



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1907 Lyon St	Case No.: 2014.1164V
Cross Street(s): Lyon & Sacramento	Building Permit: 201409237111
Block / Lot No.: 1007/006	Applicant/Agent: Aaron & Erica Weisinger
Zoning District(s): RH-2 / 40-X	Telephone: 925-588-1279
Area Plan: N/A	E-Mail: aaronweisinger@gmail.com

PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition, measuring approximately 10 feet 3 inches deep, 6 feet 4 inches wide, and 8 feet 3 inches in height, which will fill in the existing lightcourt at the southwest corner of the single-family residence. The proposal includes an exterior balcony and ladder to provide access to the roof, although no roof deck is proposed.

Per Section 134 of the Planning Code the subject property is required to maintain a rear yard of 15 feet. The proposed addition falls entirely within the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Alexandra Kirby** Telephone: **415-575-9133** Mail: Alexandra.Kirby@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.1164V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

Verify all dimensions of the lot, easement, and soil conditions including excavation, underpinning, drainage and utility lines at this property, as well as, at adjacent properties. All construction work shall conform to local building code.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in every detail although every necessary item involved is not particularly mentioned. The contractor will be held responsible to provide all the materials and labor necessary for the entire completion of the work intended to be described and shall not avail himself manifestly of any unintentional error or omission should such exists.

Should any error or inconsistency appears or occurs in the drawing, the contractor shall notify the owner and Architect/Engineer for proper adjustment before proceeding with the work, and in no case, shall proceed with the work in uncertainty.

Work included:
Except as otherwise specifically stated, the contractor shall provide and pay all materials, labor, tools, equipment, and building permits including encroachment and hauling permits.

Alterations:
If alterations of design or plan are made without the written consent of the Architect/Engineer, the Architect/Engineer shall not be responsible for such alterations made by or agreed upon between owner and contractor.

Information confidential
All plans, drawings, specifications and/or information furnished herewith are and shall remain the property of the Architect/Engineer & be held confidential and not be used for any purposes other than those for which they have been supplied and prepared. These drawings are not to be copied or duplicated without the Architect's/Engineer's written permission.

NOTE 1:
BUILT-UP ROOFING (TYPICAL)

- MODIFIED BITUMEN W/GRANULE APP 180 BY FIRESTONE COMPANY OR EQUIVALENT OVER FIBERGLASS BASE OVER 3/4" CDX PLYWOOD SHEATING.
- INSTALL R-30 INSULATION WITH VAPOR BARRIER BETWEEN ROOF JOISTS.
- SLOPE ROOF 1/4" PER FOOT TO DRAIN (DRAINING TO SEWER LINE).
- ALL ROOF PENETRATIONS, SUCH AS ROOF DRAINS, SKYLINE, CHIMNEYS, EXHAUST FANS, VENT STACKS, ETC., SHALL BE PROPERLY FLASHED TO ASSURE WATER TIGHTNESS.
- PROVIDE ROOF OVERFLOW DRAINAGE AS PER SECT. 3207C OF UBC. ROOFING MATERIAL TO BE CLASS "B" FIRE RATED ROOF ASSEMBLY OR BETTER

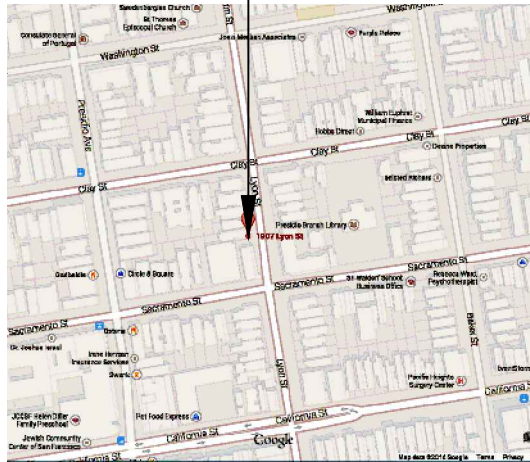
APPLICABLE CODES:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ENERGY CODE
CURRENT SAN FRANCISCO AMENDMENTS FOR ALL CODES

PROJECT DATA:
ADDRESS: 1907 LYON STREET
SAN FRANCISCO, CA
1007/006
BLOCK / LOT
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
ZONING: RH-2

- SCOPE OF WORK:
- BASEMENT:
- EXCAVATE FROM 7'-3" TO 7'-6" CEILING HEIGHT.
 - REPLACE BAD CONDITION OF FOUNDATION.
 - ADD BEDROOM, HOME OFFICE AND FULL BATH.
 - REPLACE WINDOW @ FRONT.
 - INFILL LIGHT COURT.
 - RE-DESIGN STAIR FROM BASEMENT TO 1ST FLOOR AND BRING IT TO COMPLY CURRENT CODE.
- 1ST FLOOR:
- REMOVE WALL BETWEEN LIVING ROOM AND HALLWAY.
 - ADD (N) POWDER ROOM.
 - RE-CONSTRUCT EXTERIOR STAIR MEET CURRENT CODE
- 2ND FLOOR:
- INFILL LIGHT WELL AT 2ND FLOOR BATHROOM.
 - RE-LAYOUT MASTER BATH.
 - ADD SKYLIGHTS TO EACH BATHROOMS.

- DRAWING INDEX:
- A-1: GENERAL NOTE, SITE PLAN
- A-2: EXISTING & PROPOSED BASEMENT & 1ST. FLOOR PLAN
- A-3: EXISTING & PROPOSED SECOND FLOOR PLAN, ARCHITECTURAL DETAILS
- A-4: EXISTING & PROPOSED FRONT ELEVATION
- A-5: EXISTING & PROPOSED REAR ELEVATION, SECTIONS
- A-6: EXISTING & PROPOSED LEFT ELEVATION
- EN-1: ENERGY-TITLE 24
- EN-2: ENERGY-TITLE 24
- S-1: PROPOSED FOUNDATION PLAN
- PROPOSED FLOOR & ROOF FRAMING PLAN
- S-2: STRUCTURAL DETAILS 1
- S-3: STRUCTURAL DETAILS 2
- S-4: STRUCTURAL DETAILS 3
- GB-1: GREEN BUILDING: SITE PERMIT CHECKLIST
- GB-2: GREEN BUILDING: INDOOR WATER USE

