



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 24, 2014**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
(Rear Yard, Open Space, Exposure and Unit Mix)
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	530-548 Brannan St	Case No.:	2014.1021V
Cross Street(s):	4th and 5th Streets	Building Permit:	n/a
Block / Lot No.:	3777/073-174	Applicant/Agent:	Justin Chu, Essex Portfolio, LP
Zoning District(s):	RED / 40-X	Telephone:	(650) 463-6377
Area Plan:	Western SoMa Area Plan	E-Mail:	jchu@essex.com

PROJECT DESCRIPTION

The project includes establishment of 27 dwelling units. The project would result in: 32 live/work units and 10 dwelling units at 530 Brannan Street; 36 live/work units and 9 dwelling units at 542 Brannan Street; and, 34 live/work units and 8 dwelling units at 548 Brannan Street.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 25-feet. The existing building occupies the majority of the subject lot and encroaches into the required rear yard. Legalization of the dwelling units in the building requires a rear yard variance.

PER SECTION 135 OF THE PLANNING CODE, the subject property is required to provide at least 80 square feet of useable open space per dwelling unit. Currently, the project does not provide adequate useable open space for the dwelling units; therefore, a useable open space variance is required.

PER SECTION 140 OF THE PLANNING CODE, all dwelling units must directly face an open area, public street or public alley at least 25-feet wide. The proposal would legalize up to twenty dwelling units which do not meet the exposure requirements; therefore, an exposure variance is required.

PER SECTION 207.6 OF THE PLANNING CODE, the proposal must provide a dwelling unit mix of 40% 2 bedrooms or 30% 3 bedrooms. The proposed unit mix does not comply with this requirement; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.1021V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

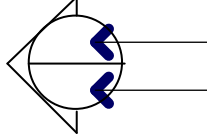
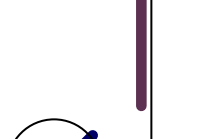
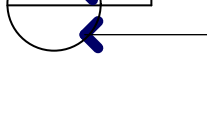
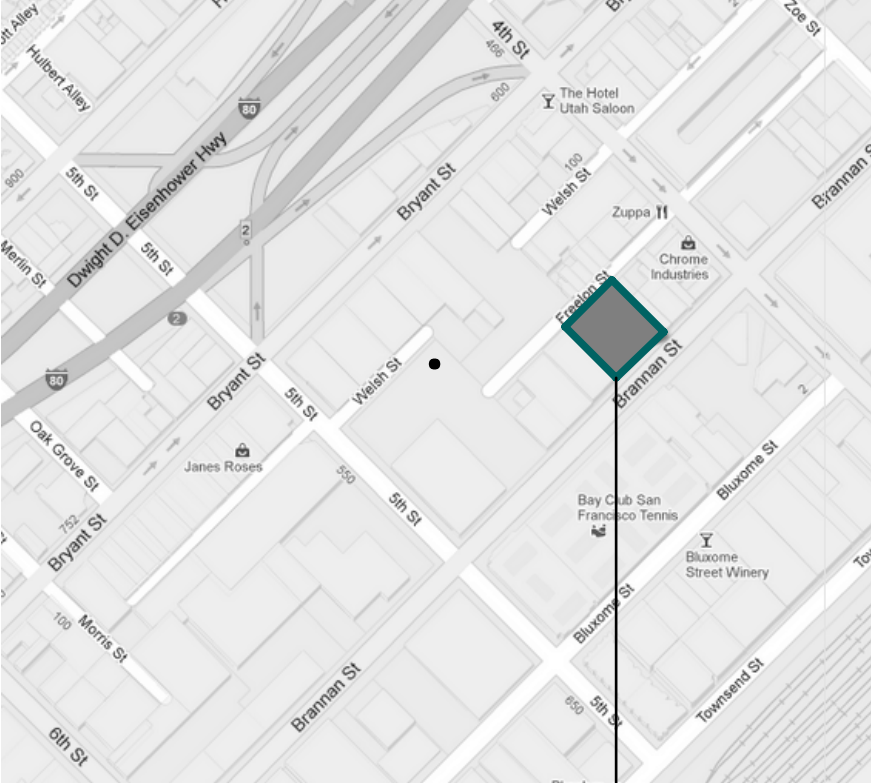
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

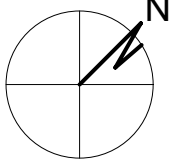
BENNETT LOFTS

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS: 530 BRANNAN STREET, SAN FRANCISCO, CA 94107

GENERAL SCOPE OF WORK	PROJECT INFO	PROJECT DATA SUMMARY	DRAWING INDEX
<div>1. LEGALIZE OCCUPANCY CLASSIFICATION OF 7 EXISTING LIVE/WORK UNITS FOR RESIDENTIAL USE.</div>	<div><div>PROPERTY MANAGEMENT: ESSEX PROPERTY TRUST, INC. 925 E. MEADOW DRIVE PALO ALTO, CA 94303 CONTACT: JUSTIN CHU TEL: 650.494.3700</div><div>ARCHITECT: RSS ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: JIMMY CHANG 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6865</div><div>CIVIL ENGINEER: UNDERWOOD & ROSENBLUM, INC. 1630 OAKLAND ROAD, SUITE A114 SAN JOSE, CA 95131 CONTACT: DAVE VOORHIES, P.E. TEL: 408.453.1222</div></div> <div>ELECTRICAL ENGINEER: NUTEK ENGINEERS 600 MAGDALENA AVE LOS ALTOS, CA 94024 CONTACT: PERRY SAEEDNIA TEL: 650.796.7553</div>	<div>530 BRANNAN: OCCUPANCY: R1-B TYPE OF CONSTRUCTION: II-A APN: 3777-107-138 ZONING: SLI SPRINKLERS: YES STORIES: FOUR EXISTING LOT AREA: 12,000 SQ.FT. EXISTING BLDG : 11,156 SQ.FT. TOTAL NO. OF EXISTING UNITS 32 NO. OF NEW UNITS 10 TOTAL NO. OF NEW UNITS 42 TOTAL NO. OF EXISTING PARKING STALLS 38 (UNCHANGED)</div>	<div>ARCHITECTURAL: A 0.0 TITLE SHEET A 0.1 GENERAL NOTES A 1.0 SITE PLAN A 2.0 EXISTING BUILDING PLAN A 2.1 EXISTING BUILDING PLAN A 2.2 EXISTING BUILDING PLAN A 2.3 PROPOSED BUILDING PLAN A 2.4 PROPOSED BUILDING PLAN A 2.5 PROPOSED BUILDING PLAN A 3.0 EXISTING PHOTOS ELECTRICAL: E 0.0 LEGEND, NOTES, SYMBOLS E 1.0 GARAGE PLAN E 1.1 ELECTRICAL ROOM E 2.0 TYPICAL BUILDING PLAN E 2.1 TYPICAL BUILDING PLAN E 2.2 TYPICAL BUILDING PLAN E 3.0 SINGLE LINE DIAGRAM E 4.0 LOAD CALCULATIONS</div>
GENERAL NOTES	SYMBOLS	APPLICABLE CODES	LOCATION MAP
<div>1. CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE REFERENCE DRAWINGS AND ACTUAL BUILT CONDITION, PRIOR TO CONSTRUCTION TO RESOLVE.</div> <div>2. IT IS THE INTENT OF THESE DOCUMENTS TO MAINTAIN THE EXISTING RATED WALL ASSEMBLIES.</div>	<div><div><div>EXTERIOR ELEVATIONS ELEVATION NUMBER SHEET NUMBER</div></div><div><div>ARCHITECTURAL DETAILS DETAIL NUMBER SHEET NUMBER</div></div><div><div>LEGEND NOTES NOTE NUMBER</div></div></div>	<div>2013 CALIFORNIA BUILDING CODE</div> <div>2013 CALIFORNIA FIRE CODE</div> <div>2013 CALIFORNIA ELECTRICAL CODE</div> <div>2013 CALIFORNIA PLUMBING CODE</div> <div>2013 CALIFORNIA MECHANICAL CODE</div> <div>2013 ENERGY CODE COMPLIANCE</div> <div>ALL LOCAL CODES & ORDINANCES BY THE CITY OF SAN FRANCISCO</div>	

