



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 24, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

(Rear Yard, Open Space, Exposure and Dwelling Unit)

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	208 Pennsylvania St	Case No.:	2014.1022V
Cross Street(s):	Mariposa and 18th Streets	Building Permit:	n/a
Block / Lot No.:	4000/053-074	Applicant/Agent:	Justin Chu, Essex Portfolio, L.P.
Zoning District(s):	UMU / 40-X	Telephone:	650.463.6377
Area Plan:	Showplace Square/Potrero	E-Mail:	jchu@essex.com

PROJECT DESCRIPTION

The proposed project includes establishment of 4 dwelling units. The project would result in a total of 22 live/work units and 4 dwelling units.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 25-feet on floors with dwelling units. Currently, the existing building occupies a majority of the subject lot and encroaches into the required rear yard; therefore, legalization of the dwelling units requires a rear yard variance.

PER SECTION 135 OF THE PLANNING CODE, the subject property is required to provide at least 80 square feet of useable open space per dwelling unit. Currently, the project does not provide adequate useable open space for all dwelling units proposed for legalization; therefore, a useable open space variance is required.

PER SECTION 140 OF THE PLANNING CODE, all dwelling units must directly face an open area, public street or public alley at least 25-feet wide. Up to 4 of the dwelling units proposed for legalization do not directly face onto an open area, public street or public alley at least 25-feet wide; therefore, an exposure variance is required.

PER SECTION 207.6 OF THE PLANNING CODE, the proposal must provide a dwelling unit mix of 40% 2 bedrooms or 30% 3 bedrooms. The proposed unit mix does not comply with this requirement; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre**

Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.1022V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

208 PENNSYLVANIA AVE.

INTERIOR IMPROVEMENTS TO LIVE/WORK LOFTS AT: 208 PENNSYLVANIA AVENUE, SAN FRANCISCO, CA 94017

GENERAL SCOPE OF WORK

1.
- LEGALIZE ALL NON-CONFORMING UNITS TO COMPLY WITH CURRENT ADOPTED CODES BY CITY OF SAN FRANCISCO.

PROJECT INFO

PROPERTY MANAGEMENT:

ESSEX PROPERTY TRUST, INC.
925 E. MEADOW DRIVE
PALO ALTO, CA 94303

CONTACT: JUSTIN CHU

TEL: 650.494.3700

ARCHITECT:

RSS ARCHITECTURE, INC.
ANDREW RAYMUNDO, ARCHITECT

CONTACT: JIMMY CHANG

915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070

TEL: 650.802.6865

PROJECT DATA SUMMARY

OCCUPANCY:	RI-B
TYPE OF CONSTRUCTION:	V-A
ZONE:	U.M.U.
SPRINKLERS:	YES
STORIES:	FOUR
EXISTING LOT AREA:	11,500 SQ. FT.
EXISTING BLDG :	10,289 SQ. FT.
TOTAL NO. OF EXISTING UNITS	26
TOTAL NO. OF EXISTING PARKING STALLS	25 (UNCHANGED)

DRAWING INDEX

ARCHITECTURAL:

A 0.0	TITLE SHEET
A 0.1	GENERAL NOTES
A 1.0	SITE PLAN
A 2.0	EXISTING BUILDING PLANS: BASEMENT & 1ST FLOOR
A 2.1	EXISTING BUILDING PLANS: 2ND FLOOR & 2ND FLOOR MEZZ.
A 2.2	EXISTING BUILDING PLANS: 3RD FLOOR & 3RD FLOOR MEZZ.
A 2.3	BUILDING PLANS: BASEMENT & 1ST FLOOR
A 2.4	BUILDING PLANS: 2ND FLOOR & 2ND FLOOR MEZZ.
A 2.5	BUILDING PLANS: 3RD FLOOR & 3RD FLOOR MEZZ.
A 3.0	EXISTING PHOTOS

ELECTRICAL:

E 0.0	LEGEND, NOTES, SYMBOLS, SCHEDULES
E 1.0	BASEMENT & FIRST FLOOR PLAN
E 1.1	2ND & 2ND FLOOR MEZZANINE PLANS
E 1.2	3RD & 3RD FLOOR MEZZANINE PLANS
E 2.0	SINGLE LINE DIAGRAM
E 3.0	ELECTRICAL LOAD CALCULATIONS

GENERAL NOTES

1.
- CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE REFERENCE DRAWINGS AND ACTUAL BUILT CONDITION, PRIOR TO CONSTRUCTION TO RESOLVE.
2.
- IT IS THE INTENT OF THESE DOCUMENTS TO MAINTAIN THE EXISTING RATED WALL ASSEMBLIES.

APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE

2013 CALIFORNIA FIRE CODE

2013 CALIFORNIA ELECTRICAL CODE

2013 CALIFORNIA PLUMBING CODE

2013 CALIFORNIA MECHANICAL CODE

2013 ENERGY CODE COMPLIANCE

ALL LOCAL CODES & ORDINANCES BY THE CITY OF SAN FRANCISCO

SYMBOLS

EXTERIOR ELEVATIONS

ELEVATION NUMBER

SHEET NUMBER

ARCHITECTURAL DETAILS

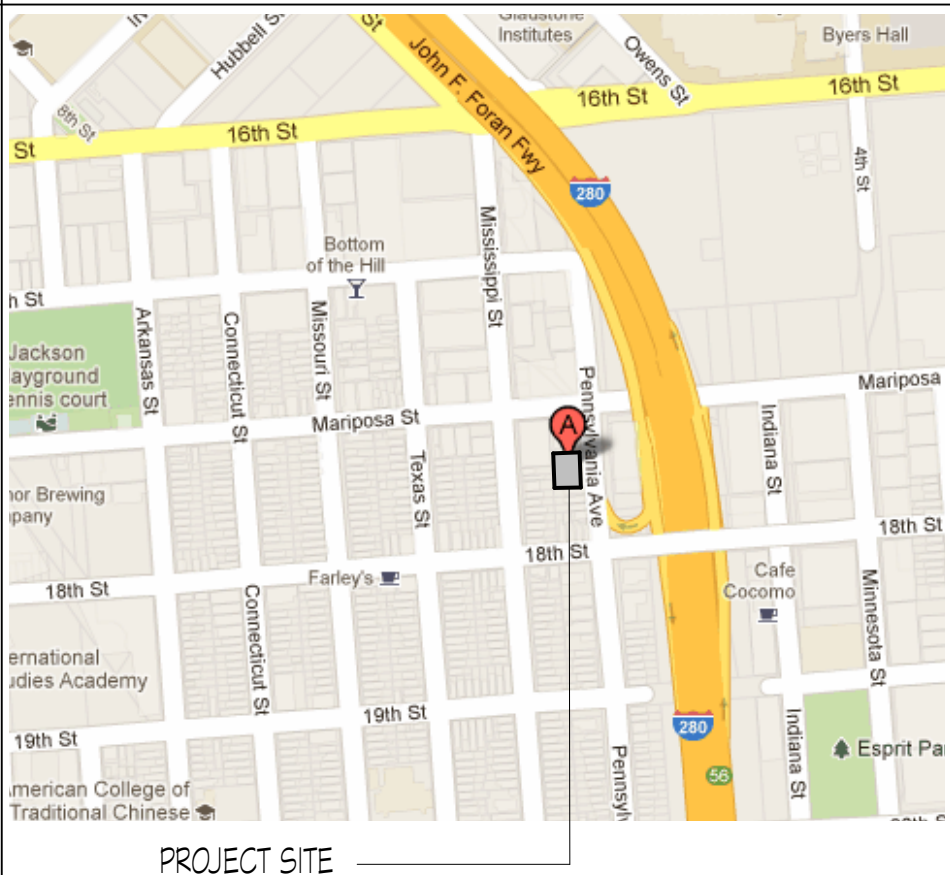
DETAIL NUMBER

SHEET NUMBER

LEGEND NOTES

NOTE NUMBER

LOCATION MAP



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

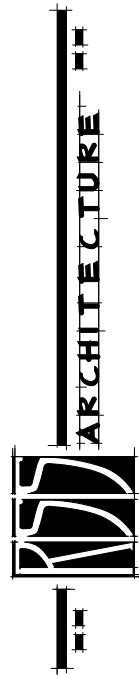
208 PENNSYLVANIA AVE.

208 Pennsylvania Ave.
San Francisco, CA 94107

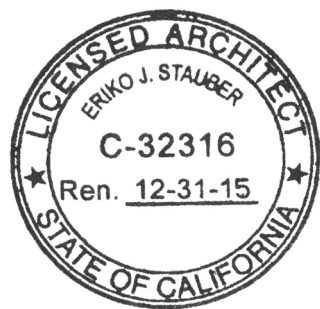
REVISIONS

TITLE SHEET

JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A0.0	



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www.rssarchitecture.com



NOTES

GENERAL

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE BUILDINGS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL PARTS BY THE VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENT OF THESE ARCHITECTURAL DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.

THE CONSTRUCTION ASSEMBLIES DEPICTED IN THESE DOCUMENTS MAY PROVIDE FOR THE CONTACT OF DISSIMILAR MATERIALS WHICH, WHEN FINISH COATED OR SUBJECTED TO MOIST WEATHER CONDITIONS, MAY RESULT IN DISCOLORATION OF SOME OF THE MATERIAL SURFACES. THESE CONDITIONS MAY REQUIRE PERIODIC INSPECTION, MAINTENANCE AND/OR RE-COATING AT CLOSER INTERVALS THAN OTHER NON-AFFECTED SURFACES.

THESE ARCHITECTURAL CONSTRUCTION DRAWINGS DESCRIBE THE REQUIREMENTS OF THE PROJECT FOR A BUILDING PERMIT AND TO PREPARE ESTIMATES OF QUANTITY AND COSTS OF MATERIALS REQUIRED TO CONSTRUCT THE PROJECT. THESE DRAWINGS PROVIDE FOR ONLY SCHEMATIC PLUMBING/MECHANICAL EQUIPMENT LAYOUT AND SCHEMATIC ELECTRICAL POWER AND LIGHTING LAYOUT AS PREPARED BY THE ARCHITECT WITHOUT ENGINEERING DESIGNS, DETAILS, CALCULATIONS OR SPECIFICATIONS.

BY USE OF THESE DOCUMENTS, THE CONTRACTOR ACKNOWLEDGES THAT RSS ARCHITECTURE, AS THE ARCHITECT, IS THE AUTHOR OF AND THEREFORE RESPONSIBLE FOR THE INTERPRETATION OF THESE DESIGN DOCUMENTS AND THAT THE CONTENT, CONCEPTS OR BASIC DESIGN DEMONSTRATED BY THE DOCUMENTS SHALL NOT BE FURTHER DEVELOPED, INTERPRETED, CLARIFIED OR TRANSFERRED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

CHANGES TO THE PLANS AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.

ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING REQUESTING CLARIFICATION. IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS EXCULPATED FROM ANY LIABILITY WHATSOEVER, OCCASIONED BY THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

INsofar AS THERE ARE MANY VARIABLES INVOLVED IN THE EXECUTION OF THE WORK DESCRIBED IN THESE DOCUMENTS, THE ARCHITECT DOES NOT CARRY ANY WARRANTY EXPRESSED OR IMPLIED FOR THE WORK OF THE TRADES.

THESE DOCUMENTS ARE COMPLETE AS PREPARED BY THE ARCHITECT. ADDITIONAL DOCUMENTS, INCLUDING WRITTEN SPECIFICATIONS, MAY BE PREPARED BY OTHERS AND USED TO SUPPLEMENT THE WORK OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUPPLEMENTAL WORK IN CONFORMANCE WITH THESE DOCUMENTS.

THE CONTRACTOR SHALL, BY THE USE OF THESE DOCUMENTS, BE REQUIRED TO PROVIDE UNDERSTANDABLE AND THOROUGH INSTRUCTIONS TO THE OWNER ABOUT HIS/HER RESPONSIBILITIES FOR ON-GOING MAINTENANCE. THESE INSTRUCTIONS SHALL DESCRIBE PERIODIC INSPECTIONS AND PROCEDURES FOR MAINTENANCE OF BUILDING SYSTEMS AND MATERIALS, INCLUDING BUT NOT LIMITED TO: DRAINAGE, EROSION CONTROL, PLUMBING, MECHANICAL PAVING, WATERPROOFING, DECKING, ROOFING, GLAZING, PAINTING, SEALANTS, ETC. THE CONTRACTOR SHALL OBTAIN INFORMATION AND INSTRUCTIONS FROM THE VARIOUS SUBCONTRACTORS, INSTALLERS AND MANUFACTURERS REGARDING MAINTENANCE OF THEIR SPECIFIC PORTIONS OF WORK AND MATERIALS. ALL WARRANTIES AND/OR GUARANTEES SHALL BE IDENTIFIED. THESE INSTRUCTIONS SHALL BE WRITTEN SO AS TO HAVE THE HOMEOWNER PROMPTLY ALERT THE CONTRACTOR AS TO ANY UNUSUAL WEARING OF MATERIALS OR MALFUNCTION OF COMPONENTS AND/OR ASSEMBLIES OF THE CONSTRUCTION. THE INSTRUCTIONS SHALL IDENTIFY THE EXPECTED USUAL WEARING, MOVEMENTS OR DEFORMATION OF MATERIALS AND THEIR PROJECTED LIFE.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF THE WORK, INCLUDING, BUT NOT LIMITED TO: 2013 CALIFORNIA BUILDING CODE (CBC); CALIFORNIA MECHANICAL CODE (CMC); CALIFORNIA ELECTRICAL CODE (CEC); UNIFORM FIRE CODE (UFC); AMERICAN CONCRETE INSTITUTE (ACI); CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

SITE EXAMINATION

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH AFFECT HIS WORK.