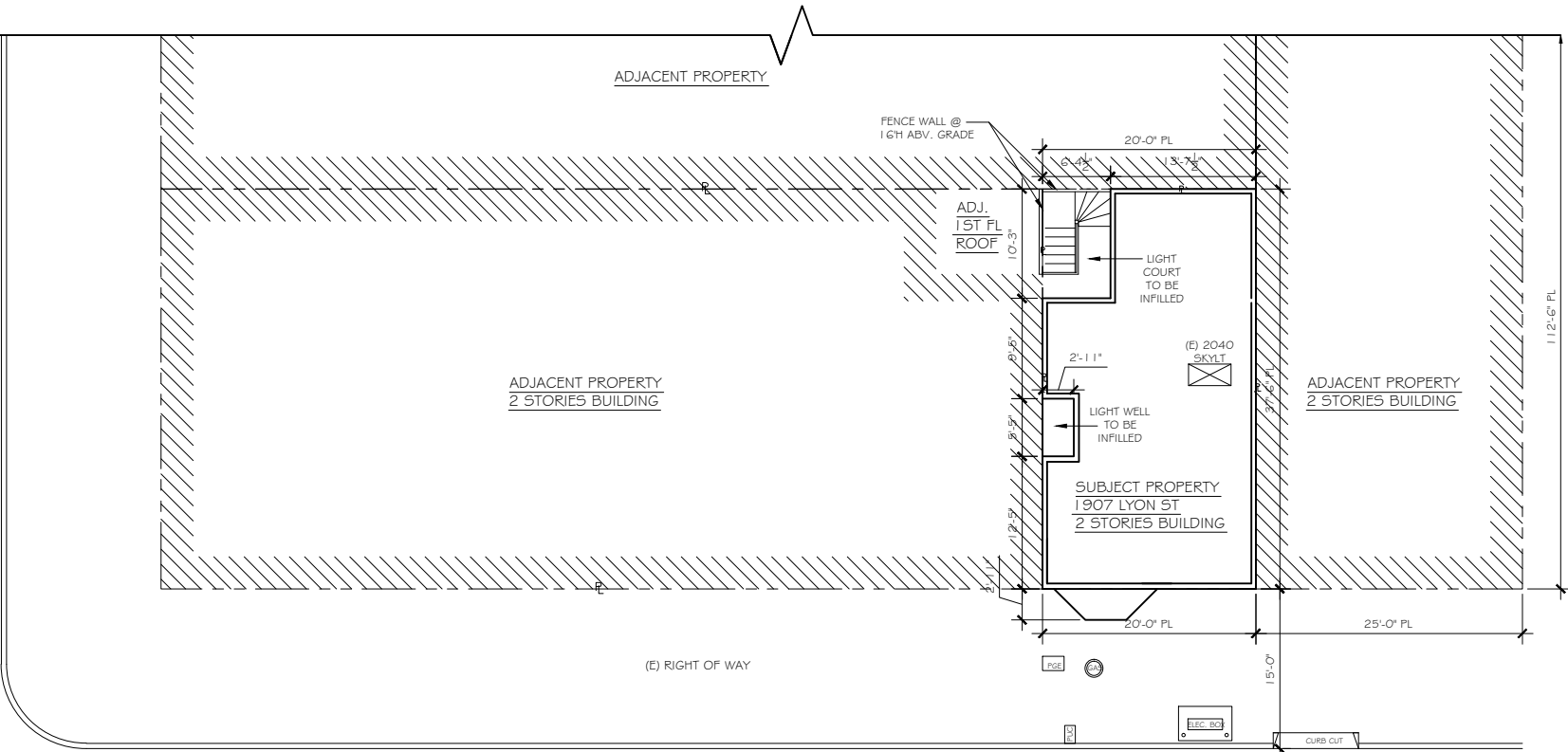
PROJECT LOCATION



VICINITY MAP

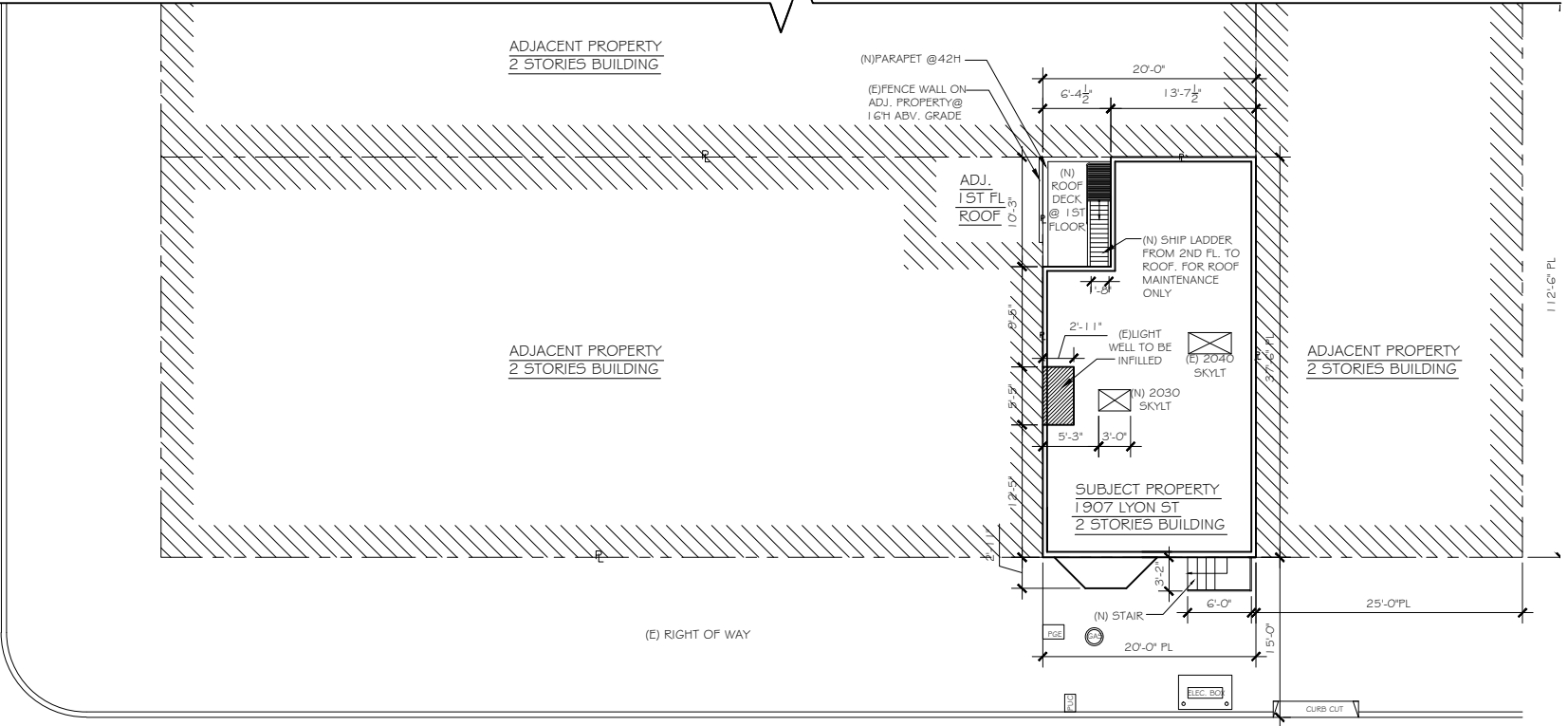
LEGEND

SYMBOL	DESCRIPTION
----	DEMOLITION
=====	REMAIN WALL
////	NEW WALL
///	LEVEL CHANGE
	SHEET NO. SECTION NO.
	SHEET NO. DETAIL
	AREA OF WORK



1 EXISTING SITE/ROOF PLAN

Scale: 1/8" = 1'-0"



2 PROPOSED SITE/ROOF PLAN

Scale: 1/8" = 1'-0"

GENERAL NOTE, SITE PLAN

WEISINGERS RESIDENCE
BLOCK: 1007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94115