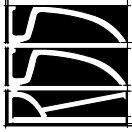
REVISIONS

TITLE SHEET

JOB: 1303	DRAWN PI
NORTH: 	SHEET NO. <div>A0.0</div>

NOTES		ABBREVIATION LIST																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
<p>GENERAL</p> <p>NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.</p> <p>CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE BUILDINGS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL PARTS BY THE VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENT OF THESE ARCHITECTURAL DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.</p> <p>THE CONSTRUCTION ASSEMBLIES DEPICTED IN THESE DOCUMENTS MAY PROVIDE FOR THE CONTACT OF DISSIMILAR MATERIALS WHICH, WHEN FINISH COATED OR SUBJECTED TO MOIST WEATHER CONDITIONS, MAY RESULT IN DISCOLORATION OF SOME OF THE MATERIAL SURFACES. THESE CONDITIONS MAY REQUIRE PERIODIC INSPECTION, MAINTENANCE AND/OR RE-COATING AT CLOSER INTERVALS THAN OTHER NON-AFFECTED SURFACES.</p> <p>THESE ARCHITECTURAL CONSTRUCTION DRAWINGS DESCRIBE THE REQUIREMENTS OF THE PROJECT FOR A BUILDING PERMIT AND TO PREPARE ESTIMATES OF QUANTITY AND COSTS OF MATERIALS REQUIRED TO CONSTRUCT THE PROJECT. THESE DRAWINGS PROVIDE FOR ONLY SCHEMATIC PLUMBING/MECHANICAL EQUIPMENT LAYOUT AND SCHEMATIC ELECTRICAL POWER AND LIGHTING LAYOUT AS PREPARED BY THE ARCHITECT WITHOUT ENGINEERING DESIGNS, DETAILS, CALCULATIONS OR SPECIFICATIONS.</p> <p>BY USE OF THESE DOCUMENTS, THE CONTRACTOR ACKNOWLEDGES THAT RSS ARCHITECTURE, AS THE ARCHITECT, IS THE AUTHOR OF, AND THEREFORE RESPONSIBLE FOR THE INTERPRETATION OF THESE DESIGN DOCUMENTS AND THAT THE CONTENT, CONCEPTS OR BASIC DESIGN DEMONSTRATED BY THE DOCUMENTS SHALL NOT BE FURTHER DEVELOPED, INTERPRETED, CLARIFIED OR TRANSFERRED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.</p> <p>CHANGES TO THE PLANS AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.</p> <p>ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING REQUESTING CLARIFICATION. IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS EXCULPATED FROM ANY LIABILITY WHATSOEVER, OCCASIONED BY THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>INsofar AS THERE ARE MANY VARIABLES INVOLVED IN THE EXECUTION OF THE WORK DESCRIBED IN THESE DOCUMENTS, THE ARCHITECT DOES NOT CARRY ANY WARRANTY EXPRESSED OR IMPLIED FOR THE WORK OF THE TRADES.</p> <p>THESE DOCUMENTS ARE COMPLETE AS PREPARED BY THE ARCHITECT. ADDITIONAL DOCUMENTS, INCLUDING WRITTEN SPECIFICATIONS, MAY BE PREPARED BY OTHERS AND USED TO SUPPLEMENT THE WORK OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUPPLEMENTAL WORK IN CONFORMANCE WITH THESE DOCUMENTS.</p> <p>THE CONTRACTOR SHALL, BY THE USE OF THESE DOCUMENTS, BE REQUIRED TO PROVIDE UNDERSTANDABLE AND THOROUGH INSTRUCTIONS TO THE OWNER ABOUT HIS/HER RESPONSIBILITIES FOR ON-GOING MAINTENANCE. THESE INSTRUCTIONS SHALL DESCRIBE PERIODIC INSPECTIONS AND PROCEDURES FOR MAINTENANCE OF BUILDING SYSTEMS AND MATERIALS, INCLUDING BUT NOT LIMITED TO: DRAINAGE, EROSION CONTROL, PLUMBING, MECHANICAL PAVING, WATERPROOFING, DECKING, ROOFING, GLAZING, PAINTING, SEALANTS, ETC. THE CONTRACTOR SHALL OBTAIN INFORMATION AND INSTRUCTIONS FROM THE VARIOUS SUBCONTRACTORS, INSTALLERS AND MANUFACTURERS REGARDING MAINTENANCE OF THEIR SPECIFIC PORTIONS OF WORK AND MATERIALS. ALL WARRANTIES AND/OR GUARANTEES SHALL BE IDENTIFIED. THESE INSTRUCTIONS SHALL BE WRITTEN SO AS TO HAVE THE HOMEOWNER PROMPTLY ALERT THE CONTRACTOR AS TO ANY UNUSUAL WEARING OF MATERIALS OR MALFUNCTION OF COMPONENTS AND/OR ASSEMBLIES OF THE CONSTRUCTION. THE INSTRUCTIONS SHALL IDENTIFY THE EXPECTED USUAL WEARING, MOVEMENTS OR DEFORMATION OF MATERIALS AND THEIR PROJECTED LIFE.</p> <p>ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF THE WORK, INCLUDING, BUT NOT LIMITED TO: 2013 CALIFORNIA BUILDING CODE (CBC); CALIFORNIA MECHANICAL CODE (CMC); CALIFORNIA ELECTRICAL CODE (CEC); UNIFORM FIRE CODE (UFC); AMERICAN CONCRETE INSTITUTE (ACI); CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.</p> <p>SITE EXAMINATION</p> <p>THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH AFFECT HIS WORK.</p> <p>DIMENSION CONTROL</p> <p>IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.</p> <p>ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.</p> <p>DIMENSION CONTROL HAS BEEN TAKEN FROM READILY OBSERVABLE EXISTING CONDITIONS AND FIELD MEASUREMENTS. ADJUSTMENTS MAY HAVE TO BE EMPLOYED SHOULD AS-BUILT CONDITIONS VARY FROM ORIGINAL DOCUMENTS.