DIMENSION CONTROL

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED SHOULD THERE BE ANY DISCREPANCIES. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

DIMENSION CONTROL HAS BEEN TAKEN FROM READILY OBSERVABLE EXISTING CONDITIONS AND FIELD MEASUREMENTS. ADJUSTMENTS MAY HAVE TO BE EMPLOYED SHOULD AS-BUILT CONDITIONS VARY FROM ORIGINAL DOCUMENTS.

CONTROL OF APPROVAL

CONTRACTOR SHALL INCLUDE AND IMPLEMENT IN THE WORK ALL PERTINENT REQUIREMENTS FOR THIS PROJECT AS SET FORTH IN THE CONDITIONS OF APPROVAL BY THE CITY AGENCIES. A COPY OF THESE CONDITIONS IS AVAILABLE FROM THE OWNER AND ARCHITECT.

CONTINUING OPERATIONS

WHEN IT IS NECESSARY THAT THE OWNER CONTINUE PRESENT OCCUPANCY DURING THE RENOVATION WORK, THE CONTRACTOR SHALL, AFTER CONSULTING WITH THE OWNER, SCHEDULE THE WORK SO AS NOT TO INTERFERE WITH NORMAL HOUSEHOLD OPERATIONS.

WORK SEQUENCE

IN THE EVENT THAT SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

MOISTURE PROTECTION

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE DETAILS FOR CONSTRUCTION WHICH WILL RESULT IN A MOISTURE RESISTANT BUILDING ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY EXCEPTION HE MAY TAKE TO ANY OF THE DETAILS OR METHODS DESCRIBED HEREIN. IF THE CONTRACTOR IS AWARE OF ALTERNATE MATERIALS OR METHODS THAT WILL BETTER SATISFY THIS INTENT, HE SHALL SO NOTIFY THE ARCHITECT, IN WRITING, ALLOWING THE ARCHITECT TO MODIFY HIS DOCUMENTS ACCORDINGLY.

SHOULD ANY SPECIAL SITUATION OCCUR DURING CONSTRUCTION, INCLUDING VARIOUS CLIMATIC CONDITIONS WHICH NECESSITATE APPLICATIONS OR METHODS TO INSURE THE PROTECTION OF MATERIALS AND ASSEMBLIES, THE CONTRACTOR OR SUBCONTRACTOR (S) SHALL SO NOTICE AND IMPLEMENT ANY OR ALL PROTECTIVE MEASURES.

ALL DOWNSPOUTS, SCUPPERS AND LEADERHEADS SHALL BE SIZED TO ACCOMMODATE TRIBUTARY ROOF AREAS SERVED. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO PROVIDE ANY AND ALL DESIGN, CALCULATIONS AND DATA THAT MAY BE REQUIRED IN SUPPORT OF THIS SYSTEM. ALL RESPONSIBILITY FOR THE SYSTEM AND ITS FUNCTION SHALL BE BORNE BY THE SYSTEM DESIGNER AND/OR INSTALLER.

DEMOLITION NOTES

THESE ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE THE LIMITS OF NEW CONSTRUCTION AND EXISTING CONSTRUCTION TO REMAIN. THESE DRAWINGS ARE NOT INTENDED TO SHOW ALL EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND SCOPE OF EXISTING CONSTRUCTION TO BE REMOVED.

THE GENERAL CONTRACTOR SHALL PERFORM WORK IN OR ON THE EXISTING BUILDING. THIS CONSISTS PRINCIPALLY OF BUT NOT NECESSARILY LIMITED TO THE CUTTING AND REPAIR OR REPLACEMENT OF PORTIONS OF THE EXISTING BUILDING AS SHOWN, OR AS NECESSARY FOR INSTALLATION OR ERECTION OF NEW WORK, OR REMODELLING CALLED FOR ON DRAWINGS OR IN SPECIFICATIONS.

THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH OWNER FOR ENTRY AND EXECUTION OF WORK IN OR ON THE EXISTING BUILDING.

THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS THEY FIND IT AND BE FAMILIAR WITH ITS CHARACTER AND THE TYPE OF WORK TO BE REMOVED. HE SHALL ENTIRELY DEMOLISH ON THE SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED, AND SHALL NOT REMOVE ANY STRUCTURE FROM THE SITE, EITHER AS A WHOLE OR SUBSTANTIALLY AS A WHOLE WHERE NOT INDICATED. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE PORTIONS OF BUILDING TO BE REMOVED AND/OR DEMOLISHED.

THE GENERAL CONTRACTOR SHALL SEE THAT ALL SERVICES, TO THE AREAS TO BE DEMOLISHED, SUCH AS WATER, GAS, STEAM, ELECTRICITY AND TELEPHONE LINES, ARE DISCONNECTED AT THE ENTRIES AS APPLICABLE, ALL IN ACCORDANCE WITH THE RESTRICTIVE RULES AND REGULATIONS GOVERNING THE UTILITIES INVOLVED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THEIR REMOVAL TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.

THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SHORING REQUIRED IN CONNECTION WITH THE DEMOLITION OPERATIONS, AND THE SUPPORTS SHALL HOLD THE EXISTING WORK THAT IS TO REMAIN IN PROPER POSITION UNTIL NEW SUPPORTING MEMBERS AND INJURIES TO THE PUBLIC.

AFTER WORK HAS BEEN STARTED, IT SHALL BE CARRIED OUT TO COMPLETION, PROMPTLY, EXPEDITIOUSLY, AND IN AN ORDERLY MANNER, USING METHODS COMMONLY EMPLOYED, AND AS PROVIDED UNDER THE CITY OR COUNTY CODE FOR DEMOLITION WORK AS APPLICABLE.

GENERALLY, THE GENERAL CONTRACTOR SHALL DO ANY CUTTING AND REMOVE ANY OR ALL ITEMS, WHETHER SPECIFICALLY MENTIONED OR INDICATED, WHICH OBVIOUSLY WILL INTERFERE WITH OR BECOME INCONGRUOUS TO PROPOSED CONSTRUCTION FINISHES. WHEN ITEM(S) IS/ARE QUESTIONABLE, HE SHALL NOTIFY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL EXERCISE UTMOST CARE TO SEE THAT MINIMUM CUTTING IS DONE.

SALVAGE

ALL ITEMS DEEMED SALVAGEABLE BY THE OWNER WILL EITHER BE INDICATED ON THE DRAWINGS, AND SHALL BE REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL BE INDICATED ON THE DRAWINGS. WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS, AS DIRECTED BY THE OWNER TO BE RETAINED, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO DEBRIS OR CONTRACTOR SALVAGEABLE ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.

SITE PROTECTION

THE GENERAL CONTRACTOR SHALL PROTECT ALL INTERIOR AND EXTERIOR EXISTING CONSTRUCTION THAT IS TO REMAIN, INCLUDING LANDSCAPING ALONG THE PROPERTY LINES, AS WELL AS ON ADJACENT LOTS. ANY DAMAGE OR LOSS RESULTING FROM NEW CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH MUNICIPAL REGULATIONS AND CARRY OUT THE WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.

THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY CONSTRUCTION FENCE, MEETING CITY STANDARDS, DURING CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE PUBLIC FROM INJURY CAUSED ON SITE.

GLAZING REQUIREMENTS

ALL WINDOWS AND DOORS MUST MEET THE AIR AND INFILTRATION STANDARDS OF THE CURRENT ANSI AND SHALL BE CERTIFIED AND LABELLED.

HEATING DESIGN TEMPERATURE

MINIMUM INSIDE WINTER DESIGN TEMPERATURE IS 10 DEGREES.

VAPOUR RETARDER AND AIR BARRIER

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE CONSTRUCTION ASSEMBLIES REPRESENTED AND DETAILED IN THESE DOCUMENTS CONFORM TO THE STATE OF CALIFORNIA ENERGY CONSERVATION REGULATIONS AS MANDATED IN THE TITLE 24 ENERGY COMPLIANCE STANDARDS. WHILE THESE REGULATIONS RESULT IN A VERY TIGHT AIR AND MOISTURE EXTERIOR ENVELOPE, THE SELECTION OF SPECIFIC VAPOUR RETARDERS AND AIR BARRIERS, AND PREVAILING CLIMATIC CONDITIONS MAY AFFECT OR IMPACT OTHER MEMBERS WITHIN THE FLOOR, WALL, CEILING AND ROOF ASSEMBLIES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL HAVE FULL RESPONSIBILITY IN SELECTION OF THESE MATERIALS AND SHALL EACH MAKE KNOWN TO ALL OTHERS ANY AND ALL EFFECTS OR IMPACTS THAT MAY OCCUR AND AFFECT THE SELECTION OF OTHER ASSEMBLY MATERIALS OR PROCEDURES NECESSARY FOR PROPER CONSTRUCTION. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR TESTING OF THESE ASSEMBLIES SHOULD IT BE REQUIRED OR DETERMINED TO STUDY THE PERFORMANCE OF THESE ASSEMBLIES AGAINST MOISTURE INFILTRATION, MOISTURE ENTRAPMENT AND/OR ADVERSE AFFECTS ON THE DURABILITY, AESTHETICS, ENERGY USE EFFICIENCY AND REASONABLE COMFORT WITHIN THE BUILDING(S) AS MAY BE CAUSED BY MOISTURE INFILTRATION AND ENTRAPMENT.

HAZARDOUS MATERIALS

THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE NOT 'OWNER OR OPERATOR' AS DEFINED UNDER NESHAP SECTION 112 OF THE CLEAN AIR ACT AND THEREFORE SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, TRANSPORTATION, STORAGE OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIAL IN ANY FORM AT THE PROJECT PREMISES, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

FLASHING CONDITIONS

FLASHING CONDITIONS SHOWN IN THESE PLANS WILL REQUIRE REMOVAL OF (E) SIDING ON ADJACENT SURFACES. CONTRACTOR TO COORDINATE W/ ARCHITECT FOR FLASHING INSTALLATION FOR AREAS WHERE SIDING IS NOT SCHEDULED FOR REPLACEMENT.

ABBREVIATION LIST

SYMBOLS

ANGLE

AND

AT

CENTER LINE

DIAMETER OR ROUND

PENNY

NUMBER SQUARE FOOT

ANCHOR BOLT

ABOVE

ASPHALT CONCRETE PAVING

AIR CONDITIONING

AREA DRAIN

ADHESIVE

ADJACENT

ABOVE FINISH FLOOR

ALTERNATE

ALUMINUM

ANGLE

BATHROOM

BOARD

BEDROOM

BUILDING

BLOCKING

BEAM

BOTTOM

CABINET

CEMENT

CEILING

CLOSET

CLEAR

COLUMN

CONCRETE

CONSTRUCTION

CONTINUOUS

CENTER

DRYER

DOUBLE

DOUGLAS FIR OR DRINKING FOUNTAIN

DIAMETER

DIAGONAL

DIMENSION

DINING ROOM

DOWN

DOWNSPOUT

DETAIL

DRAWING

(E) or EXIST.

EACH

EXTERIOR INSULATION FINISH SYSTEM

ELECTRICAL

EQUAL

EQUIPMENT

EACH WAY

EXTERIOR

FORCED AIR UNIT

FLOOR AREA RATIO

FLOOR DRAIN

FOUNDATION

FIRE EXTINGUISHER CABINET

FINISH

FLASHING

FLOOR

FACE OF CONCRETE

FACE OF MASONRY

FACE OF STUD

FRAME

FEET

FOOTING

GLUASE

GARAGE

GARBAGE DISPOSAL

GROUND FAULT INTERRUPTER

GLULAM

GLULAM BEAM

GYP. BD.

HOSE BIB

HOLLOW CORE

HARDWOOD

HORIZONTAL

HOUR

HEIGHT

HEATING VENTILATION & AIR CONDITIONING

IMPACT INSULATION CLASS

INCH

INCLUDE

INSULATION

INTERIOR

JANITOR

KITCHEN

LAMINATE

LAUNDRY

LAVATORY

POUND

LINEN

LIVING ROOM

LIGHTWEIGHT

MAT.

MAX.

MECH.

MEMBR.

MFR.

MIN.

MSTR. BDRM.

MTL.

(N)

N.I.C.

N.T.S.

O

O.C.

O.H.

OPNG

OPP.

PANTRY

POWDER ROOM

PLATE

P. LAM.

PLAST.

PLYWD.