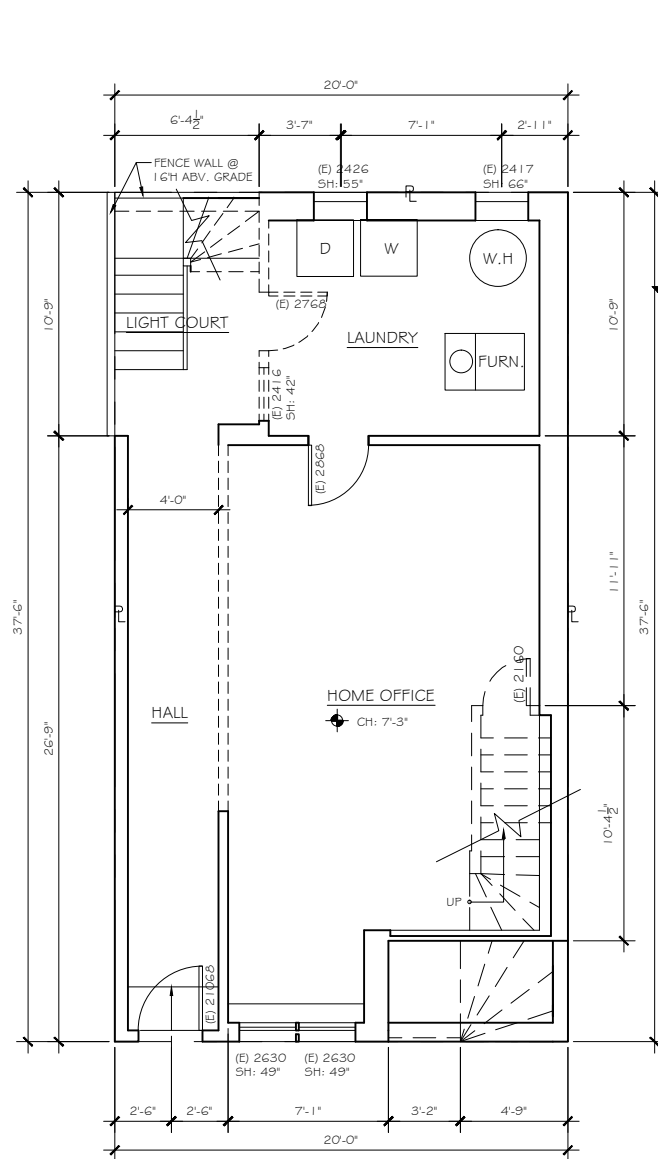
REVISION:
OWNER REQUEST
09.08.2014

DATE 06.09.2014

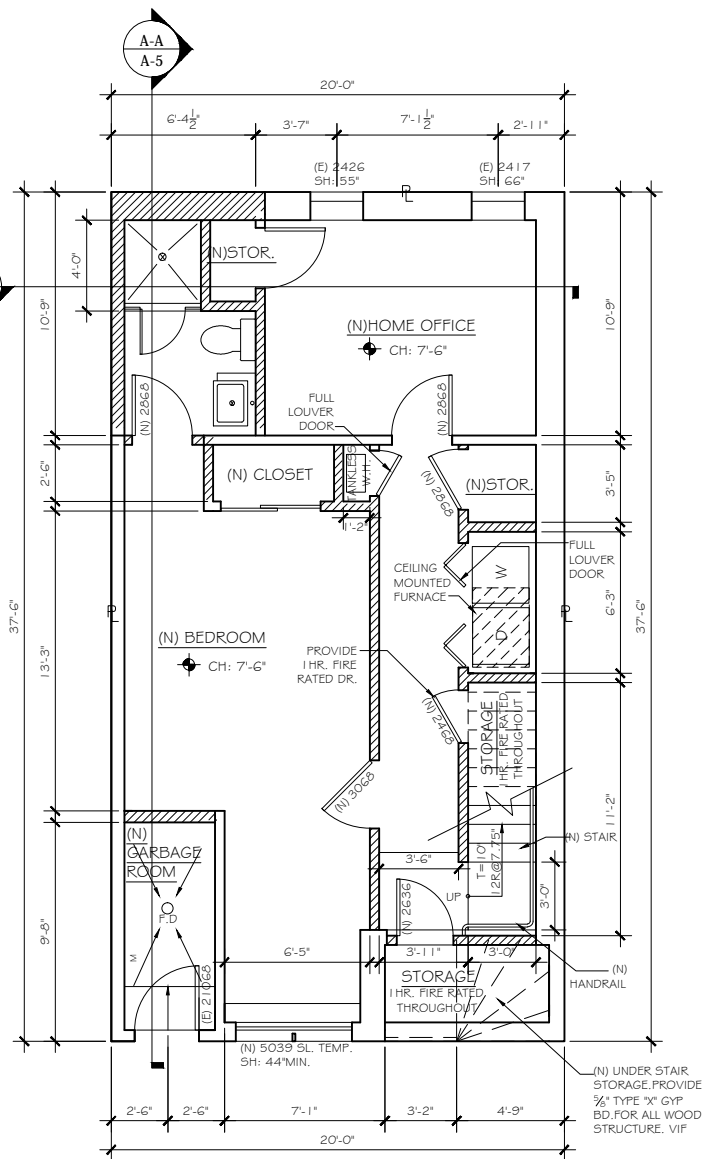
SCALE 1/8" = 1'-0"

A-1

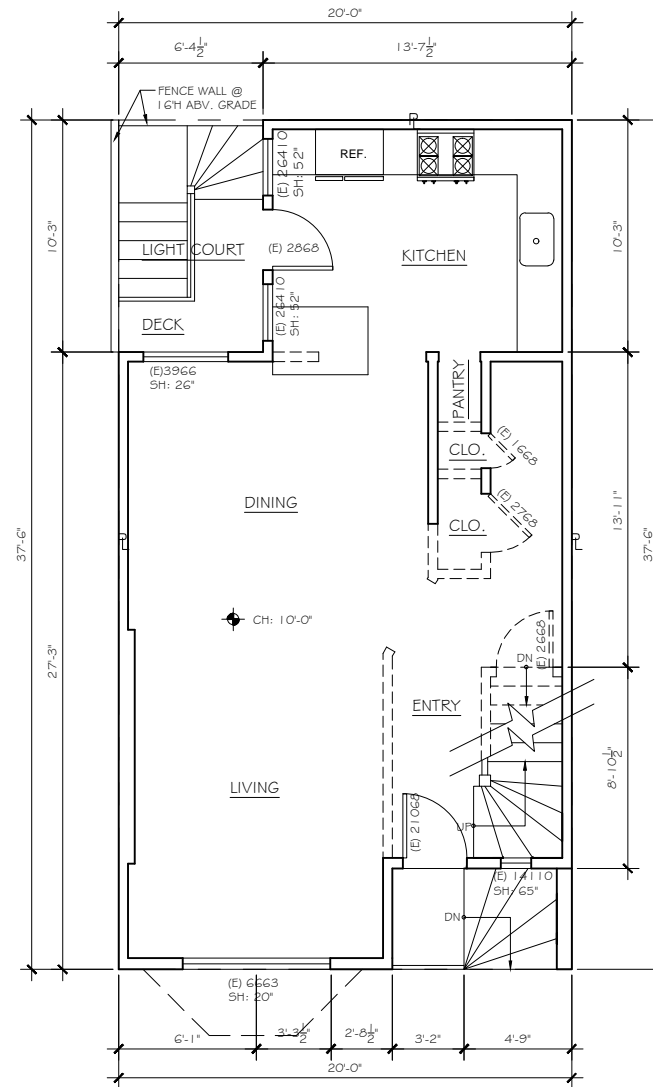
PROPERTY OWNER:
AARON & ERICA WEISINGER
1907 LYON STREET
SAN FRANCISCO, CA 94115
TEL: (925) 588-1279
APPLICANT:
KEVIN WONG (415) 646-5634