</p>		<p>CONTROL OF APPROVAL</p> <p>CONTRACTOR SHALL INCLUDE AND IMPLEMENT IN THE WORK ALL PERTINENT REQUIREMENTS FOR THIS PROJECT AS SET FORTH IN THE CONDITIONS OF APPROVAL BY THE CITY AGENCIES. A COPY OF THESE CONDITIONS IS AVAILABLE FROM THE OWNER AND ARCHITECT.</p> <p>CONTINUING OPERATIONS</p> <p>WHEN IT IS NECESSARY THAT THE OWNER CONTINUE PRESENT OCCUPANCY DURING THE RENOVATION WORK, THE CONTRACTOR SHALL, AFTER CONSULTING WITH THE OWNER, SCHEDULE THE WORK SO AS NOT TO INTERFERE WITH NORMAL HOUSEHOLD OPERATIONS.</p> <p>WORK SEQUENCE</p> <p>IN THE EVENT THAT SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.</p> <p>MOISTURE PROTECTION</p> <p>IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE DETAILS FOR CONSTRUCTION WHICH WILL RESULT IN A MOISTURE RESISTANT BUILDING ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY EXCEPTION HE MAY TAKE TO ANY OF THE DETAILS OR METHODS DESCRIBED HEREIN. IF THE CONTRACTOR IS AWARE OF ALTERNATE MATERIALS OR METHODS THAT WILL BETTER SATISFY THIS INTENT, HE SHALL SO NOTIFY THE ARCHITECT, IN WRITING, ALLOWING THE ARCHITECT TO MODIFY HIS DOCUMENTS ACCORDINGLY.</p> <p>SHOULD ANY SPECIAL SITUATION OCCUR DURING CONSTRUCTION, INCLUDING VARIOUS CLIMATIC CONDITIONS, WHICH NECESSITATE APPLICATIONS OR METHODS TO INSURE THE PROTECTION OF MATERIALS AND ASSEMBLIES, THE CONTRACTOR OR SUBCONTRACTOR (S) SHALL SO NOTICE AND IMPLEMENT ANY OR ALL PROTECTIVE MEASURES.</p> <p>ALL DOWNSPOUTS, SCUPPERS AND LEADERHEADS SHALL BE SIZED TO ACCOMMODATE TRIBUTARY ROOF AREAS SERVED. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO PROVIDE ANY AND ALL DESIGN, CALCULATIONS AND DATA THAT MAY BE REQUIRED IN SUPPORT OF THIS SYSTEM. ALL RESPONSIBILITY FOR THE SYSTEM AND ITS FUNCTION SHALL BE BORNE BY THE SYSTEM DESIGNER AND/OR INSTALLER.</p> <p>DEMOLITION NOTES</p> <p>THESE ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE THE LIMITS OF NEW CONSTRUCTION AND EXISTING CONSTRUCTION TO REMAIN. THESE DRAWINGS ARE NOT INTENDED TO SHOW ALL EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND SCOPE OF EXISTING CONSTRUCTION TO BE REMOVED.</p> <p>THE GENERAL CONTRACTOR SHALL PERFORM WORK IN OR ON THE EXISTING BUILDING. THIS CONSISTS PRINCIPALLY OF BUT NOT NECESSARILY LIMITED TO, THE CUTTING AND REPAIR OR REPLACEMENT OF PORTIONS OF THE EXISTING BUILDING AS SHOWN, OR AS NECESSARY FOR INSTALLATION OR ERECTION OF NEW WORK, OR REMODELLING CALLED FOR ON DRAWINGS OR IN SPECIFICATIONS.</p> <p>THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH OWNER FOR ENTRY AND EXECUTION OF WORK IN OR ON THE EXISTING BUILDING.</p> <p>THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS THEY FIND IT AND BE FAMILIAR WITH ITS CHARACTER AND THE TYPE OF WORK TO BE REMOVED. HE SHALL ENTIRELY DEMOLISH ON THE SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED, AND SHALL NOT REMOVE ANY STRUCTURE FROM THE SITE, EITHER AS A WHOLE OR SUBSTANTIALLY AS A WHOLE WHERE NOT INDICATED. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE PORTIONS OF BUILDING TO BE REMOVED AND/OR DEMOLISHED.</p> <p>THE GENERAL CONTRACTOR SHALL SEE THAT ALL SERVICES, TO THE AREAS TO BE DEMOLISHED, SUCH AS WATER, GAS, STEAM, ELECTRICITY AND TELEPHONE LINES, ARE DISCONNECTED AT THE ENTRIES AS APPLICABLE, ALL IN ACCORDANCE WITH THE RESTRICTIVE RULES AND REGULATIONS GOVERNING THE UTILITIES INVOLVED.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THEIR REMOVAL TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.</p> <p>THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SHORING REQUIRED IN CONNECTION WITH THE DEMOLITION OPERATIONS, AND THE SUPPORTS SHALL HOLD THE EXISTING WORK THAT IS TO REMAIN IN PROPER POSITION UNTIL NEW SUPPORTING MEMBERS AND INJURIES TO THE PUBLIC.</p> <p>AFTER WORK HAS BEEN STARTED, IT SHALL BE CARRIED OUT TO COMPLETION, PROMPTLY, EXPEDITIOUSLY, AND IN AN ORDERLY MANNER, USING METHODS COMMONLY EMPLOYED, AND AS PROVIDED UNDER THE CITY OR COUNTY CODE FOR DEMOLITION WORK AS APPLICABLE.</p> <p>GENERALLY, THE GENERAL CONTRACTOR SHALL DO ANY CUTTING AND REMOVE ANY OR ALL ITEMS, WHETHER SPECIFICALLY MENTIONED OR INDICATED, WHICH OBVIOUSLY WILL INTERFERE WITH OR BECOME INCONGRUOUS TO PROPOSED CONSTRUCTION FINISHES. WHEN ITEM(S) IS/ARE QUESTIONABLE, HE SHALL NOTIFY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL EXERCISE UTMOST CARE TO SEE THAT MINIMUM CUTTING IS DONE.