PREFAB.

PT.

P.T.D.F.

P.T. SLAB

RAG

RFG.

REG.

REQD.

RM.

R.D.W.D.

REF.

S.C.

SCH.

S.G.D.

SHT.

SIM.

SPEC.

S.T.C.

STL.

STOR.

STRUCT.

SUBFLR.

SQ.

SQ. FT.

TEL.

T.O.

TOIL.

T.P.H.

TY.P.

U.O.N.

VERT.

V.G.D.F.

W

W.

WD.

WIN.

W.P.

W.R. GYP. BD.

WT.

W.W.F.

YD.

YARD

MATERIAL

MAXIMUM

MECHANICAL

MEMBRANE

MANUFACTURER

MINIMUM

MASTER BEDROOM

METAL

NEW

NOT IN CONTRACT

NOT TO SCALE

OVER

ON CENTER (S)

OPPOSITE HAND

OPENING

OPPOSITE

PANTRY

POWDER ROOM

PLATE

PLASTIC LAMINATE

PLASTER

PLYWOOD

PREFABRICATED

PRESSURE-TREATED

PRESSURE TREATED DOUGLAS FIR

POST TENSION SLAB

RETURN AIR GRILLE

REFRIGERATOR

REGISTER

REQUIRED

ROOM

REDWOOD

REFER

SOLID CORE

SCHEDULE

SLIDING GLASS DOOR

SHEET

SIMILAR

SPECIFICATION

SOUND TRANSMISSION CLASS

STEEL

STORAGE

STRUCTURE OR STRUCTURAL

SUB-FLOOR

SQUARE

SQUARE FOOT

TELEPHONE

TOP OF

TOILET

TOILET PAPER HOLDER

TYPICAL

UNLESS OTHERWISE NOTED

VERTICAL

VERTICAL GRAIN DOUGLAS FIR

WITH

WASHER

WOOD

WINDOW

WATERPROOFING

W.R. GYPSUM BOARD

WEIGHT

WELDED WIRE FABRIC

AGENCIES

AMERICAN CONCRETE INSTITUTE

THE AMERICAN INSTITUTE OF ARCHITECTS

AMERICAN INSTITUTE OF STEEL CONSTRUCTION

AMERICAN INSTITUTE OF TIMBER CONSTRUCTION

AMERICAN NATIONAL STANDARDS INSTITUTE

AMERICAN SOCIETY FOR TESTING & MATERIALS

CALIFORNIA ADMINISTRATIVE CODE

CALIFORNIA BUILDING CODE

CALIFORNIA ELECTRICAL CODE

CALIFORNIA MECHANICAL CODE

CALIFORNIA PLUMBING CODE

CONSTRUCTION SPECIFICATION INSTITUTE

INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS

NATIONAL FIRE PROTECTION ASSOCIATION

NATIONAL ROOFING CONTRACTORS ASSOCIATION

SHEET METAL & AIR CONDITIONING CONTRACTORS

NATIONAL ASSOCIATION

UNIFORM BUILDING CODE

UNIFORM FIRE CODE

UNDERWRITERS LABORATORIES, INC.

WOODWORK INSTITUTE OF CALIFORNIA

ABBREVIATED CODES & STANDARDS

AMERICANS WITH DISABILITIES ACT

AMERICANS WITH DISABILITIES ACT

ACCESSIBILITY GUIDELINES

JOB:

1302

DRAWN BY:

PL, JN

SHEET NO.

A0.1

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

208 PENNSYLVANIA AVE.

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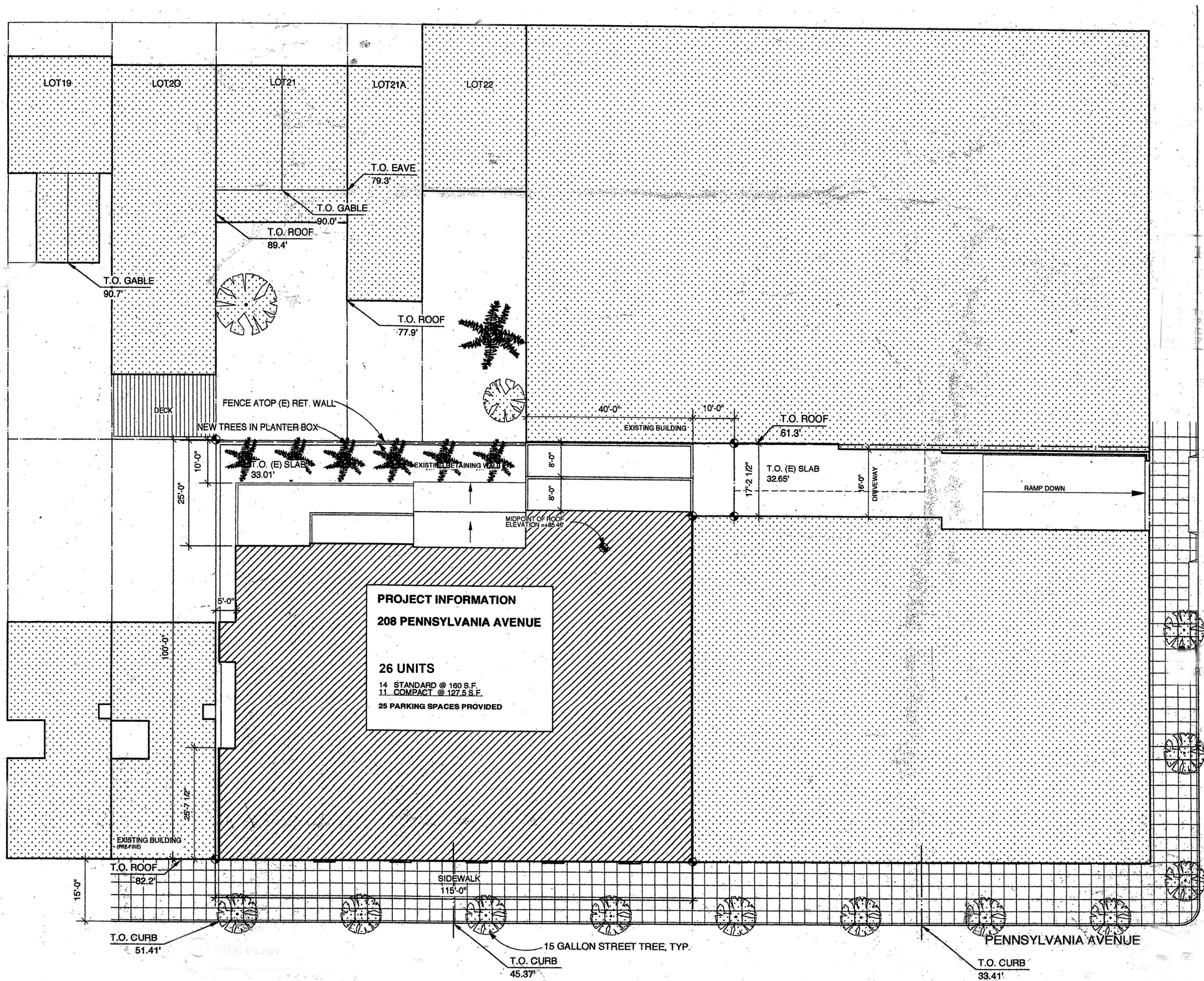
REVISIONS

GENERAL NOTES

ARCHITECTURE

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Fax 650.802.0107
www.rssarchitecture.com

PERMIT SET 08/22/14



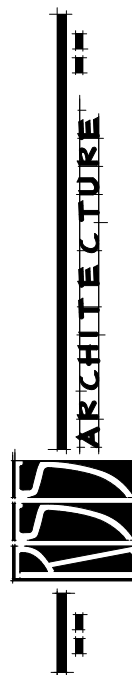
1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN LEGEND

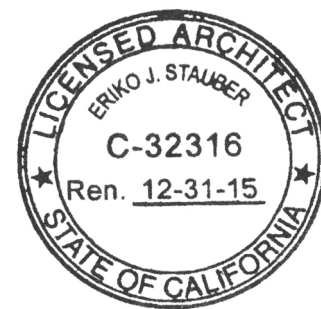
- EXISTING TO REMAIN
- EXISTING NEIGHBORING BUILDING
- PROJECT SITE

SITE PLAN NOTES

- THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL IMAGE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDING OR SITE COMPONENTS.



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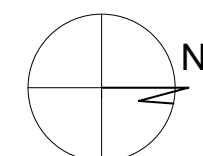
REVISIONS