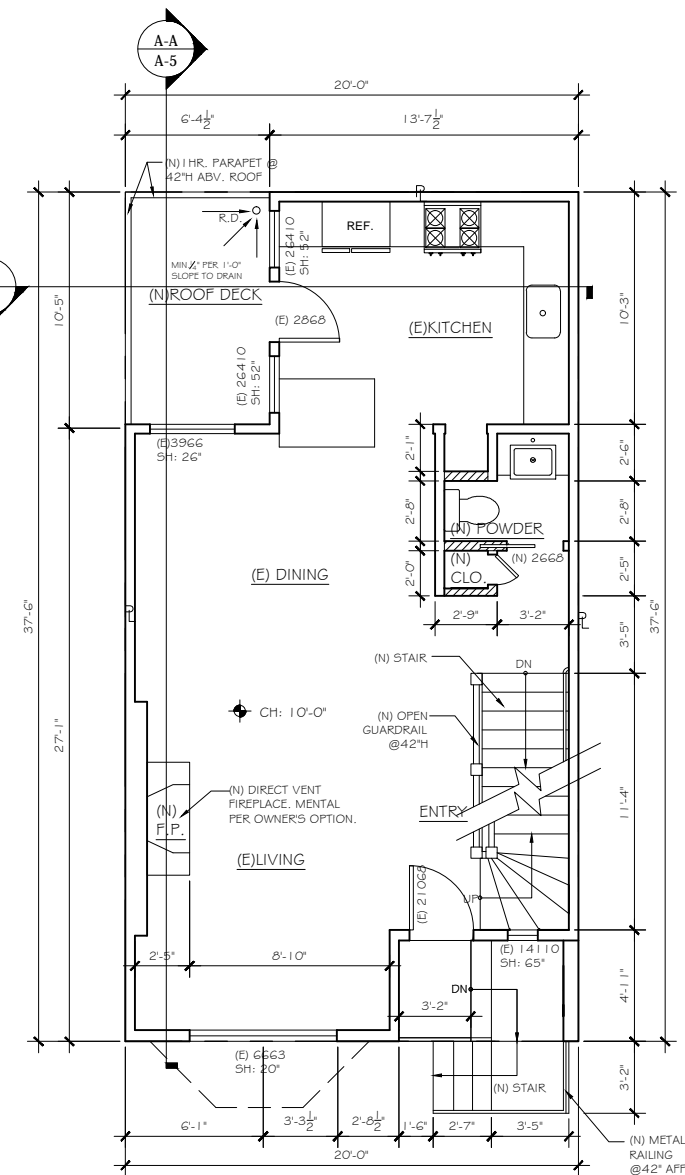
1 EXISTING BASEMENT PLAN
647 SQ.FT. Scale: 1/4" = 1'-0"



2 PROPOSED BASEMENT PLAN
717 SQ.FT. Scale: 1/4" = 1'-0"



3 EXISTING 1ST FLOOR PLAN
645 SQ.FT. Scale: 1/4" = 1'-0"



4 PROPOSED 1ST FLOOR PLAN
645 SQ.FT. Scale: 1/4" = 1'-0"



WEISINGER'S RESIDENCE
BLOCK: 1007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94115

REVISION:
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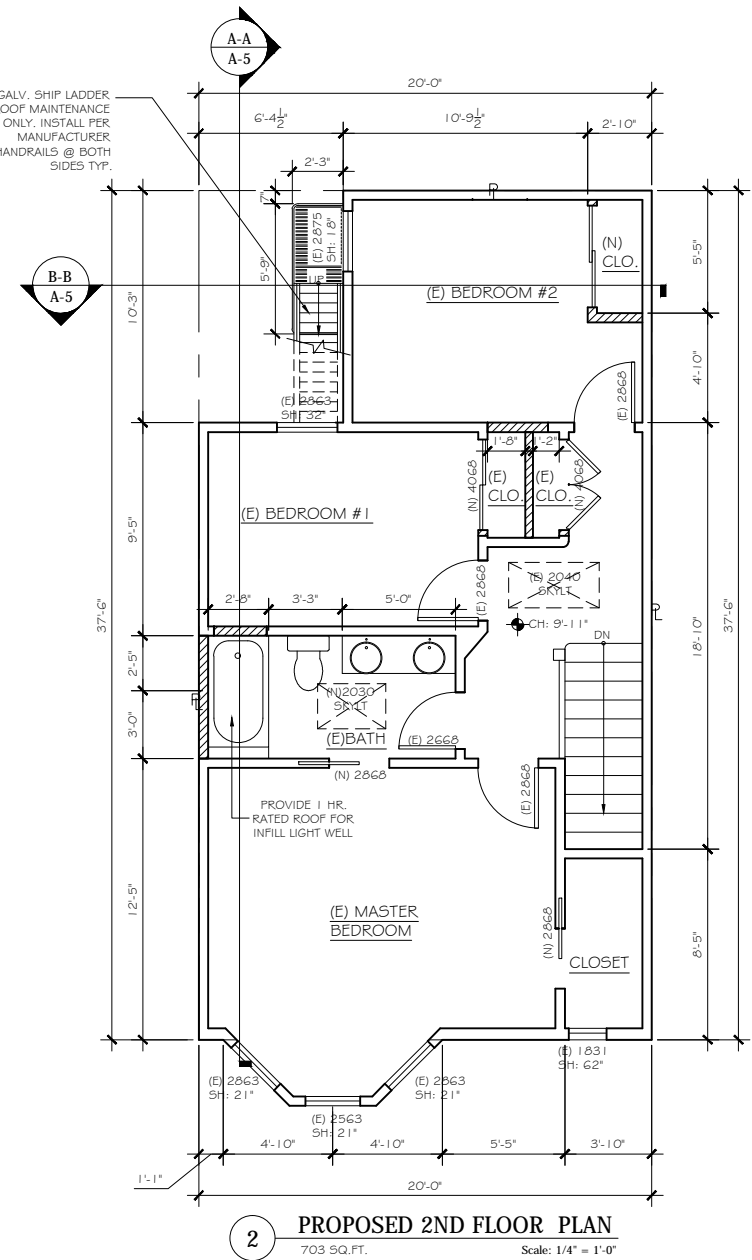
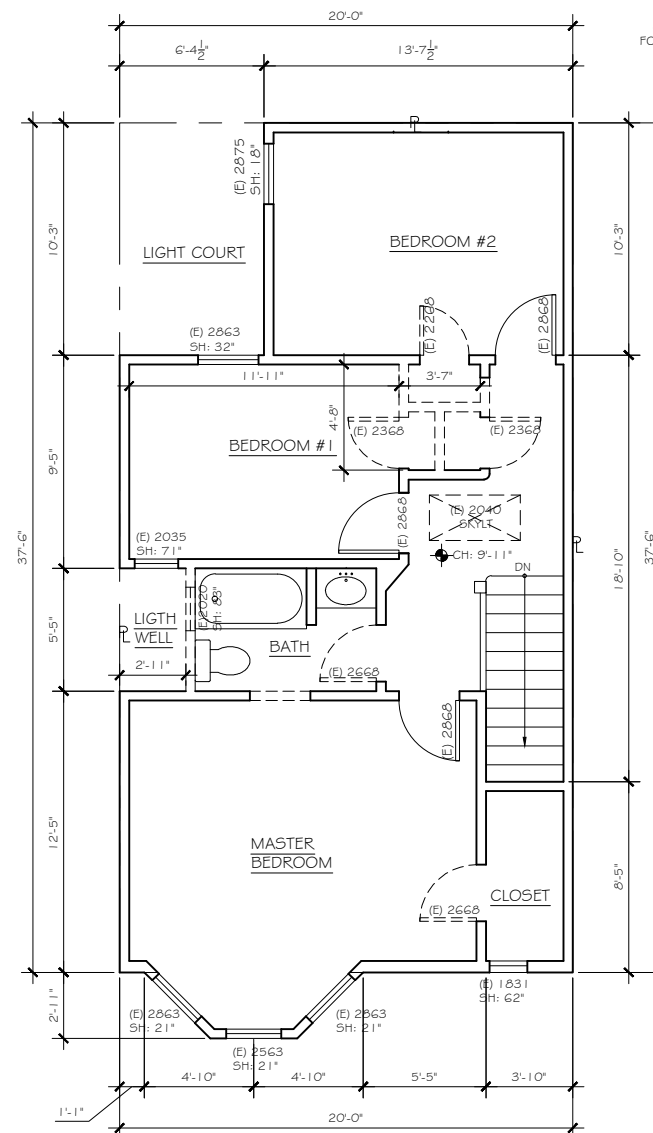
DATE 06.09.2014