</p> <p>SALVAGE</p> <p>ALL ITEMS DEEMED SALVAGEABLE BY THE OWNER WILL EITHER BE INDICATED ON THE DRAWINGS, AND SHALL BE REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL BE INDICATED ON THE DRAWINGS. WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS, AS DIRECTED BY THE OWNER TO BE RETAINED, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO DEBRIS OR CONTRACTOR SALVAGEABLE ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.</p> <p>SITE PROTECTION</p> <p>THE GENERAL CONTRACTOR SHALL PROTECT ALL INTERIOR AND EXTERIOR EXISTING CONSTRUCTION THAT IS TO REMAIN, INCLUDING LANDSCAPING ALONG THE PROPERTY LINES, AS WELL AS ON ADJACENT LOTS. ANY DAMAGE OR LOSS RESULTING FROM NEW CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</p> <p>THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH MUNICIPAL REGULATIONS AND CARRY OUT THE WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.</p> <p>THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY CONSTRUCTION FENCE, MEETING CITY STANDARDS, DURING CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE PUBLIC FROM INJURY CAUSED ON SITE.</p> <p>GLAZING REQUIREMENTS</p> <p>ALL WINDOWS AND DOORS MUST MEET THE AIR AND INFILTRATION STANDARDS OF THE CURRENT ANSI AND SHALL BE CERTIFIED AND LABELLED.</p> <p>HEATING DESIGN TEMPERATURE</p> <p>MINIMUM INSIDE WINTER DESIGN TEMPERATURE IS 10 DEGREES.</p> <p>VAPOUR RETARDER AND AIR BARRIER</p> <p>TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE CONSTRUCTION ASSEMBLIES REPRESENTED AND DETAILED IN THESE DOCUMENTS CONFORM TO THE STATE OF CALIFORNIA ENERGY CONSERVATION REGULATIONS AS MANDATED IN THE TITLE 24 ENERGY COMPLIANCE STANDARDS. WHILE THESE REGULATIONS RESULT IN A VERY TIGHT AIR AND MOISTURE EXTERIOR ENVELOPE, THE SELECTION OF SPECIFIC VAPOUR RETARDERS AND AIR BARRIERS, AND PREVAILING CLIMATIC CONDITIONS MAY AFFECT OR IMPACT OTHER MEMBERS WITHIN THE FLOOR, WALL, CEILING AND ROOF ASSEMBLIES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL HAVE FULL RESPONSIBILITY IN SELECTION OF THESE MATERIALS AND SHALL EACH MAKE KNOWN TO ALL OTHERS ANY AND ALL EFFECTS OR IMPACTS THAT MAY OCCUR AND AFFECT THE SELECTION OF OTHER ASSEMBLY MATERIALS OR PROCEDURES NECESSARY FOR PROPER CONSTRUCTION. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR TESTING OF THESE ASSEMBLIES SHOULD IT BE REQUIRED OR DETERMINED TO STUDY THE PERFORMANCE OF THESE ASSEMBLIES AGAINST MOISTURE INFILTRATION, MOISTURE ENTRAPMENT AND/OR ADVERSE AFFECTS ON THE DURABILITY, AESTHETICS, ENERGY USE EFFICIENCY AND REASONABLE COMFORT WITHIN THE BUILDING(S) AS MAY BE CAUSED BY MOISTURE INFILTRATION AND ENTRAPMENT.</p> <p>HAZARDOUS MATERIALS</p> <p>THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE NOT 'OWNER OR OPERATOR' AS DEFINED UNDER NESHAP SECTION 112 OF THE CLEAN AIR ACT AND THEREFORE SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, TRANSPORTATION, STORAGE OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIAL IN ANY FORM AT THE PROJECT PREMISES, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.</p> <p>FLASHING CONDITIONS</p> <p>FLASHING CONDITIONS SHOWN IN THESE PLANS WILL REQUIRE REMOVAL OF (E) SIDING ON ADJACENT SURFACES. CONTRACTOR TO COORDINATE W/ ARCHITECT FOR FLASHING INSTALLATION FOR AREAS WHERE SIDING IS NOT SCHEDULED FOR REPLACEMENT.</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
<p>SYMBOLS</p> <table><tr><td>∟</td><td>ANGLE</td><td>MAT.</td><td>MATERIAL</td></tr><tr><td>ε</td><td>AND</td><td>MAX.</td><td>MAXIMUM</td></tr><tr><td>@</td><td>AT</td><td>MECH.</td><td>MECHANICAL</td></tr><tr><td>C</td><td>CENTER LINE</td><td>MEMB.</td><td>MEMBRANE</td></tr><tr><td>O</td><td>DIAMETER OR ROUND</td><td>MFR.</td><td>MANUFACTURER</td></tr><tr><td>d</td><td>PENNY</td><td>MIN.</td><td>MINIMUM</td></tr><tr><td># or NO.</td><td>NUMBER SQUARE FOOT</td><td>MSTR. BDRM.</td><td>MASTER BEDROOM</td></tr></table> <p>ABBREVIATIONS</p> <table><tr><td>A.B.</td><td>ANCHOR BOLT</td><td></td><td></td></tr><tr><td>ABV</td><td>ABOVE</td><td>(N)</td><td>NEW</td></tr><tr><td>A.C. PAVING</td><td>ASPHALT CONCRETE PAVING</td><td>N.I.C.</td><td>NOT IN CONTRACT</td></tr><tr><td>A/C</td><td>AIR CONDITIONING</td><td>N.T.S.</td><td>NOT TO SCALE</td></tr><tr><td>A.D.</td><td>AREA DRAIN</td><td></td><td></td></tr><tr><td>ADH.</td><td>ADHESIVE</td><td>O/</td><td>OVER</td></tr><tr><td>ADJ.</td><td>ADJACENT</td><td>O.C.</td><td>ON CENTER (S)</td></tr><tr><td>APF</td><td>ABOVE FINISH FLOOR</td><td>O.H.</td><td>OPPOSITE HAND</td></tr><tr><td>ALT.</td><td>ALTERNATE</td><td>OPNG.</td><td>OPENING</td></tr><tr><td>ALUM.</td><td>ALUMINUM</td><td>OPP.