SITE PLAN

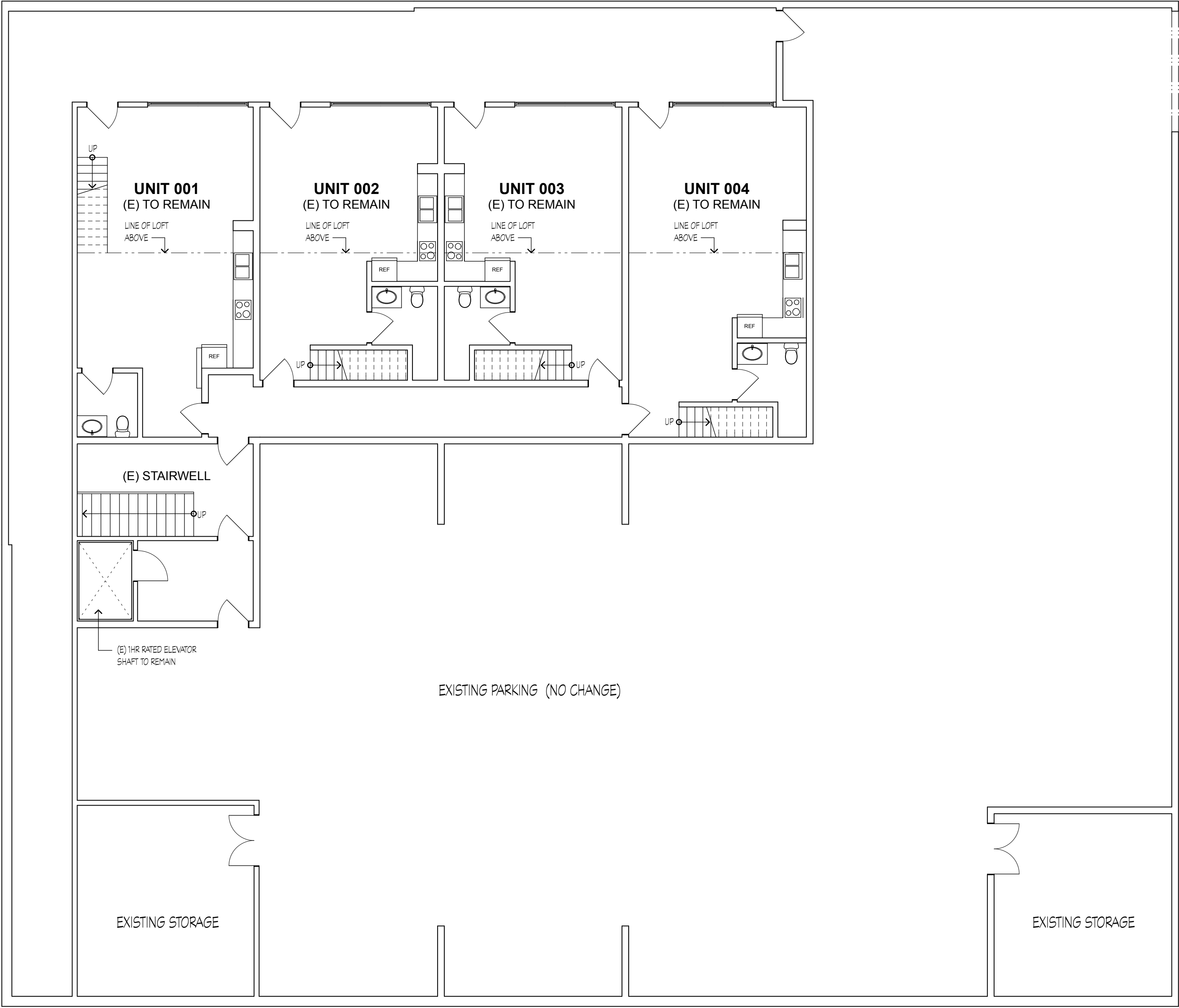
JOB:
1302

DRAWN BY:
PI, JN

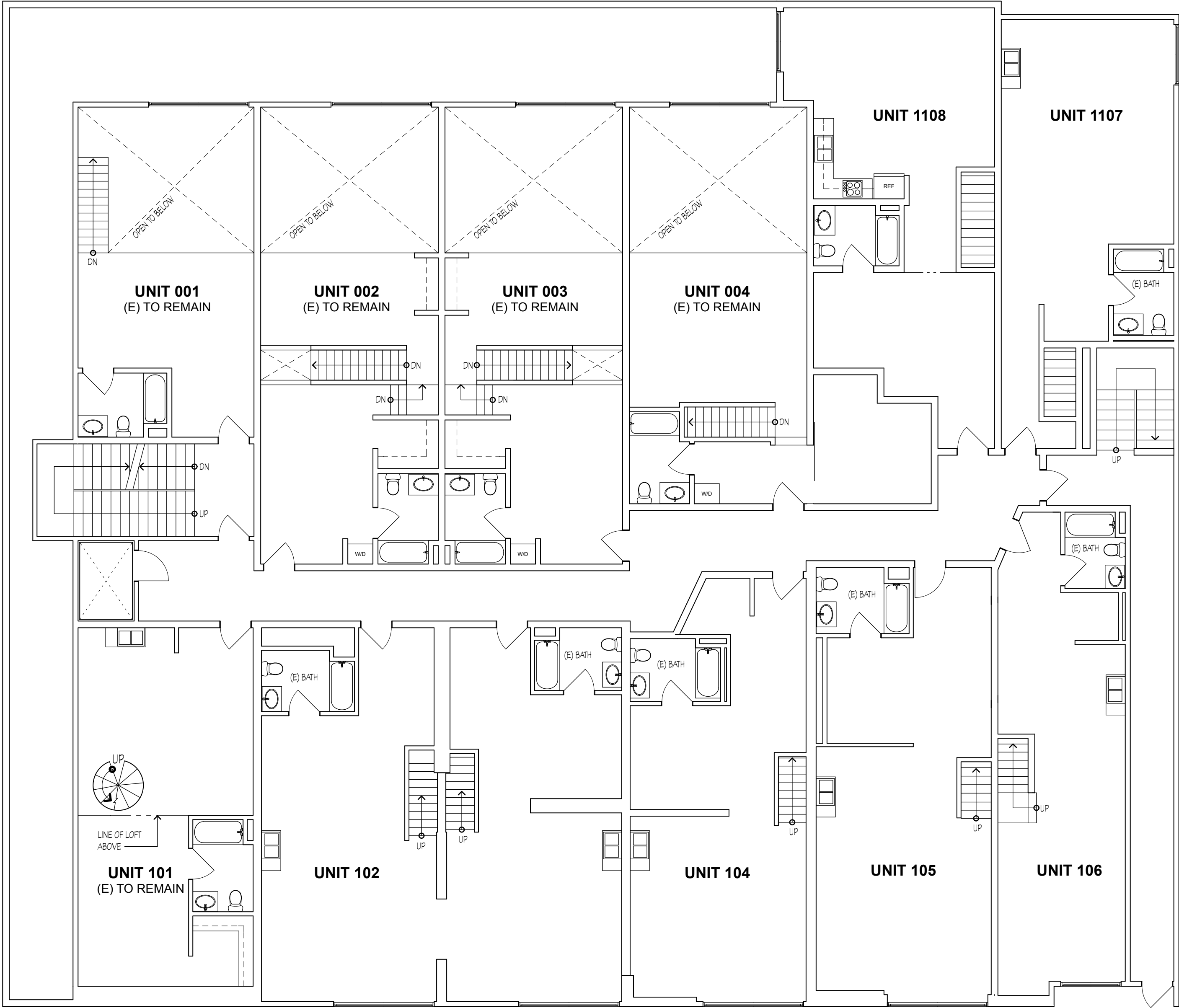
SHEET NO.




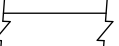

A1.0

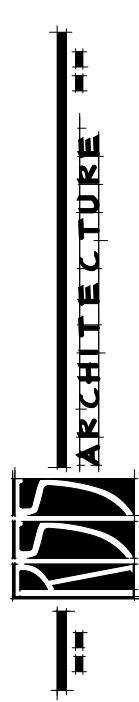


1 EXISTING BASEMENT FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

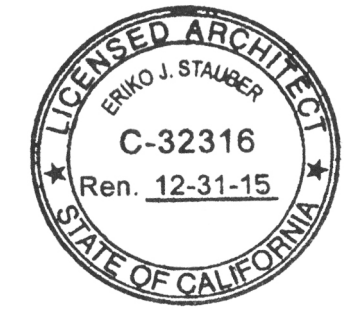


2 EXISTING 1ST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

PROPOSED UNIT DATA				26 UNITS	BUILDING PLAN LEGEND	
UNIT #	NOTES	EXISTING SQ FT	PROPOSED SQ FT	UNIT TYPE		EXISTING NON-CONFORMING UNITS
001	(E) LIVE/WORK	-	-	1 BDRM		EXISTING WALL TO REMAIN
002	(E) LIVE/WORK	-	-	1 BDRM		NEW WALL TO MATCH EXISTING (NON-LOAD BEARING WALL, TYP.)
003	(E) LIVE/WORK	-	-	1 BDRM		
004	(E) LIVE/WORK	-	-	1 BDRM		
101	(E) LIVE/WORK	-	-	1 BDRM		
102	(E) LIVE/WORK	622	1,630	1 BDRM		
103	(E) LIVE/WORK	640	1,675	1 BDRM		
104	(E) LIVE/WORK	695	1,690	1 BDRM		
105	(E) LIVE/WORK	720	1,950	1 BDRM		
106	(E) LIVE/WORK	1,675	1,675	1 BDRM		
107	DWELLING	845	845	STUDIO		
108	DWELLING	1,126	1,126	STUDIO		
109	DWELLING	815	815	1 BDRM		
109A	(E) LIVE/WORK	830	830	1 BDRM		
110	(E) LIVE/WORK	-	-	1 BDRM		
1107	(E) LIVE/WORK	595	595	STUDIO		
1108	(E) LIVE/WORK	690	690	STUDIO		
201	(E) LIVE/WORK	-	-	1 BDRM		
202	DWELLING	2,065	1,070	1 BDRM		
202B	(E) LIVE/WORK	-	995	1 BDRM		
203	(E) LIVE/WORK	-	-	1 BDRM		
204	(E) LIVE/WORK	-	-	1 BDRM		
205	(E) LIVE/WORK	-	-	1 BDRM		
206	(E) LIVE/WORK	-	-	1 BDRM		
207	(E) LIVE/WORK	-	-	1 BDRM		
208	(E) LIVE/WORK	-	-	1 BDRM		



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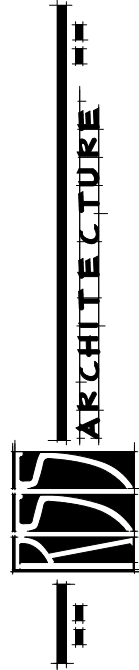
REVISIONS

EXISTING BUILDING PLANS:
BASEMENT & 1ST FLOOR

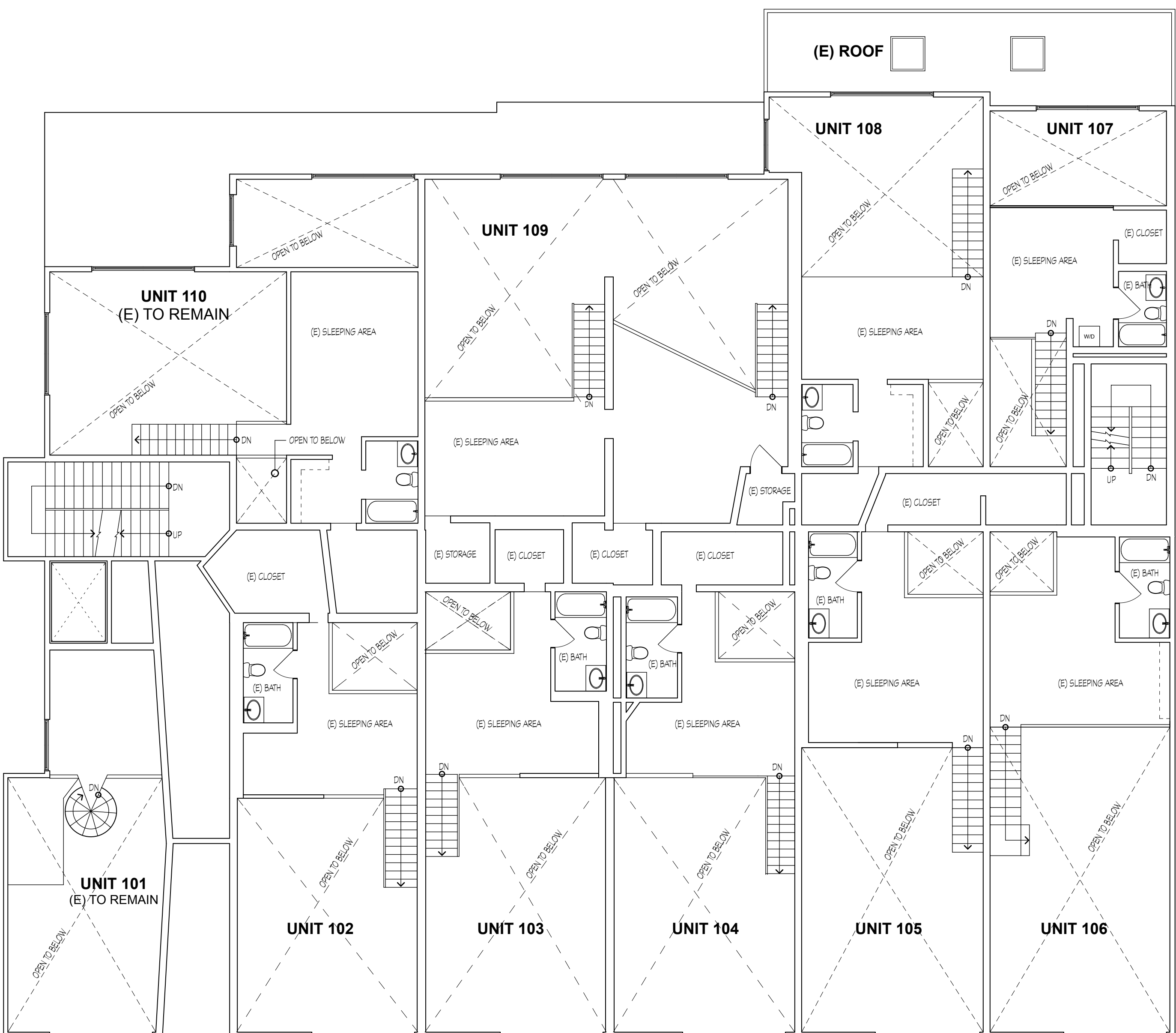
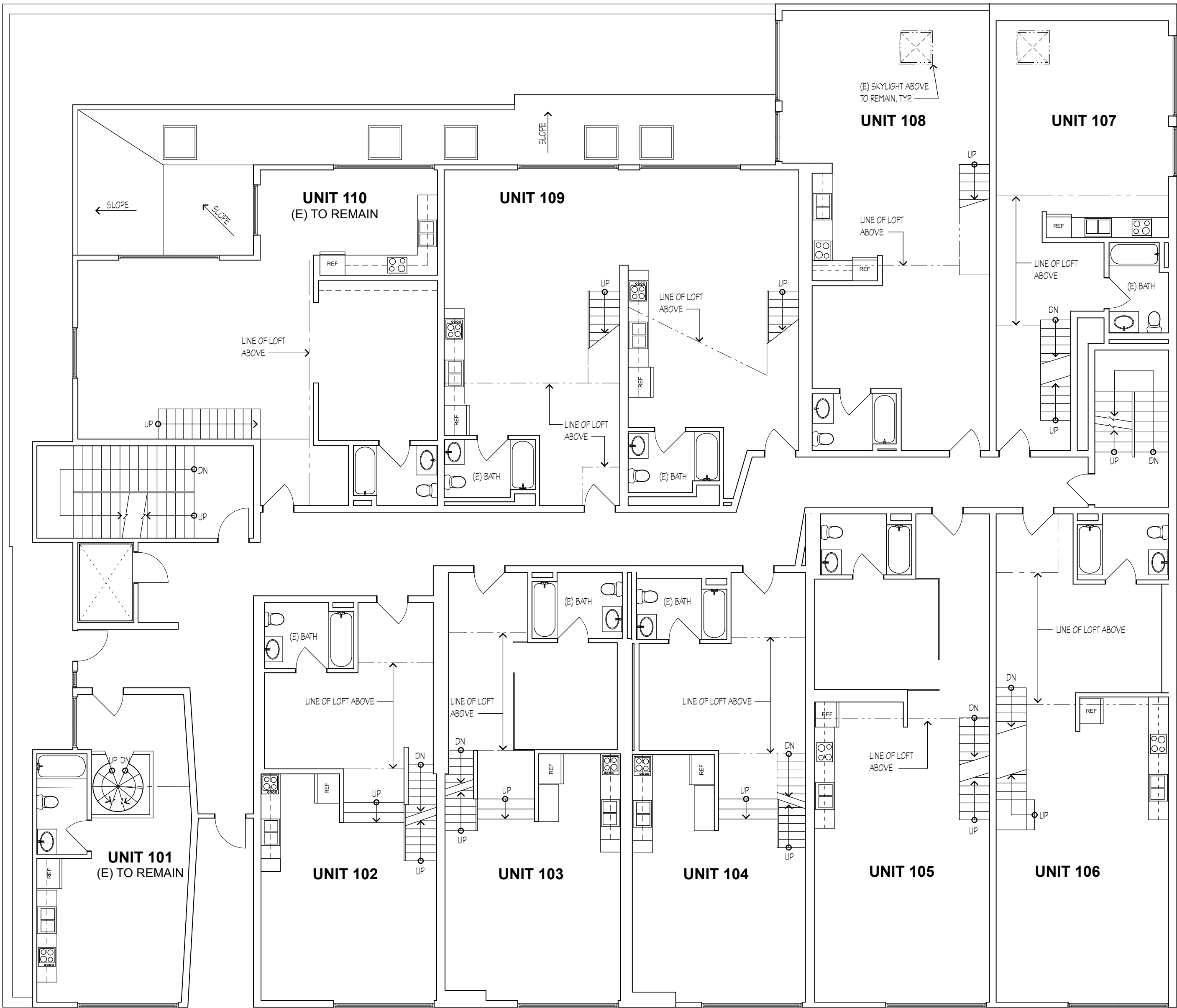
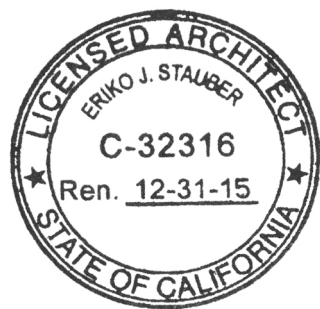
JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A2.0	

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



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1 EXISTING 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2 EXISTING 2ND FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS

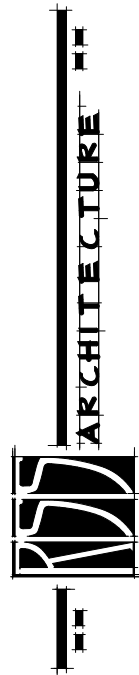
EXISTING BUILDING PLANS:
2ND FLOOR & MEZZANINE

JOB: 1302	DRAWN BY: PI, JN
SHEET NO.	