SCALE 1/4" = 1'-0"

A-2

EXISTING & PROPOSED BASEMENT PLAN
EXISTING & PROPOSED 1ST FLOOR PLAN

PROPERTY OWNER:
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TEL: (925) 588-1279
APPLICANT:
KEVIN WONG (415) 646-5634



WEISINGER'S RESIDENCE
BLOCK: 1007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94115

REVISION:
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DATE 06.09.2014

SCALE 1/4" = 1'0"

A-3

PROPERTY OWNER:
AARON & ERICA WEISINGER
1907 LYON STREET
SAN FRANCISCO, CA 94115
TEL: (925) 588-1279

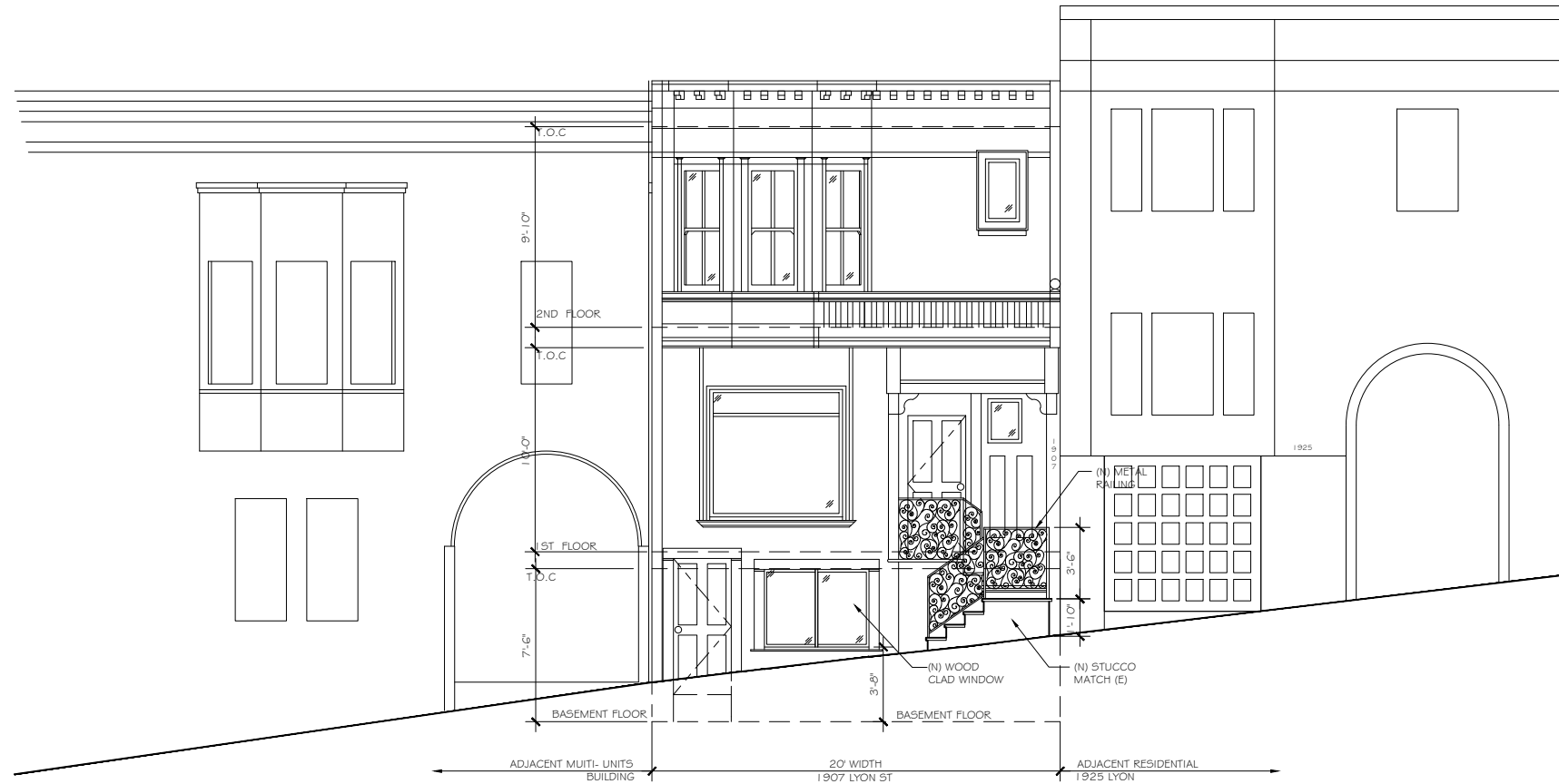
APPLICANT:
KEVIN WONG (415) 646-5634

EXISTING & PROPOSED 2ND PLAN ARCHITECTURAL DETAIL

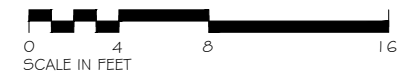




1 EXISTING EAST(FRONT) ELEVATION
Scale: 1/4" = 1'-0"



1 PROPOSED EAST(FRONT) ELEVATION
Scale: 1/4" = 1'-0"



WEISINGER'S RESIDENCE
BLOCK: 1007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94115