</td><td>OPPOSITE</td></tr><tr><td>ANG.</td><td>ANGLE</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>BA.</td><td>BATHROOM</td><td>PAN.</td><td>PANTRY</td></tr><tr><td>BD.</td><td>BOARD</td><td>PDR.</td><td>POWDER ROOM</td></tr><tr><td>BDRM.</td><td>BEDROOM</td><td>PL.</td><td>PLATE</td></tr><tr><td>BLDG.</td><td>BUILDING</td><td>P. LAM.</td><td>PLASTIC LAMINATE</td></tr><tr><td>BLKG.</td><td>BLOCKING</td><td>PLAST.</td><td>PLASTER</td></tr><tr><td>BM.</td><td>BEAM</td><td>PLYWD.</td><td>PLYWOOD</td></tr><tr><td>BOT.</td><td>BOTTOM</td><td>PREFAB.</td><td>PREFABRICATED</td></tr><tr><td></td><td></td><td>PT.</td><td>PRESSURE-TREATED</td></tr><tr><td></td><td></td><td>PT.D.F.</td><td>PRESSURE TREATED DOUGLAS FIR</td></tr><tr><td></td><td></td><td>PT. SLAB</td><td>POST TENSION SLAB</td></tr><tr><td colspan="4"> </td></tr><tr><td>CAB.</td><td>CABINET</td><td></td><td></td></tr><tr><td>CEM.</td><td>CEMENT</td><td></td><td></td></tr><tr><td>CLG.</td><td>CEILING</td><td>RAG.</td><td>RETURN AIR GRILLE</td></tr><tr><td>CLO.</td><td>CLOSET</td><td>RFG.</td><td>REFRIGERATOR</td></tr><tr><td>CLR.</td><td>CLEAR</td><td>REG.</td><td>REGISTER</td></tr><tr><td>COL.</td><td>COLUMN</td><td>REQD.</td><td>REQUIRED</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>RM.</td><td>ROOM</td></tr><tr><td>CONST.</td><td>CONSTRUCTION</td><td>RWD.</td><td>REDWOOD</td></tr><tr><td>CONT.</td><td>CONTINUOUS</td><td>REF.</td><td>REFER</td></tr><tr><td>CTR.</td><td>CENTER</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>D.</td><td>DRYER</td><td>S.C.</td><td>SOLID CORE</td></tr><tr><td>DBL.</td><td>DOUBLE</td><td>SCH.</td><td>SCHEDULE</td></tr><tr><td>D.F.</td><td>DOUGLAS FIR OR DRINKING FOUNTAIN</td><td>S.G.D.</td><td>SLIDING GLASS DOOR</td></tr><tr><td>DIA.</td><td>DIAMETER</td><td>SHT.</td><td>SHEET</td></tr><tr><td>DIAG.</td><td>DIAGONAL</td><td>SIM.</td><td>SIMILAR</td></tr><tr><td>DIM.</td><td>DIMENSION</td><td>SPEC.</td><td>SPECIFICATION</td></tr><tr><td>DIN. RM.</td><td>DINING ROOM</td><td>S.T.C.</td><td>SOUND TRANSMISSION CLASS</td></tr><tr><td>DN.</td><td>DOWN</td><td>STL.</td><td>STEEL</td></tr><tr><td>D.S.</td><td>DOWNSPOUT</td><td>STOR.</td><td>STORAGE</td></tr><tr><td>DTL.</td><td>DETAIL</td><td>STRUCT.</td><td>STRUCTURE OR STRUCTURAL</td></tr><tr><td>DWG.</td><td>DRAWING</td><td>SUBFLR.</td><td>SUB-FLOOR</td></tr><tr><td></td><td></td><td>SQ.</td><td>SQUARE</td></tr><tr><td></td><td></td><td>SQ. FT.</td><td>SQUARE FOOT</td></tr><tr><td colspan="4"> </td></tr><tr><td>(E) or EXIST.</td><td>EXISTING</td><td></td><td></td></tr><tr><td>EA.</td><td>EACH</td><td>TEL.</td><td>TELEPHONE</td></tr><tr><td>EFS.</td><td>EXTERIOR INSULATION FINISH SYSTEM</td><td>T.O.</td><td>TOP OF</td></tr><tr><td>ELEC.</td><td>ELECTRICAL</td><td>TOIL.</td><td>TOILET</td></tr><tr><td>EQ.</td><td>EQUAL</td><td>T.P.H.</td><td>TOILET PAPER HOLDER</td></tr><tr><td>EQPT.</td><td>EQUIPMENT</td><td>TYP.</td><td>TYPICAL</td></tr><tr><td>E.W.</td><td>EACH WAY</td><td></td><td></td></tr><tr><td>EXT.</td><td>EXTERIOR</td><td>U.O.N.</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td colspan="4"> </td></tr><tr><td>F.A.U.</td><td>FORCED AIR UNIT</td><td>VERT.</td><td>VERTICAL</td></tr><tr><td>F.A.R.</td><td>FLOOR AREA RATIO</td><td>V.G.D.F.</td><td>VERTICAL GRAIN DOUGLAS FIR</td></tr><tr><td>FD.</td><td>FLOOR DRAIN</td><td></td><td></td></tr><tr><td>FDN.</td><td>FOUNDATION</td><td>W.</td><td>WITH</td></tr><tr><td>FE.C.</td><td>FIRE EXTINGUISHER CABINET</td><td>W.</td><td>WASHER</td></tr><tr><td>FIN.</td><td>FINISH</td><td>WD.</td><td>WOOD</td></tr><tr><td>FLASHG.</td><td>FLASHING</td><td>WIN.</td><td>WINDOW</td></tr><tr><td>FLR.</td><td>FLOOR</td><td>W.P.</td><td>WATERPROOFING</td></tr><tr><td>F.O.C.</td><td>FACE OF CONCRETE</td><td>W.R. GYP. BD.</td><td>W.R. GYPSUM BOARD</td></tr><tr><td>F.O.M.</td><td>FACE OF MASONRY</td><td>WT.</td><td>WEIGHT</td></tr><tr><td>F.O.S.</td><td>FACE OF STUD</td><td>W.W.F.</td><td>WELDED WIRE FABRIC</td></tr><tr><td>FRM.</td><td>FRAME</td><td></td><td></td></tr><tr><td>FT.</td><td>FEET</td><td>YD.</td><td>YARD</td></tr><tr><td>FTG.</td><td>FOOTING</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>GA.</td><td>GAUGE</td><th colspan="2">AGENCIES</th></tr><tr><td>GAR.</td><td>GARAGE</td><td>ACI.</td><td>AMERICAN CONCRETE INSTITUTE</td></tr><tr><td>G.D.</td><td>GARBAGE DISPOSAL</td><td>AIA.</td><td>THE AMERICAN INSTITUTE OF ARCHITECTS</td></tr><tr><td>G.F.I.</td><td>GROUND FAULT INTERRUPTER</td><td>AISC.</td><td>AMERICAN INSTITUTE OF STEEL CONSTRUCTION</td></tr><tr><td>G.I.