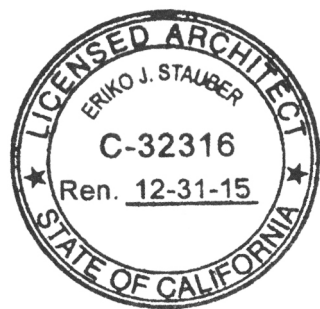
A2.1

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



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INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

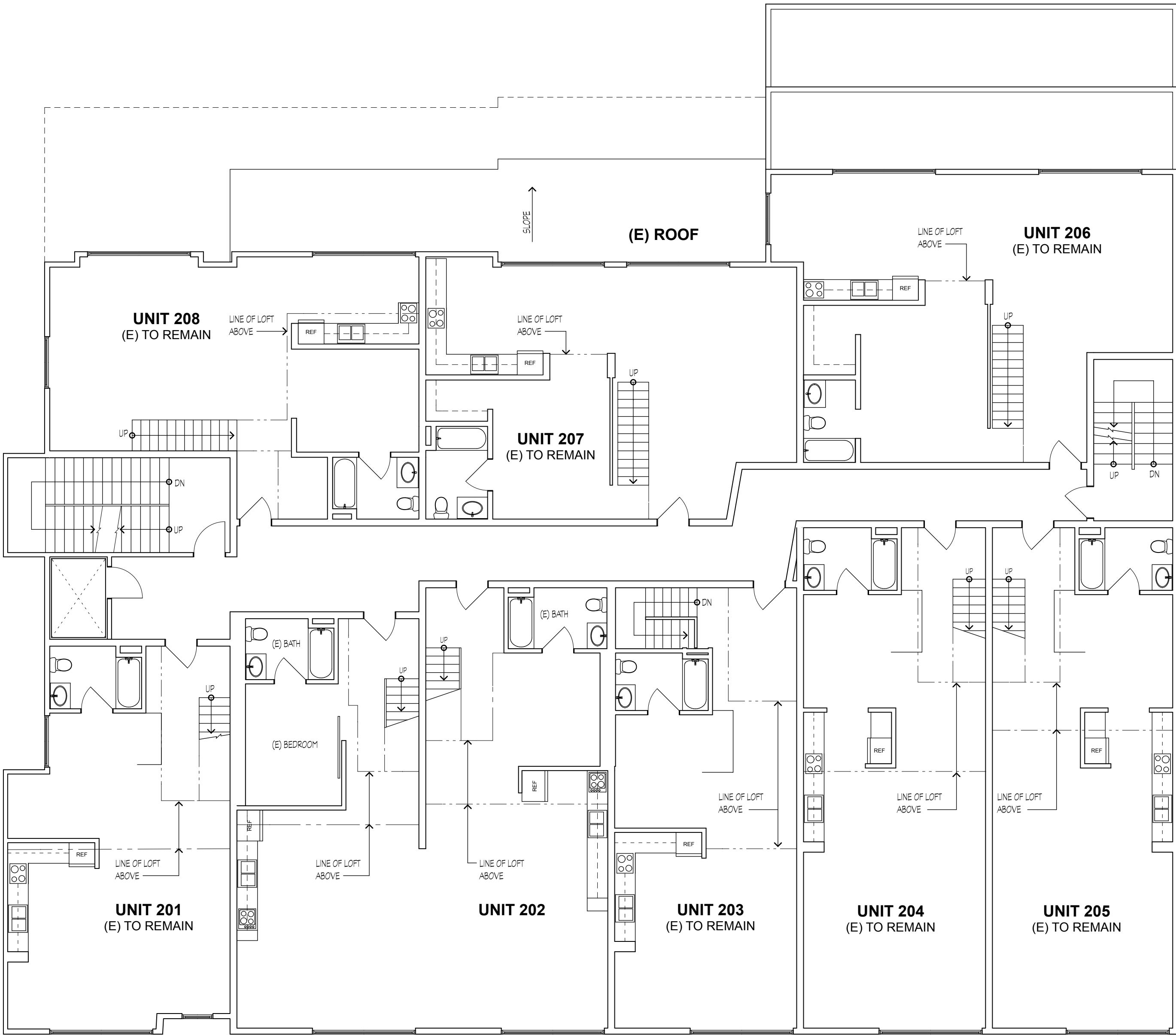
208 PENNSYLVANIA AVE.

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San Francisco, CA 94107

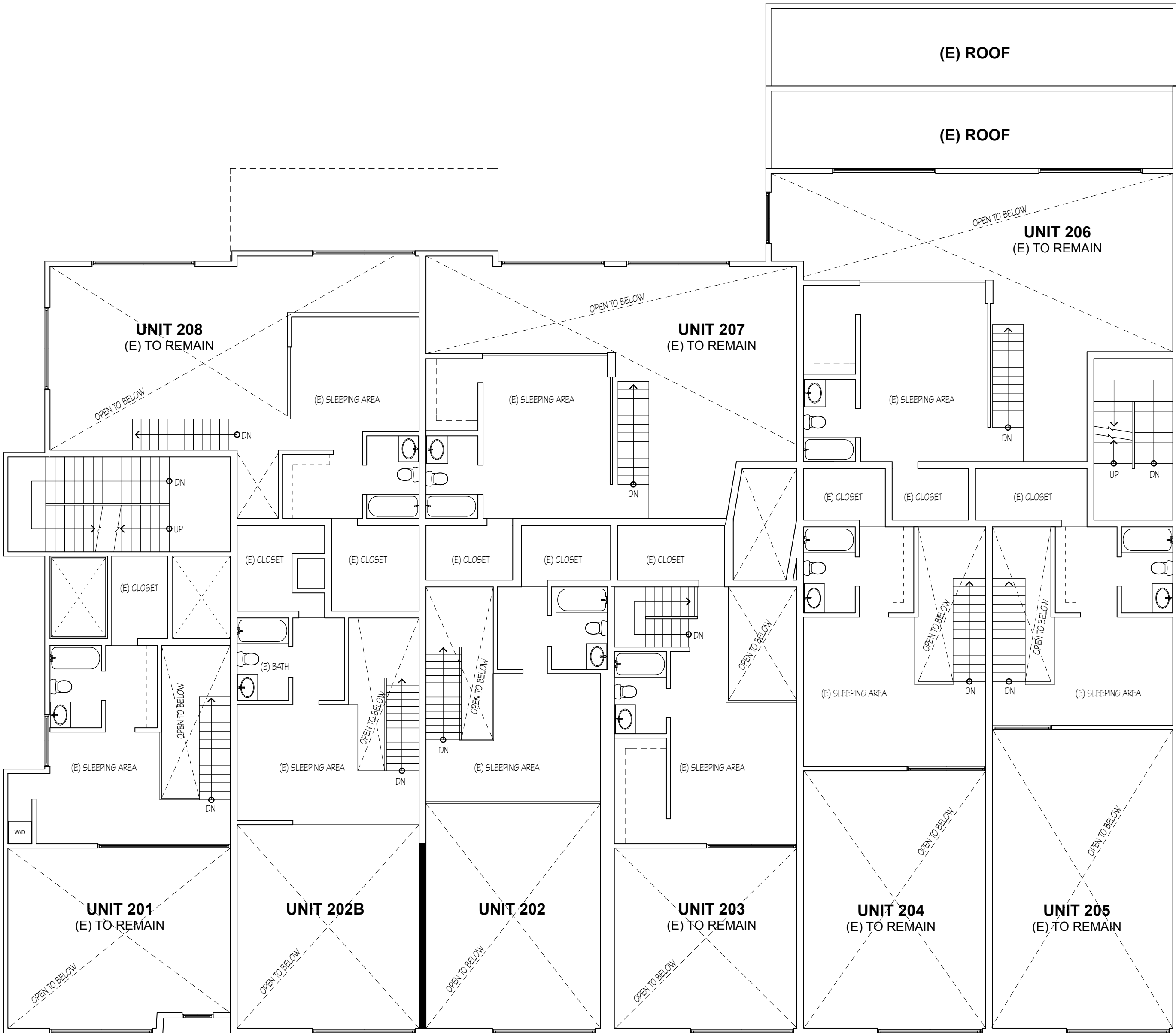
REVISIONS

EXISTING BUILDING PLANS:
3RD FLOOR & MEZZANINE

JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A2.2	



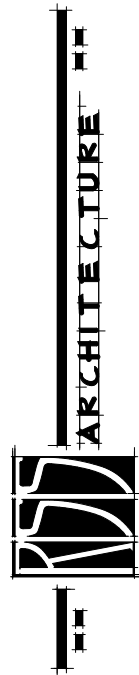
1 EXISTING 3RD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



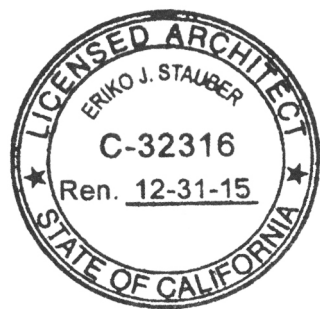
2 EXISTING 3RD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



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INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