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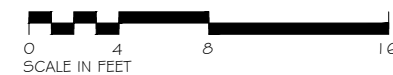
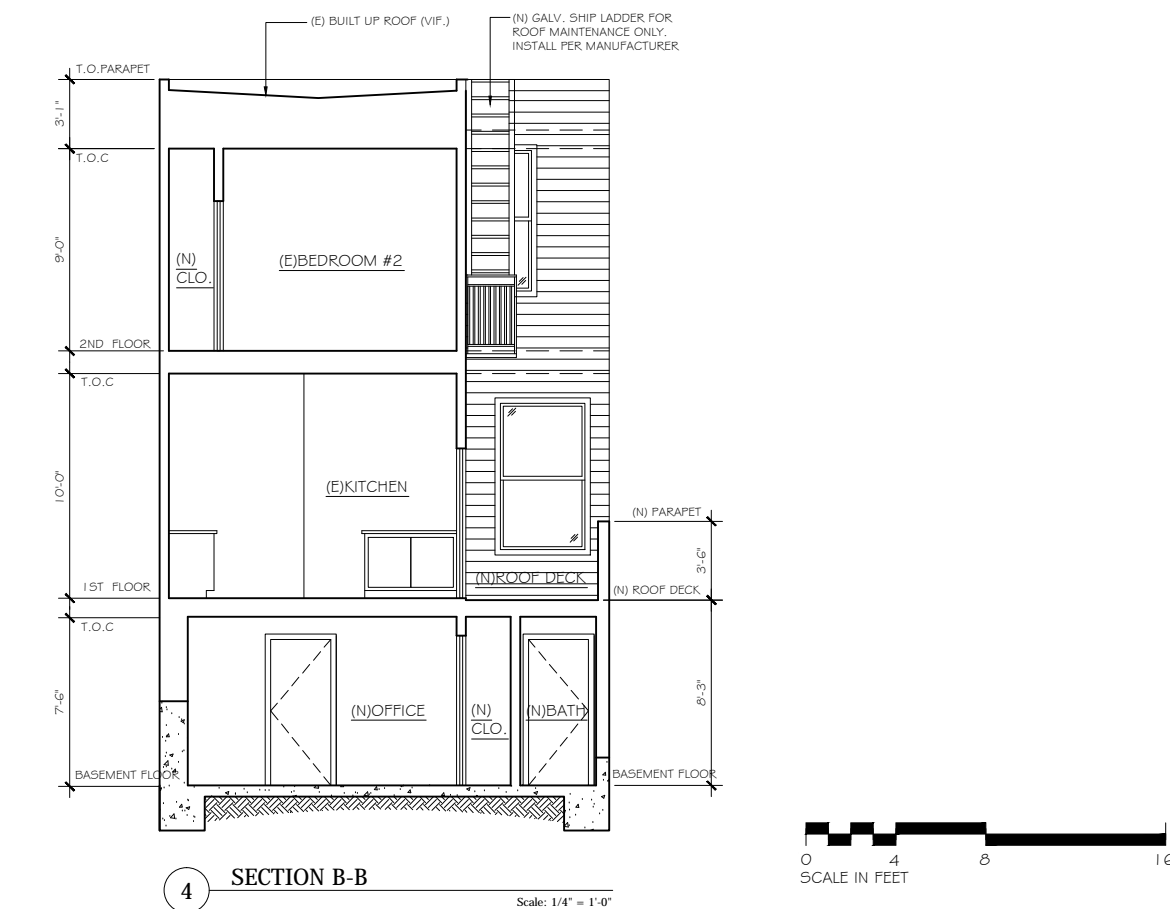