</td><td>GALVANIZED IRON</td><td>ATG.</td><td>AMERICAN INSTITUTE OF TIMBER CONSTRUCTION</td></tr><tr><td>GLULAM.</td><td>GLULAM BEAM</td><td>ANSI.</td><td>AMERICAN NATIONAL STANDARDS INSTITUTE</td></tr><tr><td>GYP. BD.</td><td>GYPSUM BOARD</td><td>ASTM.</td><td>AMERICAN SOCIETY FOR TESTING & MATERIALS</td></tr><tr><td></td><td></td><td>CAC.</td><td>CALIFORNIA ADMINISTRATIVE CODE</td></tr><tr><td>H.B.</td><td>HOSE BIB</td><td>CBC.</td><td>CALIFORNIA BUILDING CODE</td></tr><tr><td>H.C.</td><td>HOLLOW CORE</td><td>CEC.</td><td>CALIFORNIA ELECTRICAL CODE</td></tr><tr><td>HDWD.</td><td>HARDWOOD</td><td>CMC.</td><td>CALIFORNIA MECHANICAL CODE</td></tr><tr><td>HORIZ.</td><td>HORIZONTAL</td><td>CPC.</td><td>CALIFORNIA PLUMBING CODE</td></tr><tr><td>HR.</td><td>HOUR</td><td>CSI.</td><td>CONSTRUCTION SPECIFICATION INSTITUTE</td></tr><tr><td>HT.</td><td>HEIGHT</td><td>ICBO.</td><td>INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td></tr><tr><td>HVAC.</td><td>HEATING VENTILATION & AIR CONDITIONING</td><td>NFPA.</td><td>NATIONAL FIRE PROTECTION ASSOCIATION</td></tr><tr><td></td><td></td><td>NRCA.</td><td>NATIONAL ROOFING CONTRACTORS ASSOCIATION</td></tr><tr><td></td><td></td><td>SMACNA.</td><td>SHEET METAL & AIR CONDITIONING CONTRACTORS</td></tr><tr><td>I.I.C.</td><td>IMPACT INSULATION CLASS</td><td></td><td></td></tr><tr><td>IN.</td><td>INCH</td><td></td><td></td></tr><tr><td>INCL.</td><td>INCLUDE</td><td>UBC.</td><td>NATIONAL ASSOCIATION</td></tr><tr><td>INSUL.</td><td>INSULATION</td><td>UFC.</td><td>UNIFORM BUILDING CODE</td></tr><tr><td>INT.</td><td>INTERIOR</td><td>UL.</td><td>UNIFORM FIRE CODE</td></tr><tr><td></td><td></td><td>WIC.</td><td>UNDERWRITERS LABORATORIES, INC.</td></tr><tr><td></td><td></td><td></td><td>WOODWORK INSTITUTE OF CALIFORNIA</td></tr><tr><td colspan="4"> </td></tr><tr><td>JAN.</td><td>JANITOR</td><th colspan="2">ABBREVIATED CODES & STANDARDS</th></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>KIT.</td><td>KITCHEN</td><td>ADA</td><td>AMERICANS WITH DISABILITIES ACT</td></tr><tr><td></td><td></td><td>ADAAG.</td><td>AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES</td></tr><tr><td colspan="4"> </td></tr><tr><td>LAM.</td><td>LAMINATE</td><td></td><td></td></tr><tr><td>LAUND.</td><td>LAUNDRY</td><td></td><td></td></tr><tr><td>LAV.</td><td>LAVATORY</td><td></td><td></td></tr><tr><td>LB. or #</td><td>POUND</td><td></td><td></td></tr><tr><td>LIN.</td><td>LINEN</td><td></td><td></td></tr><tr><td>LIV. RM.</td><td>LIVING ROOM</td><td></td><td></td></tr><tr><td>LT. WT.</td><td>LIGHTWEIGHT</td><td></td><td></td></tr></table>		∟	ANGLE	MAT.	MATERIAL	ε	AND	MAX.	MAXIMUM	@	AT	MECH.	MECHANICAL	C	CENTER LINE	MEMB.	MEMBRANE	O	DIAMETER OR ROUND	MFR.	MANUFACTURER	d	PENNY	MIN.	MINIMUM	# or NO.	NUMBER SQUARE FOOT	MSTR. BDRM.	MASTER BEDROOM	A.B.	ANCHOR BOLT			ABV	ABOVE	(N)	NEW	A.C. PAVING	ASPHALT CONCRETE PAVING	N.I.C.	NOT IN CONTRACT	A/C	AIR CONDITIONING	N.T.S.	NOT TO SCALE	A.D.	AREA DRAIN			ADH.	ADHESIVE	O/	OVER	ADJ.	ADJACENT	O.C.	ON CENTER (S)	APF	ABOVE FINISH FLOOR	O.H.	OPPOSITE HAND	ALT.	ALTERNATE	OPNG.	OPENING	ALUM.	ALUMINUM	OPP.	OPPOSITE	ANG.	ANGLE							BA.	BATHROOM	PAN.	PANTRY	BD.	BOARD	PDR.	POWDER ROOM	BDRM.	BEDROOM	PL.	PLATE	BLDG.	BUILDING	P. LAM.	PLASTIC LAMINATE	BLKG.	BLOCKING	PLAST.	PLASTER	BM.	BEAM	PLYWD.	PLYWOOD	BOT.	BOTTOM	PREFAB.	PREFABRICATED			PT.	PRESSURE-TREATED			PT.D.F.	PRESSURE TREATED DOUGLAS FIR			PT. SLAB	POST TENSION SLAB					CAB.	CABINET			CEM.	CEMENT			CLG.	CEILING	RAG.	RETURN AIR GRILLE	CLO.	CLOSET	RFG.	REFRIGERATOR	CLR.	CLEAR	REG.	REGISTER	COL.	COLUMN	REQD.	REQUIRED	CONC.	CONCRETE	RM.	ROOM	CONST.	CONSTRUCTION	RWD.	REDWOOD	CONT.	CONTINUOUS	REF.	REFER	CTR.	CENTER							D.	DRYER	S.C.	SOLID CORE	DBL.	DOUBLE	SCH.	SCHEDULE	D.F.	DOUGLAS FIR OR DRINKING FOUNTAIN	S.G.D.	SLIDING GLASS DOOR	DIA.	DIAMETER	SHT.	SHEET	DIAG.	DIAGONAL	SIM.	SIMILAR	DIM.	DIMENSION	SPEC.	SPECIFICATION	DIN. RM.	DINING ROOM	S.T.C.	SOUND TRANSMISSION CLASS	DN.	DOWN	STL.	STEEL	D.S.	DOWNSPOUT	STOR.	STORAGE	DTL.	DETAIL	STRUCT.	STRUCTURE OR STRUCTURAL	DWG.	DRAWING	SUBFLR.	SUB-FLOOR			SQ.	SQUARE			SQ. FT.	SQUARE FOOT					(E) or EXIST.	EXISTING			EA.	EACH	TEL.	TELEPHONE	EFS.	EXTERIOR INSULATION FINISH SYSTEM	T.O.	TOP OF	ELEC.	ELECTRICAL	TOIL.	TOILET	EQ.	EQUAL	T.P.H.	TOILET PAPER HOLDER	EQPT.	EQUIPMENT	TYP.	TYPICAL	E.W.	EACH WAY			EXT.	EXTERIOR	U.O.N.	UNLESS OTHERWISE NOTED					F.A.U.	FORCED AIR UNIT	VERT.	VERTICAL	F.A.R.	FLOOR AREA RATIO	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR	FD.	FLOOR DRAIN			FDN.	