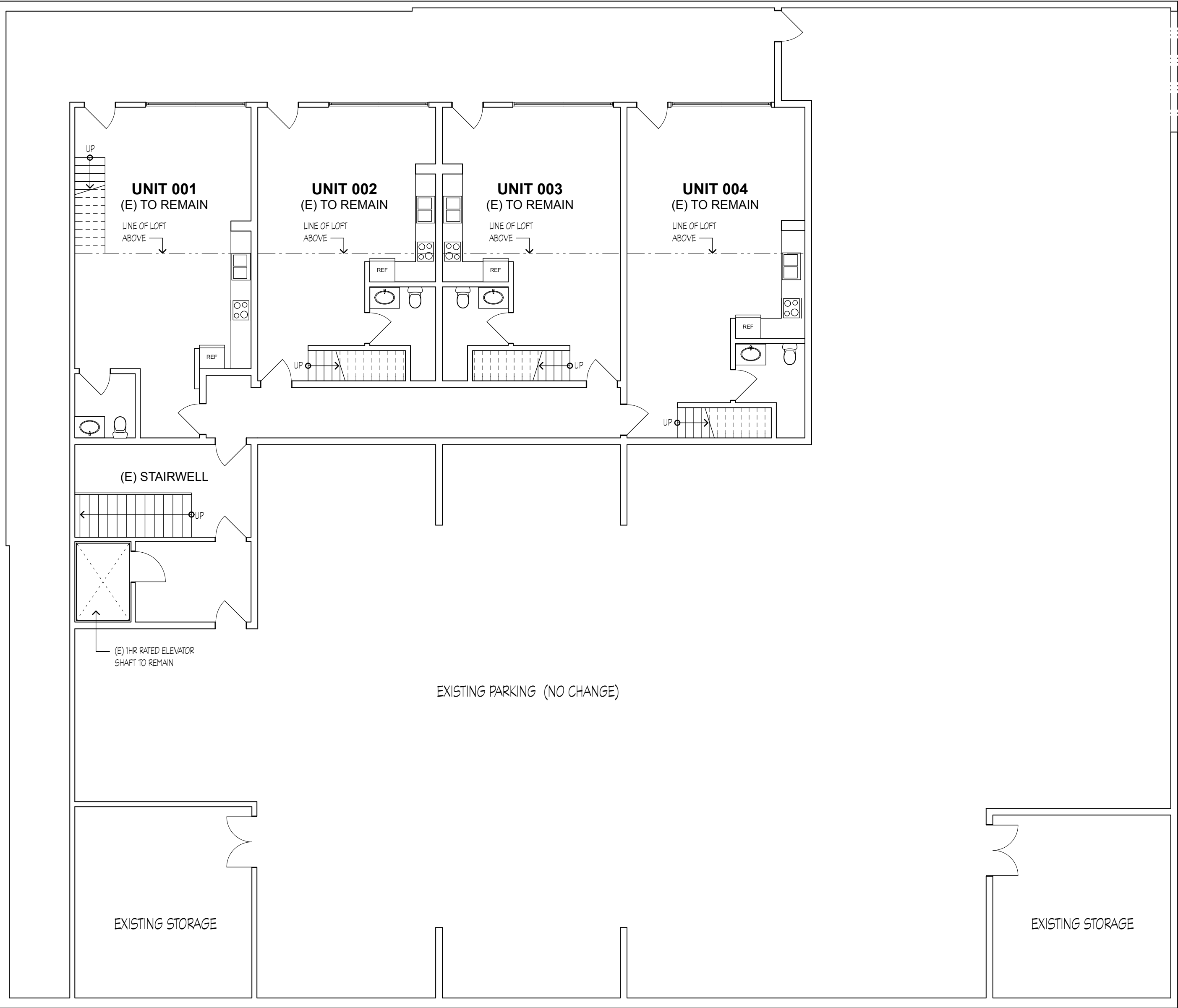
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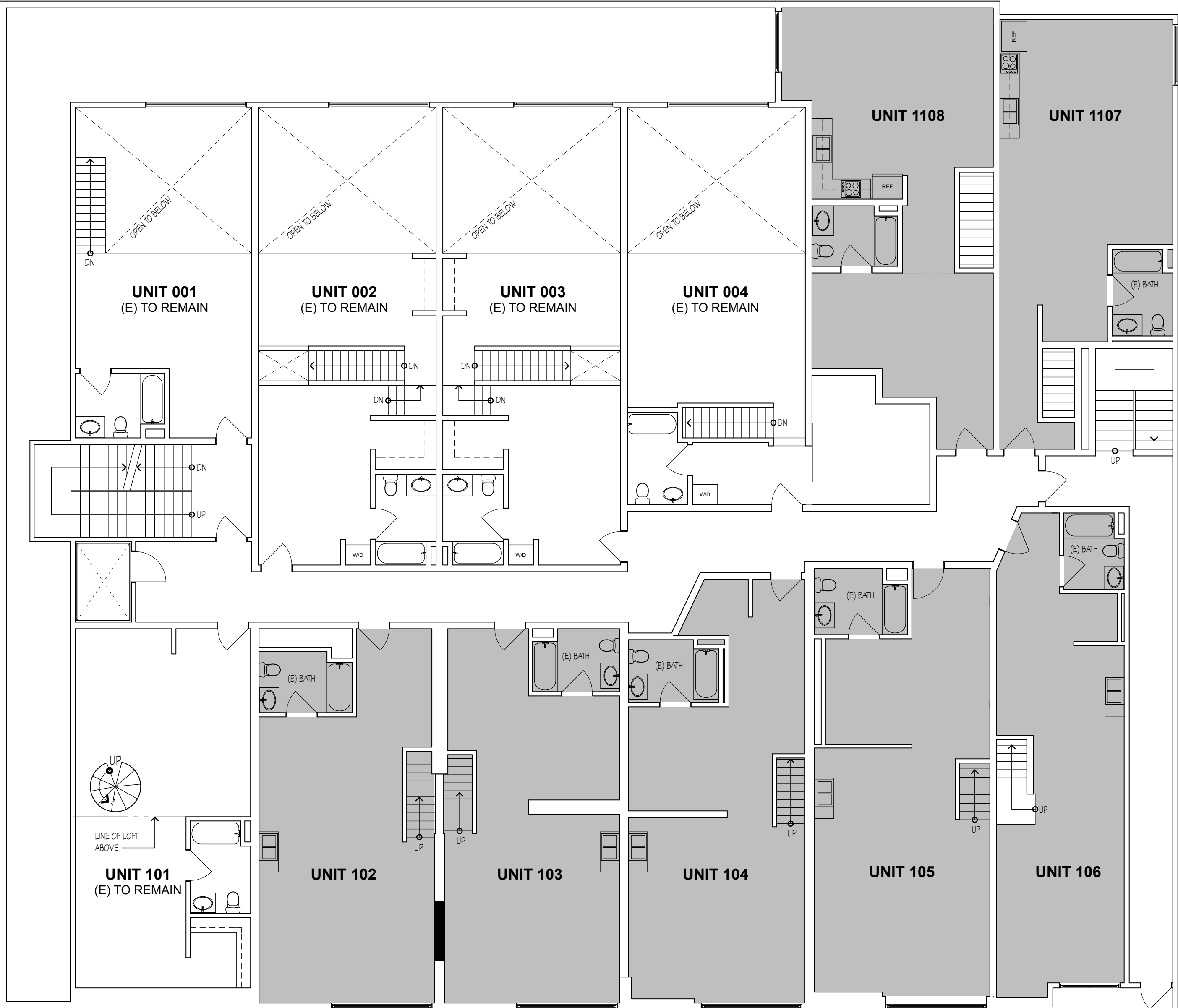
BUILDING PLANS: BASEMENT
& 1ST FLOOR

JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A2.3	



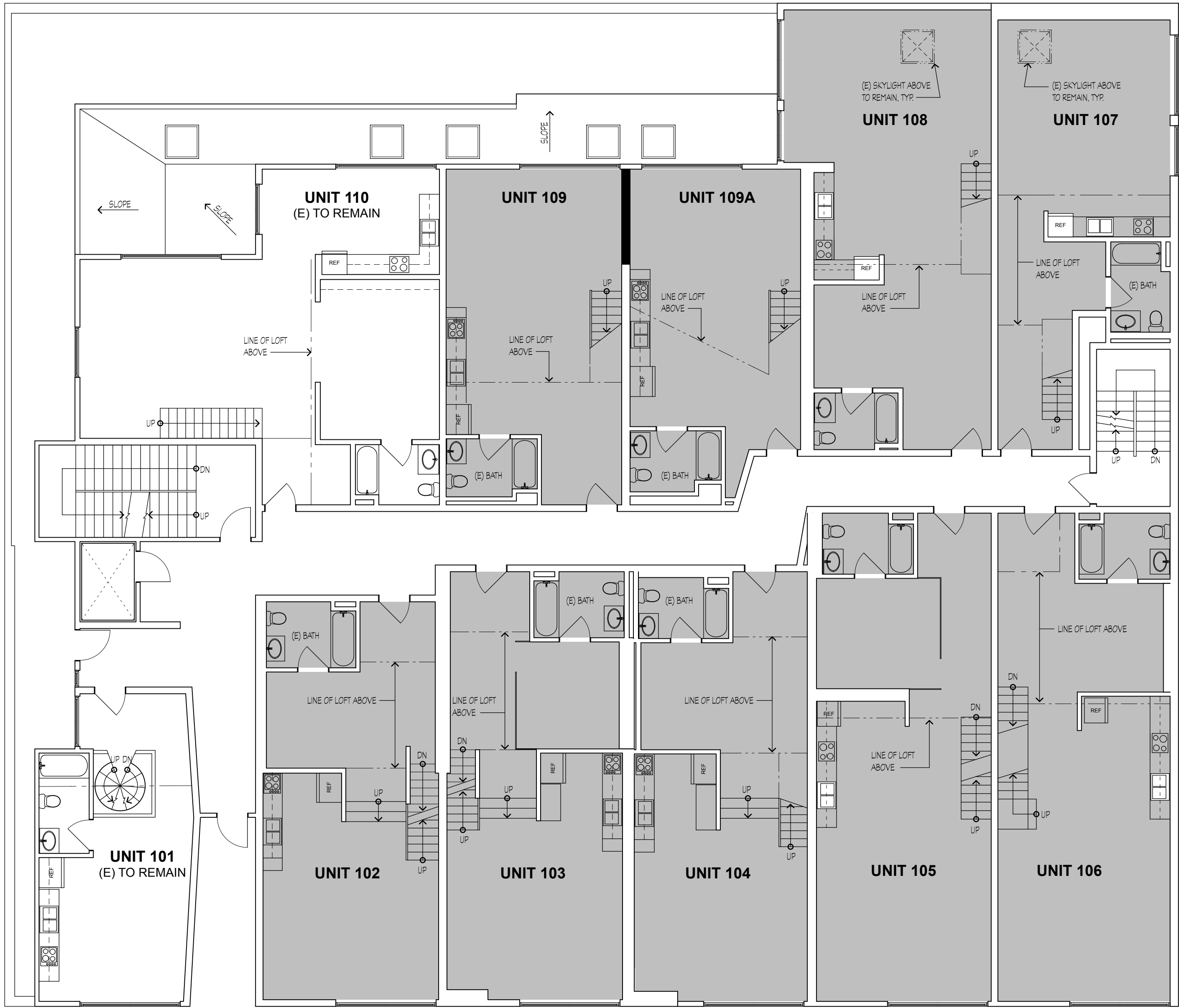
1 BASEMENT FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"



2 1ST FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"



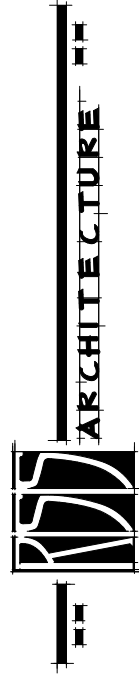
1 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 2ND FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



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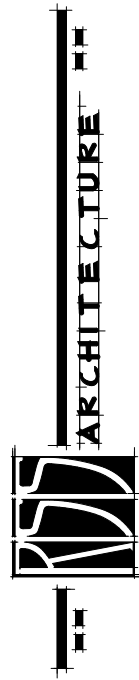
REVISIONS

BUILDING PLANS: 2ND FLOOR
& MEZZANINE

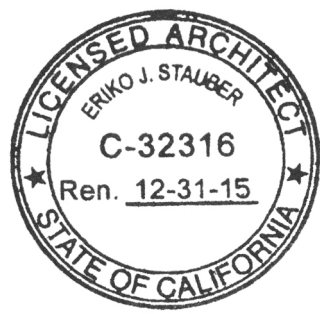
JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A2.4	

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



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INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

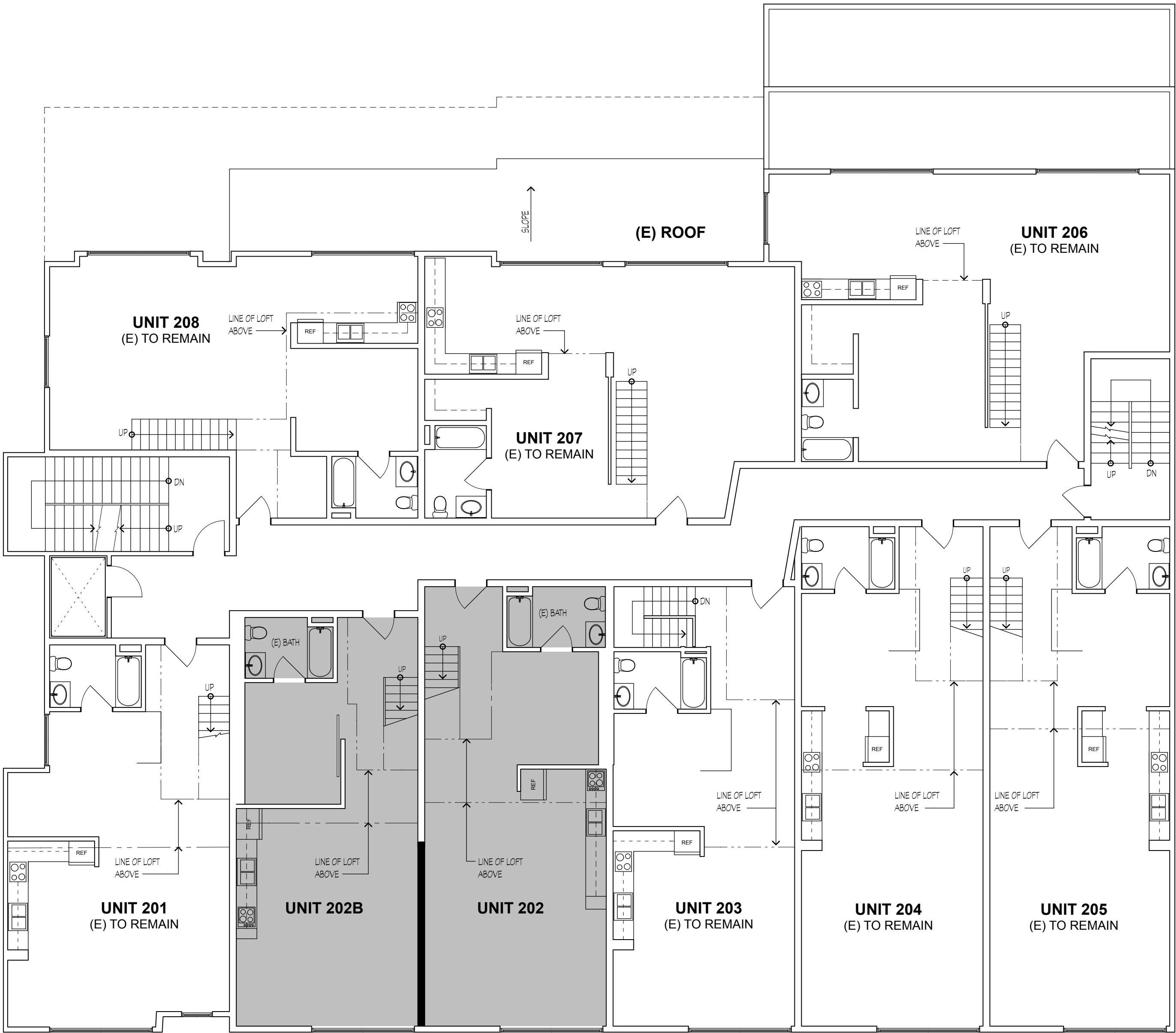
208 PENNSYLVANIA AVE.