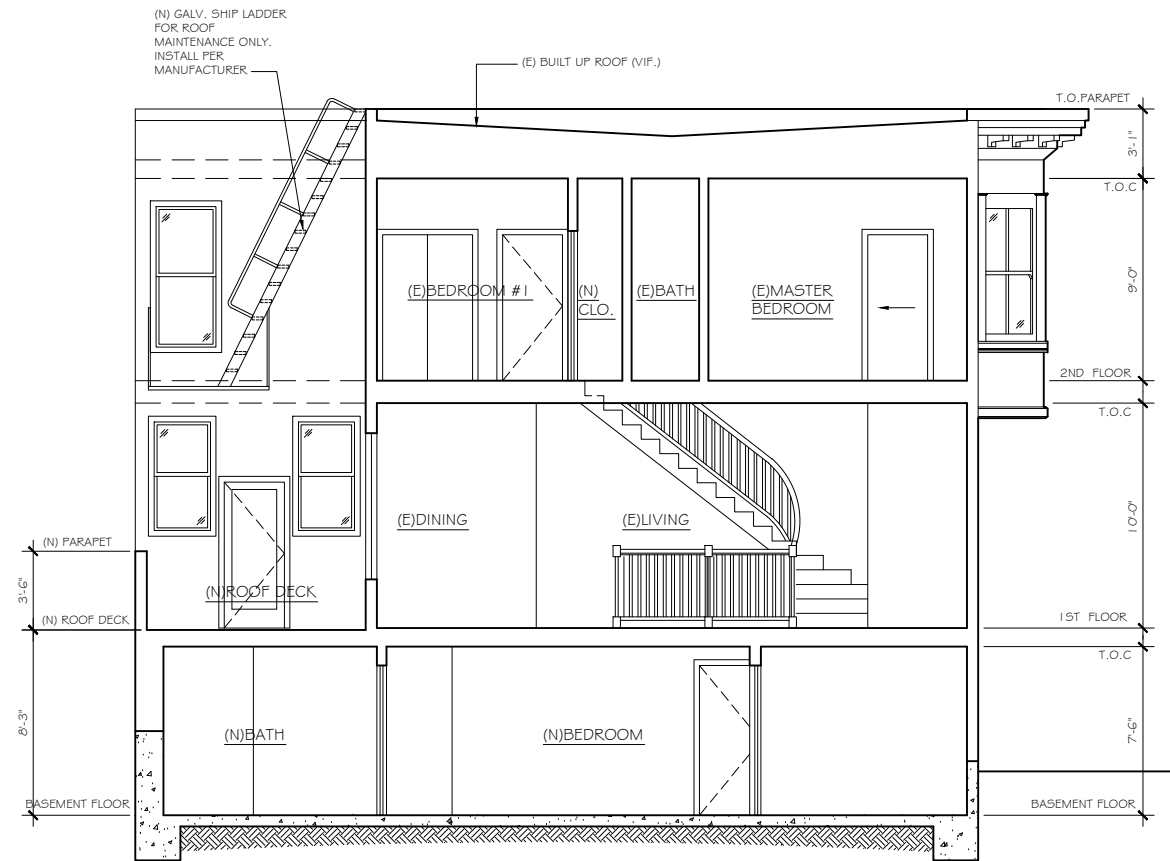
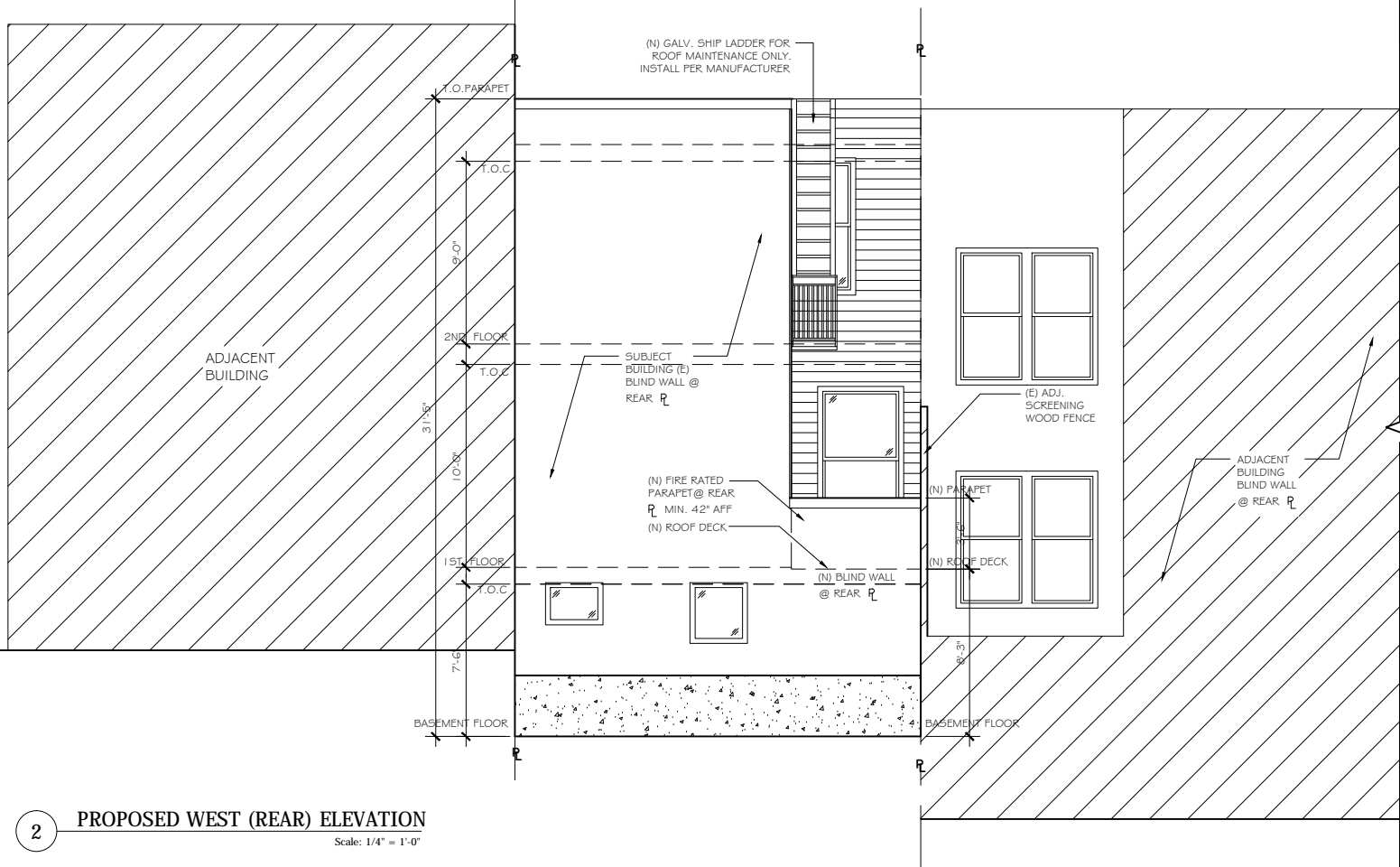
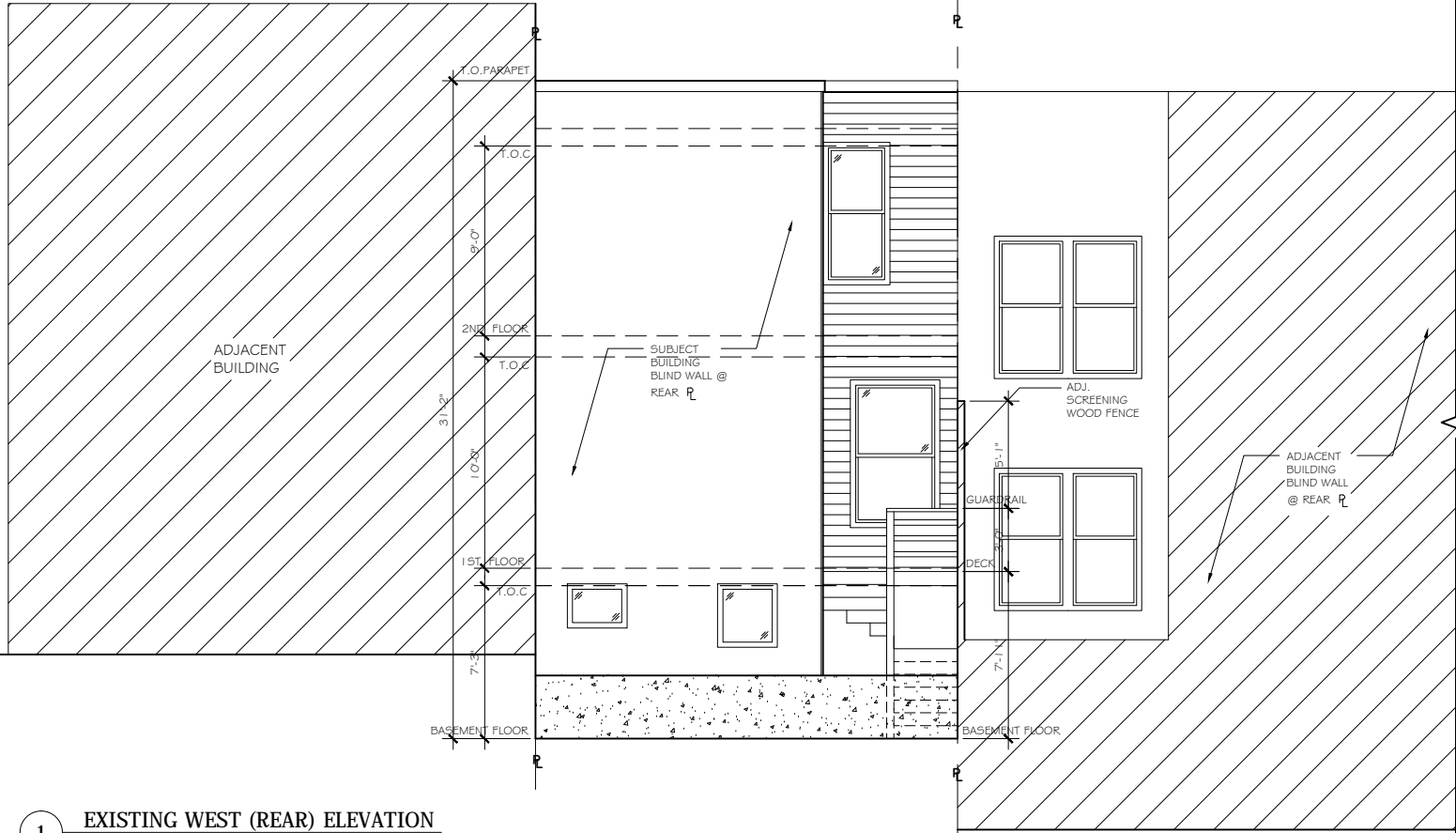
DATE 06.09.2014