FOUNDATION	W.	WITH	FE.C.	FIRE EXTINGUISHER CABINET	W.	WASHER	FIN.	FINISH	WD.	WOOD	FLASHG.	FLASHING	WIN.	WINDOW	FLR.	FLOOR	W.P.	WATERPROOFING	F.O.C.	FACE OF CONCRETE	W.R. GYP. BD.	W.R. GYPSUM BOARD	F.O.M.	FACE OF MASONRY	WT.	WEIGHT	F.O.S.	FACE OF STUD	W.W.F.	WELDED WIRE FABRIC	FRM.	FRAME			FT.	FEET	YD.	YARD	FTG.	FOOTING							GA.	GAUGE	AGENCIES		GAR.	GARAGE	ACI.	AMERICAN CONCRETE INSTITUTE	G.D.	GARBAGE DISPOSAL	AIA.	THE AMERICAN INSTITUTE OF ARCHITECTS	G.F.I.	GROUND FAULT INTERRUPTER	AISC.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	G.I.	GALVANIZED IRON	ATG.	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	GLULAM.	GLULAM BEAM	ANSI.	AMERICAN NATIONAL STANDARDS INSTITUTE	GYP. BD.	GYPSUM BOARD	ASTM.	AMERICAN SOCIETY FOR TESTING & MATERIALS			CAC.	CALIFORNIA ADMINISTRATIVE CODE	H.B.	HOSE BIB	CBC.	CALIFORNIA BUILDING CODE	H.C.	HOLLOW CORE	CEC.	CALIFORNIA ELECTRICAL CODE	HDWD.	HARDWOOD	CMC.	CALIFORNIA MECHANICAL CODE	HORIZ.	HORIZONTAL	CPC.	CALIFORNIA PLUMBING CODE	HR.	HOUR	CSI.	CONSTRUCTION SPECIFICATION INSTITUTE	HT.	HEIGHT	ICBO.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	HVAC.	HEATING VENTILATION & AIR CONDITIONING	NFPA.	NATIONAL FIRE PROTECTION ASSOCIATION			NRCA.	NATIONAL ROOFING CONTRACTORS ASSOCIATION			SMACNA.	SHEET METAL & AIR CONDITIONING CONTRACTORS	I.I.C.	IMPACT INSULATION CLASS			IN.	INCH			INCL.	INCLUDE	UBC.	NATIONAL ASSOCIATION	INSUL.	INSULATION	UFC.	UNIFORM BUILDING CODE	INT.	INTERIOR	UL.	UNIFORM FIRE CODE			WIC.	UNDERWRITERS LABORATORIES, INC.				WOODWORK INSTITUTE OF CALIFORNIA					JAN.	JANITOR	ABBREVIATED CODES & STANDARDS						KIT.	KITCHEN	ADA	AMERICANS WITH DISABILITIES ACT			ADAAG.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES					LAM.	LAMINATE			LAUND.	LAUNDRY			LAV.	LAVATORY			LB. or #	POUND			LIN.	LINEN			LIV. RM.	LIVING ROOM			LT. WT.	LIGHTWEIGHT		
∟	ANGLE	MAT.	MATERIAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ε	AND	MAX.	MAXIMUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
@	AT	MECH.	MECHANICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
C	CENTER LINE	MEMB.	MEMBRANE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
O	DIAMETER OR ROUND	MFR.	MANUFACTURER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
d	PENNY	MIN.	MINIMUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
# or NO.	NUMBER SQUARE FOOT	MSTR. BDRM.	MASTER BEDROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
A.B.	ANCHOR BOLT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
ABV	ABOVE	(N)	NEW																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
A.C. PAVING	ASPHALT CONCRETE PAVING	N.I.C.	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
A/C	AIR CONDITIONING	N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
A.D.	AREA DRAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
ADH.	ADHESIVE	O/	OVER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ADJ.	ADJACENT	O.C.	ON CENTER (S)																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
APF	ABOVE FINISH FLOOR	O.H.	OPPOSITE HAND																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ALT.	ALTERNATE	OPNG.	OPENING																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ALUM.	ALUMINUM	OPP.	OPPOSITE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ANG.	ANGLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
BA.	BATHROOM	PAN.	PANTRY																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BD.	BOARD	PDR.	POWDER ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BDRM.	BEDROOM	PL.	PLATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BLDG.	BUILDING	P. LAM.	PLASTIC LAMINATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BLKG.	BLOCKING	PLAST.	PLASTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BM.	BEAM	PLYWD.	PLYWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
BOT.	BOTTOM	PREFAB.	PREFABRICATED																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		PT.	PRESSURE-TREATED																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		PT.D.F.	PRESSURE TREATED DOUGLAS FIR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		PT. SLAB	POST TENSION SLAB																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CAB.	CABINET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
CEM.	CEMENT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
CLG.	CEILING	RAG.	RETURN AIR GRILLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CLO.	CLOSET	RFG.	REFRIGERATOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CLR.	CLEAR	REG.	REGISTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