208 Pennsylvania Ave.
San Francisco, CA 94107

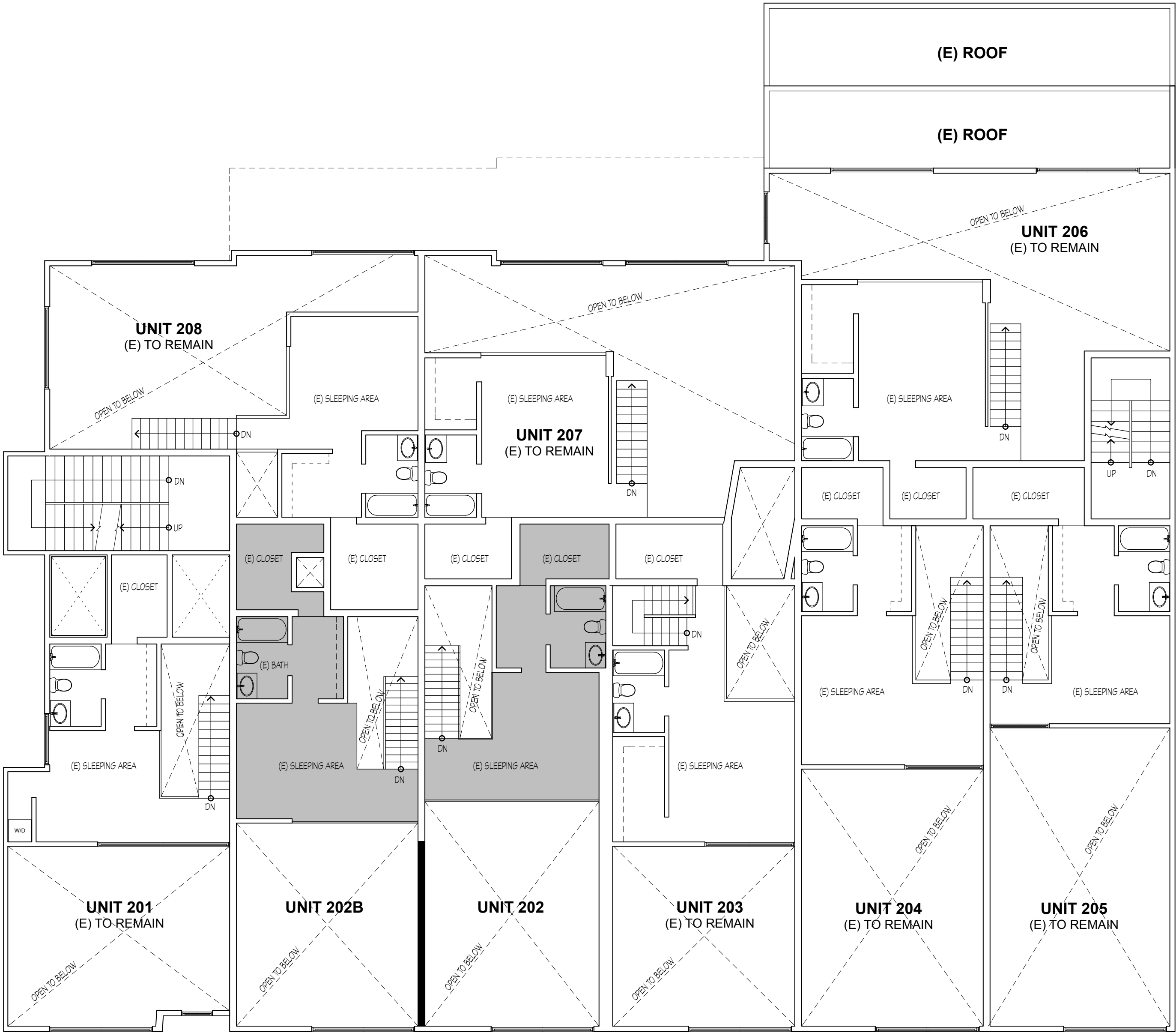
REVISIONS

BUILDING PLANS: 3RD FLOOR
& MEZZANINE

JOB: 1302	DRAWN BY: PI, JN
SHEET NO. A2.5	



1 3RD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 3RD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"