SCALE 1/4" = 1'-0"

EXISTING & PROPOSED
EAST (FRONT) ELEVATION

PROPERTY OWNER:
AARON & ERICA WEISINGER
1907 LYON STREET
SAN FRANCISCO, CA 94115
TEL: (925) 588- 1279
APPLICANT:
KEVIN WONG (415) 646-5634

A-4



EXISTING & PROPOSED
WEST (REAR) ELEVATIONS
SECTION A-A, B-B

WEISINGERS RESIDENCE
BLOCK: 1007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94115

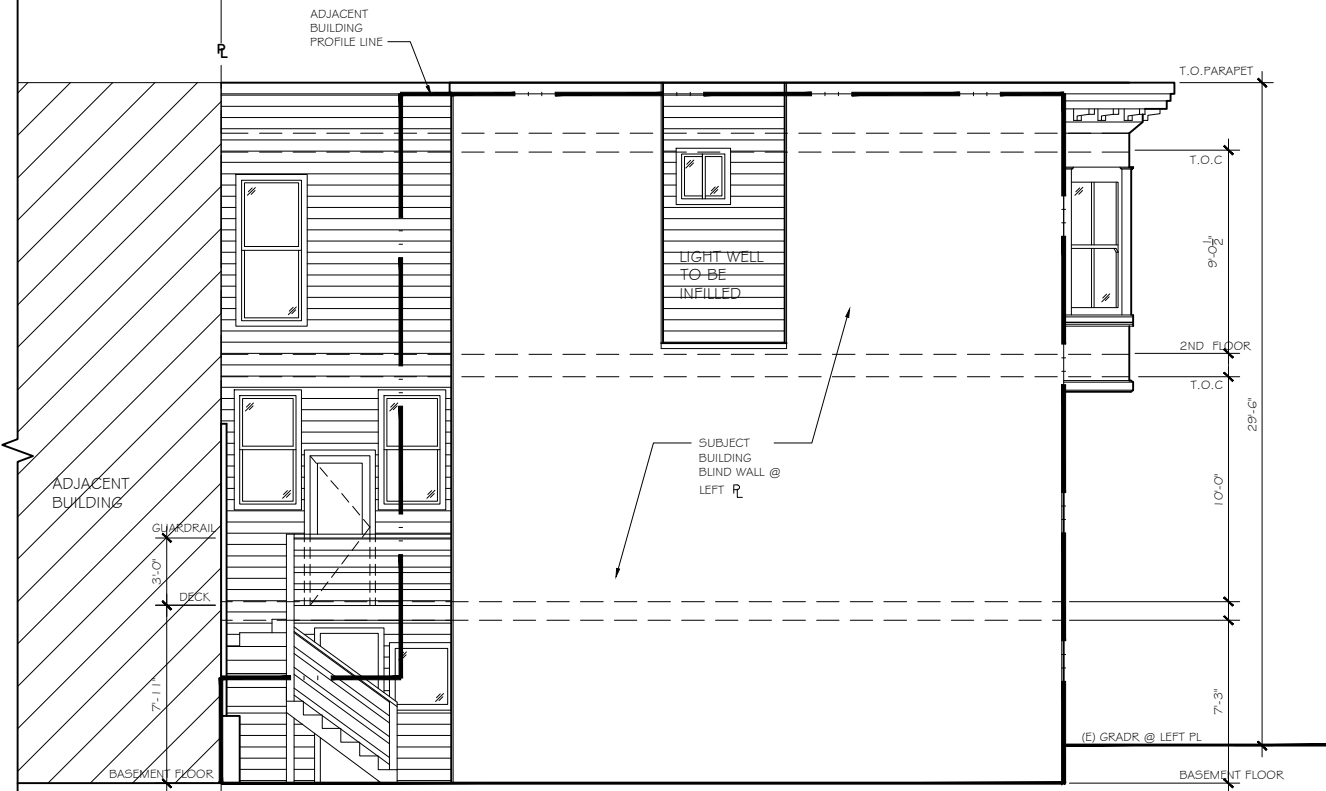
REVISION:
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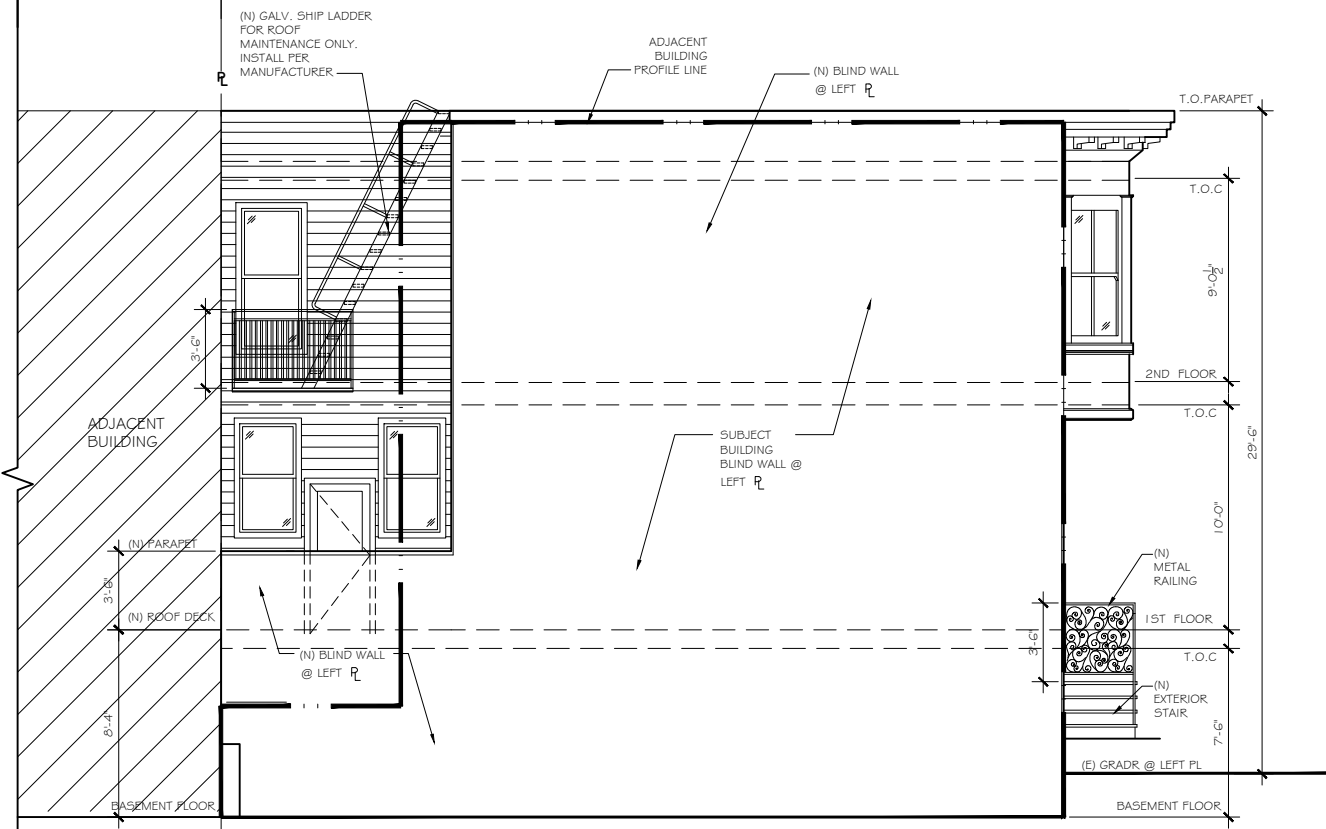
SCALE 1/4" = 1'-0"

A-5

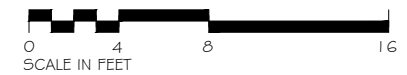
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1 EXISTING SOUTH (LEFT) ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING SOUTH (LEFT) ELEVATION
Scale: 1/4" = 1'-0"



EXISTING & PROPOSED
WEST (REAR) ELEVATIONS
SECTION A-A, B-B

WEISINGERS RESIDENCE
BLOCK: 1 007 LOT: 006
1907 LYON STREET
SAN FRANCISCO, CA 94 115

REVISION:
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DATE 06.09.2014

SCALE 1/4" = 1'-0"

A-6

PROPERTY OWNER:
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SAN FRANCISCO, CA 94115
TEL: (925) 588-1279
APPLICANT:
KEVIN WONG (415) 646-5634