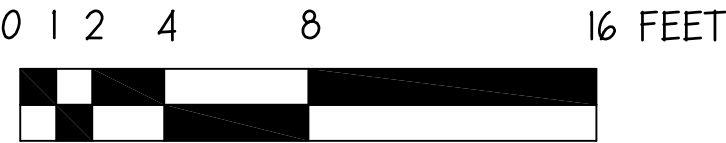
SHEET TITLE		LOCATION	APPLICANT	PREPARED BY	REVISIONS	BY
INTERIOR RENOVATION OF APT BUILDING		972 Bush Street, San Francisco, CA 94109 Parcel No. 0275 005	Primo Segundo II 1145 Bush St., CA 94109 Tel. 415-434-9700	Rolly Rivera 350 Irvington Street Daly City, CA 94014 Tel. 650-255-8222 Email: rolyrivera@yahoo.com		
(N) FRONT AND REAR ELEVATIONS						

Date APR 2013  
 Scale As Shown  
 Drawn Lok  
 Sheet

Of 10 Sheets



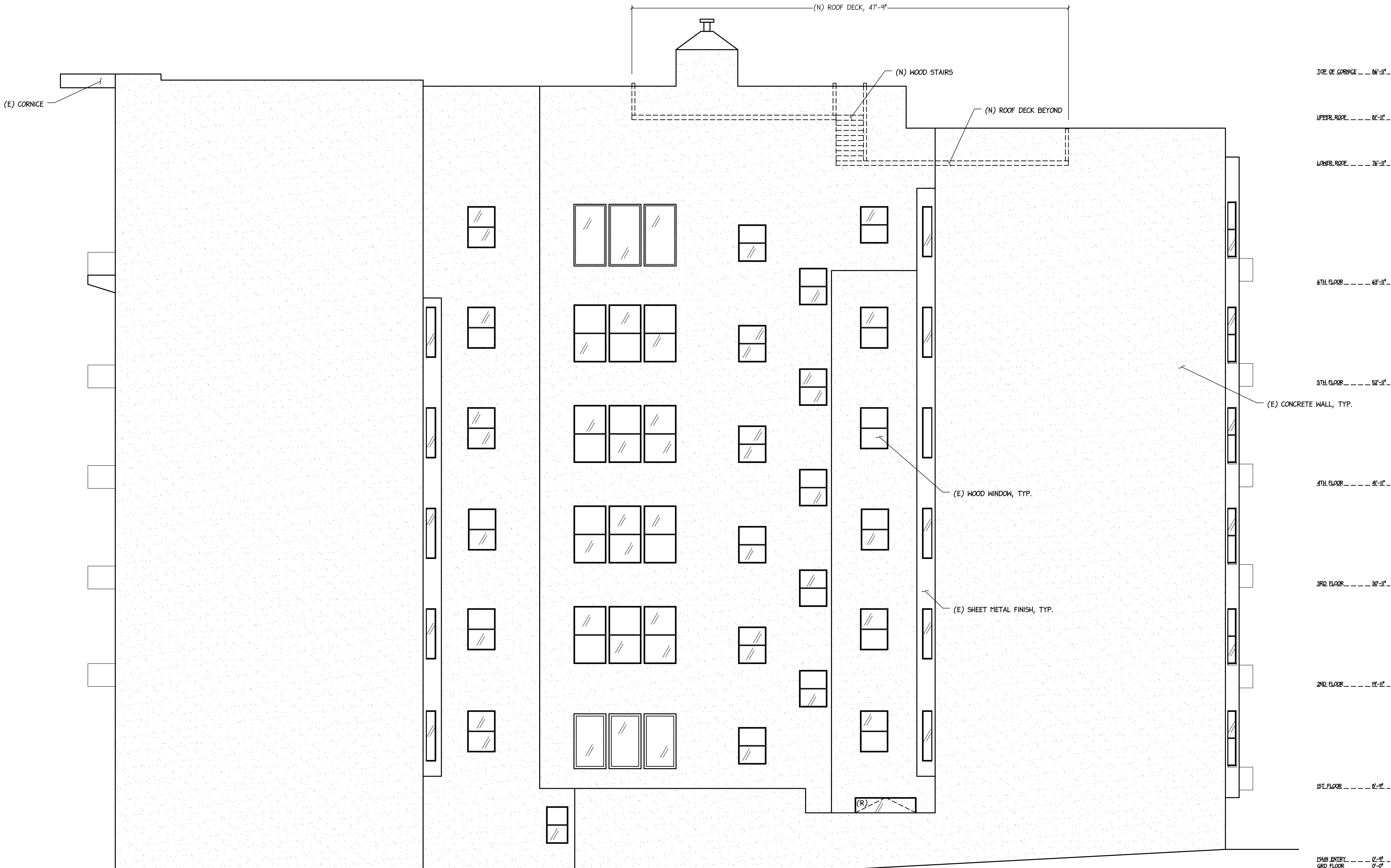
(N) WEST ELEVATION  
SCALE: 3/16" = 1'-0"



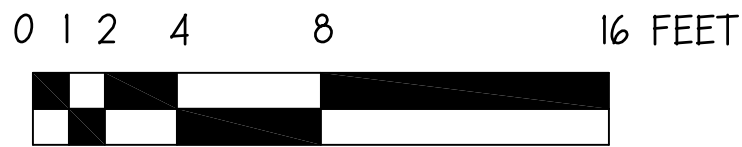
**LEGEND:**  
(N) NEW  
(R) REPLACE EXISTING, IN-KIND  
NOTE: WINDOWS WITHOUT SYMBOL ARE EXISTING TO REMAIN

REVISIONS		BY
PREPARED BY		Rolly Rivera 350 Irvington Street Daly City, CA 94014 Tel: 650-255-8222 Email: rolyrivera@yahoo.com
APPLICANT		Primo Segundo II 1145 Bush St. Sf. Ca 94109 Tel. 415-434-9700
LOCATION		972 Bush Street, San Francisco, CA 94109 Parcel No. 0215 005
SHEET TITLE		INTERIOR RENOVATION OF APT BUILDING (N) WEST ELEVATION
Date		APR 2013
Scale		As Shown
Drawn		Lok
Job		
Sheet		
Of 10 Sheets		





(N) EAST ELEVATION  
SCALE: 3/16"=1'-0"



LEGEND:  
(N) NEW  
(R) REPLACE EXISTING, IN-KIND  
NOTE: WINDOWS WITHOUT SYMBOL ARE EXISTING TO REMAIN

REVISIONS		BY