PATIOS @ LOWER UNITS



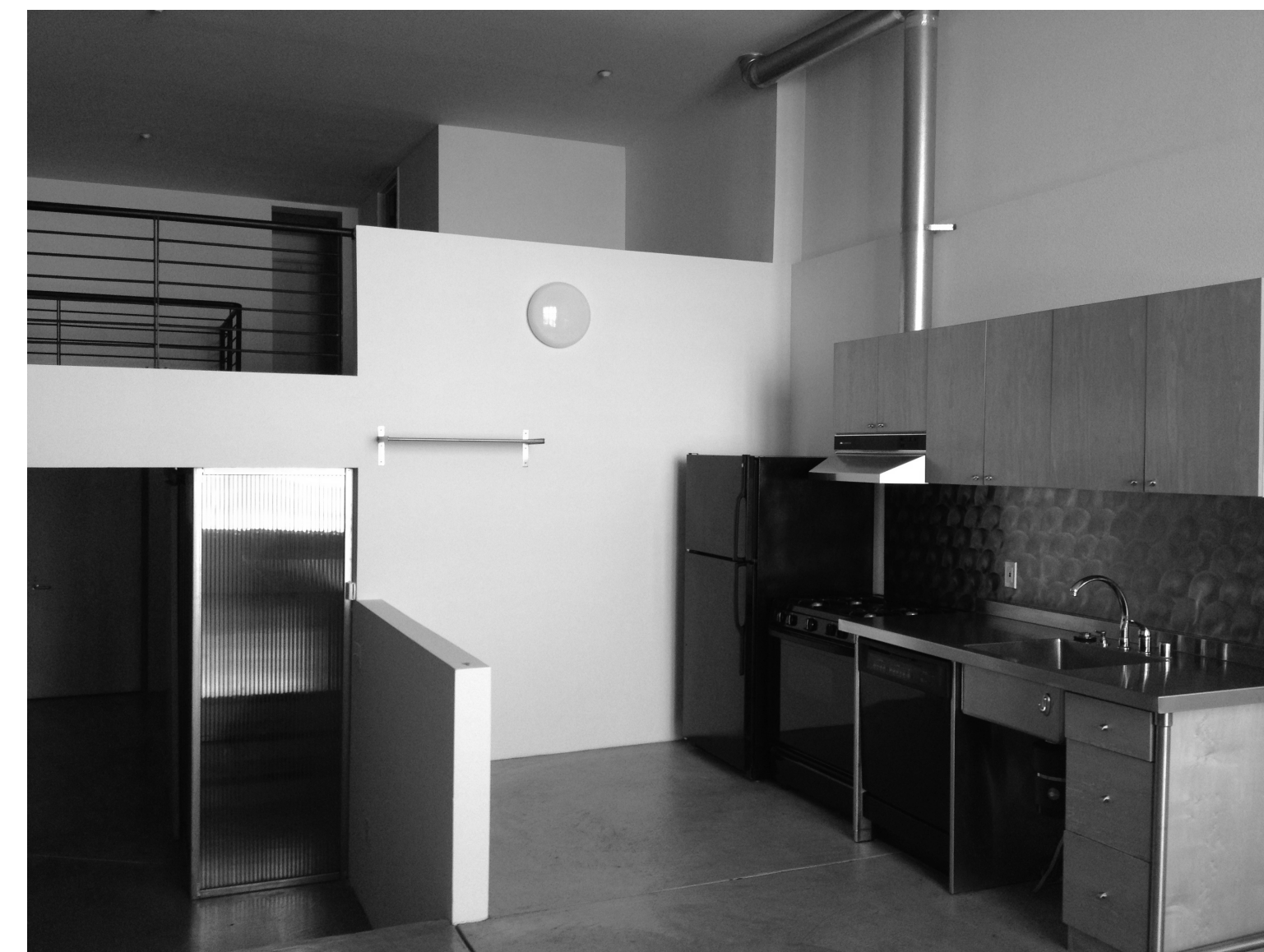
TYPICAL UNIT



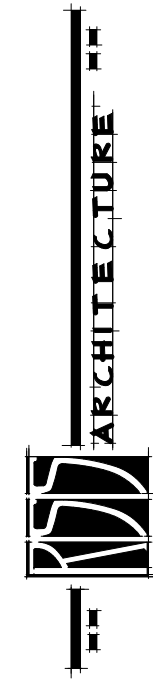
TYPICAL UNIT



STREET VIEW



TYPICAL UNIT



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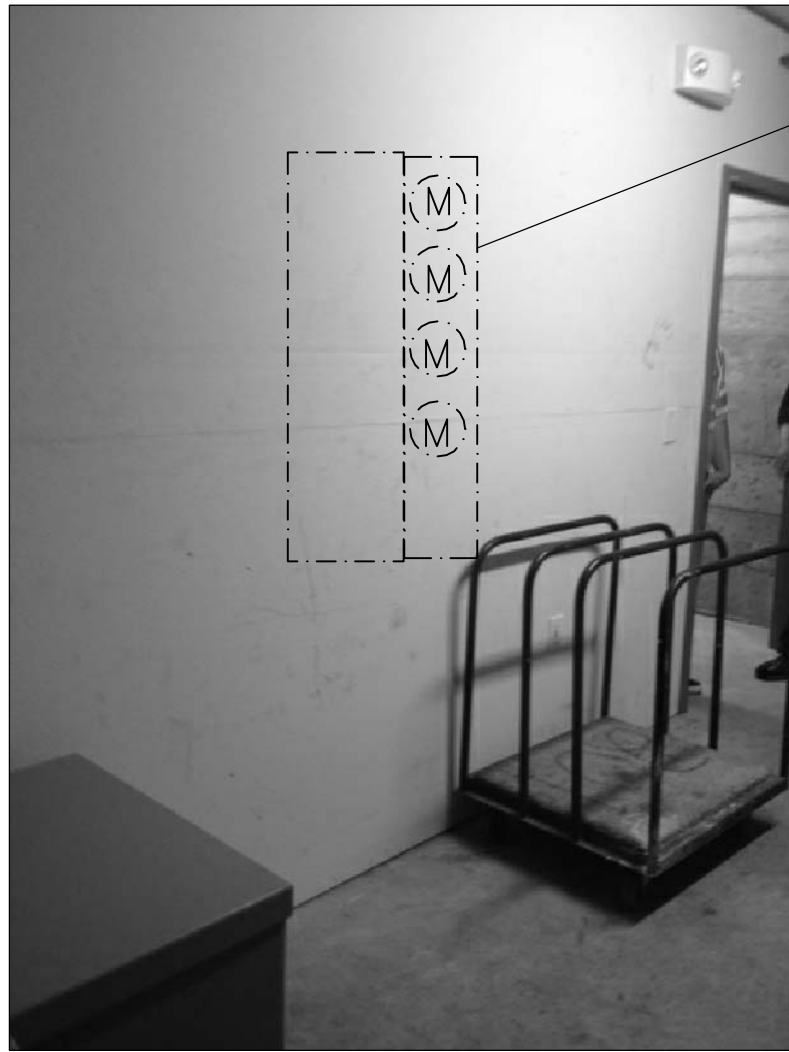
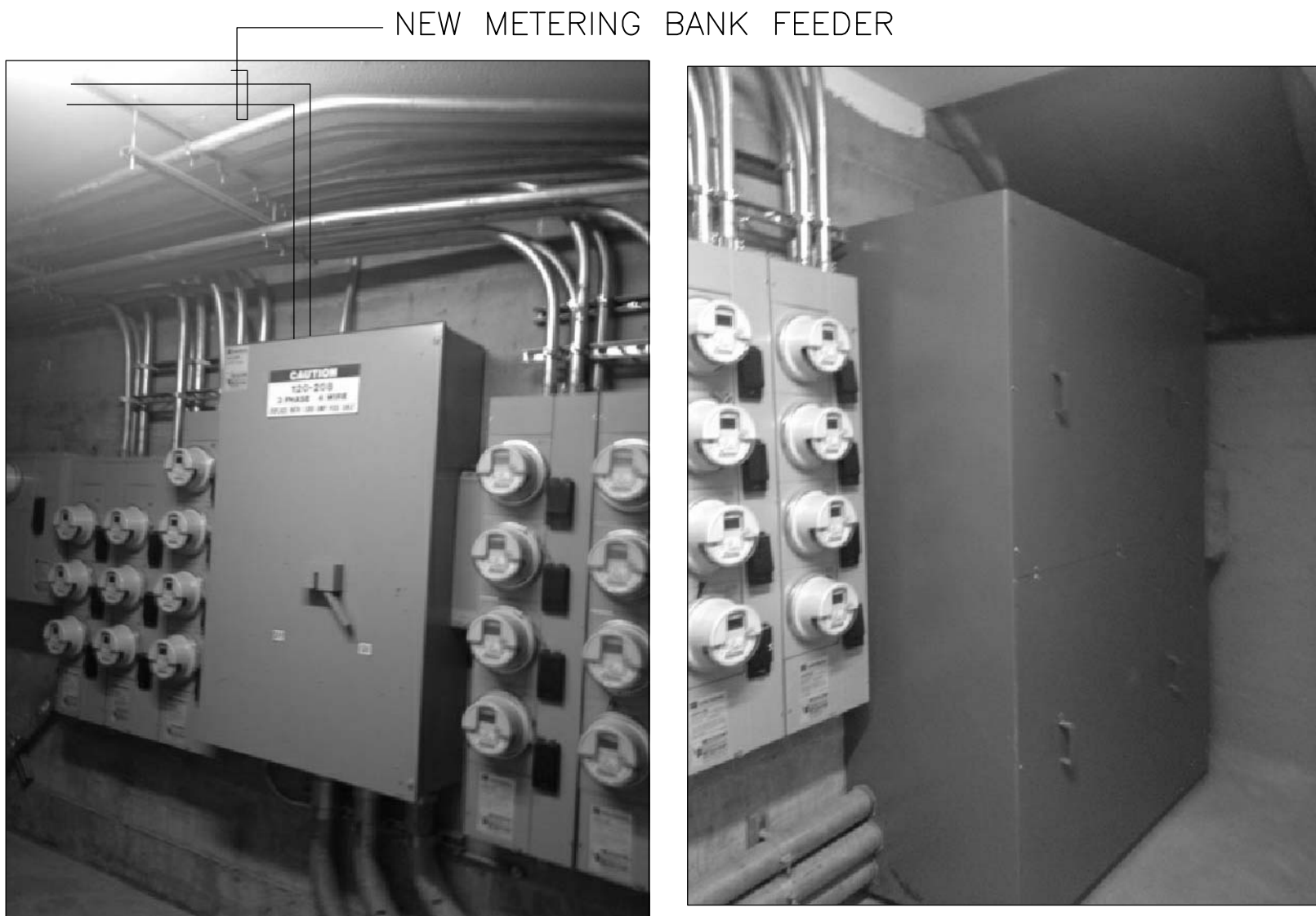
REVISIONS

EXISTING PHOTOS

JOB: 1302 DRAWN BY: PI, JN

SHEET NO.

A3.0



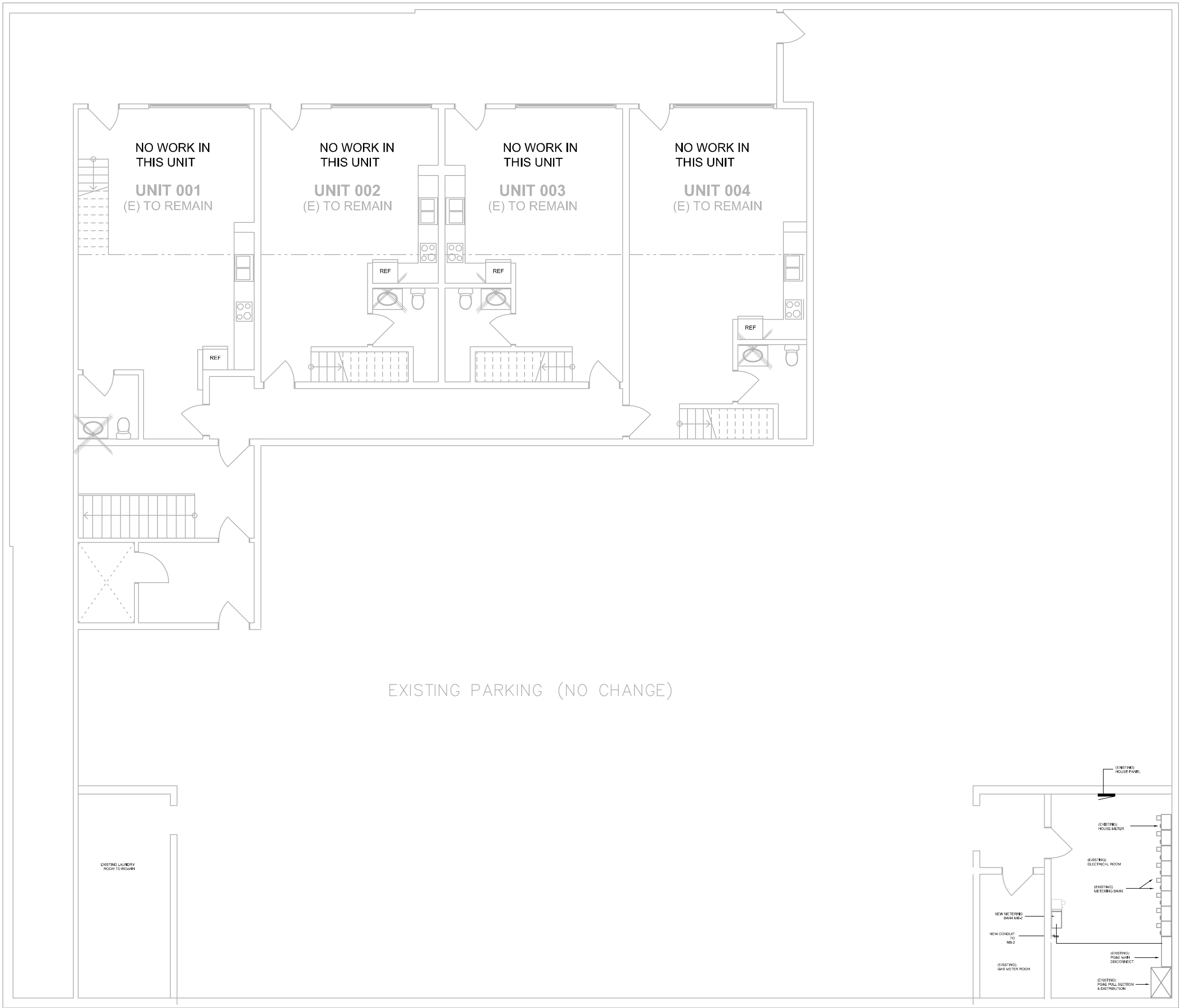
NOTE:

ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. THE ONLY SCOPE OF WORK IN SUBDIVIDED UNITS IS TO DISCONNECT EXISTING SUB-PANEL FROM EXISTING PANEL AND RE-FEED VIA NEW METERS AND FEEDERS IN THE GARAGE.

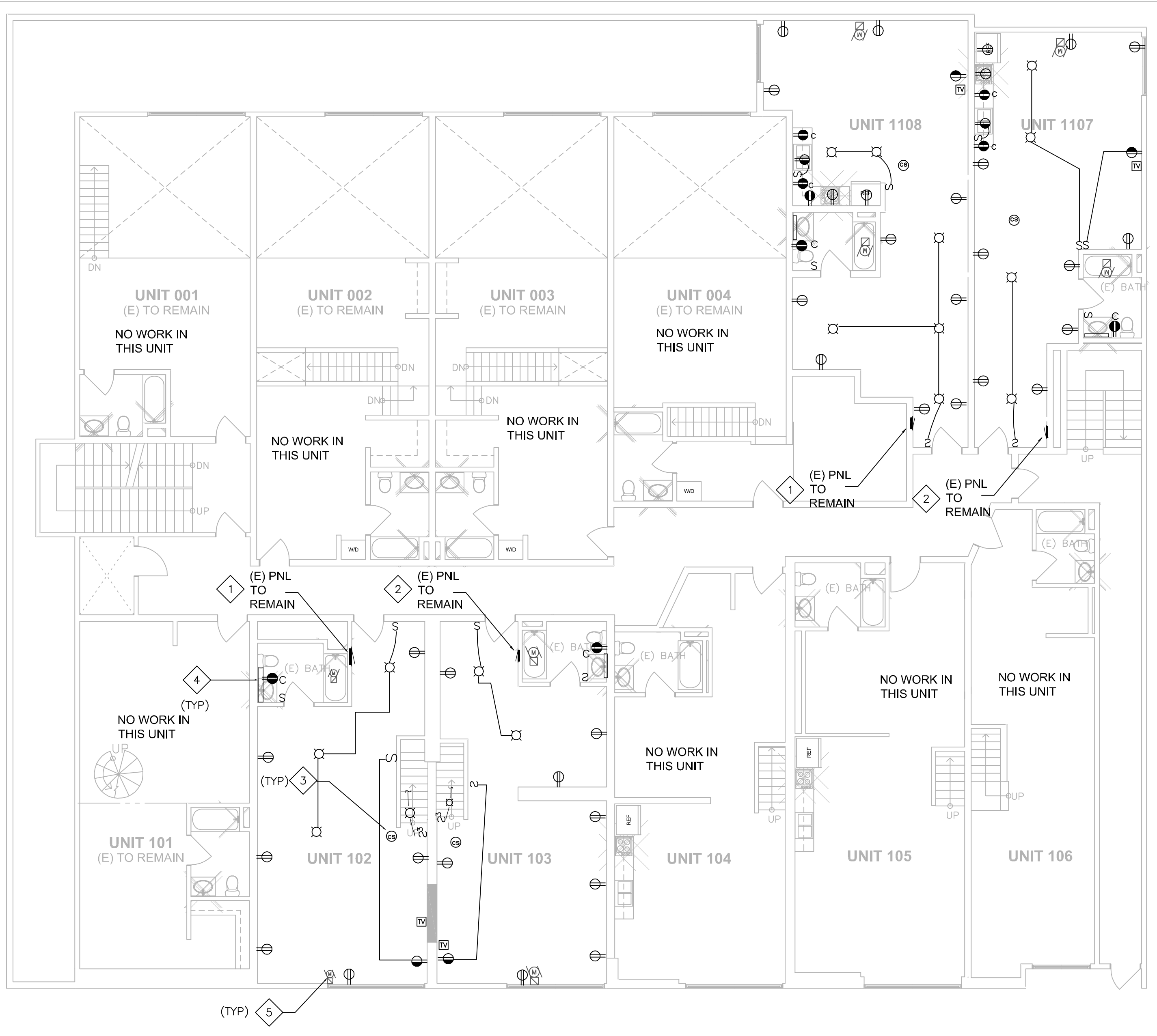
SHEET NOTES:

- 1 EXISTING PANEL TO REMAIN. DISCONNECT AND REMOVE (E) BREAKER AND FEEDER SERVING (E) SUB-PANEL IN ADJACENT UNIT. ALL OTHER BREAKERS AND WIRING TO REMAIN.
- 2 EXISTING SUB-PANEL TO REMAIN AS IS. DISCONNECT AND REMOVE EXISTING FEEDER AND CONNECT TO NEW. SEE SINGLE LINE DIAGRAM.
- 3 COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR.
- 4 TYPICAL GFI OUTLET IN BATHROOM AND KITCHEN COUNTER.
- 5 EXISTING GAS HEATER.

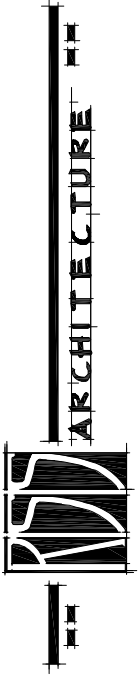
ELECTRICAL ROOM



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

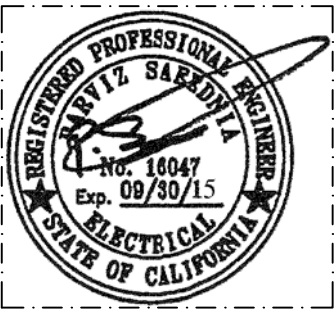


2 TYPICAL FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



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ALAMO, CA 94507
(925) 408-3741



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SAN FRANCISCO, CA 94107

REVISIONS

BASEMENT & FIRST FLOOR PLAN

JOB: 1303	DRAWN PI
	SHEET NO. E1.0