COL.	COLUMN	REQD.	REQUIRED																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CONC.	CONCRETE	RM.	ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CONST.	CONSTRUCTION	RWD.	REDWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CONT.	CONTINUOUS	REF.	REFER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
CTR.	CENTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
D.	DRYER	S.C.	SOLID CORE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DBL.	DOUBLE	SCH.	SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
D.F.	DOUGLAS FIR OR DRINKING FOUNTAIN	S.G.D.	SLIDING GLASS DOOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DIA.	DIAMETER	SHT.	SHEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DIAG.	DIAGONAL	SIM.	SIMILAR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DIM.	DIMENSION	SPEC.	SPECIFICATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DIN. RM.	DINING ROOM	S.T.C.	SOUND TRANSMISSION CLASS																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DN.	DOWN	STL.	STEEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
D.S.	DOWNSPOUT	STOR.	STORAGE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DTL.	DETAIL	STRUCT.	STRUCTURE OR STRUCTURAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
DWG.	DRAWING	SUBFLR.	SUB-FLOOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		SQ.	SQUARE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		SQ. FT.	SQUARE FOOT																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
(E) or EXIST.	EXISTING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EA.	EACH	TEL.	TELEPHONE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
EFS.	EXTERIOR INSULATION FINISH SYSTEM	T.O.	TOP OF																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
ELEC.	ELECTRICAL	TOIL.	TOILET																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
EQ.	EQUAL	T.P.H.	TOILET PAPER HOLDER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
EQPT.	EQUIPMENT	TYP.	TYPICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
E.W.	EACH WAY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXT.	EXTERIOR	U.O.N.	UNLESS OTHERWISE NOTED																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
F.A.U.	FORCED AIR UNIT	VERT.	VERTICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
F.A.R.	FLOOR AREA RATIO	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FD.	FLOOR DRAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FDN.	FOUNDATION	W.	WITH																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FE.C.	FIRE EXTINGUISHER CABINET	W.	WASHER																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FIN.	FINISH	WD.	WOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FLASHG.	FLASHING	WIN.	WINDOW																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FLR.	FLOOR	W.P.	WATERPROOFING																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
F.O.C.	FACE OF CONCRETE	W.R. GYP. BD.	W.R. GYPSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
F.O.M.	FACE OF MASONRY	WT.	WEIGHT																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
F.O.S.	FACE OF STUD	W.W.F.	WELDED WIRE FABRIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FRM.	FRAME																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FT.	FEET	YD.	YARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
FTG.	FOOTING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
GA.	GAUGE	AGENCIES																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
GAR.	GARAGE	ACI.	AMERICAN CONCRETE INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
G.D.	GARBAGE DISPOSAL	AIA.	THE AMERICAN INSTITUTE OF ARCHITECTS																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
G.F.I.	GROUND FAULT INTERRUPTER	AISC.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
G.I.	GALVANIZED IRON	ATG.	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
GLULAM.	GLULAM BEAM	ANSI.	AMERICAN NATIONAL STANDARDS INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
GYP. BD.	GYPSUM BOARD	ASTM.	AMERICAN SOCIETY FOR TESTING & MATERIALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		CAC.	CALIFORNIA ADMINISTRATIVE CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
H.B.	HOSE BIB	CBC.	CALIFORNIA BUILDING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
H.C.	HOLLOW CORE	CEC.	CALIFORNIA ELECTRICAL CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
HDWD.	HARDWOOD	CMC.	CALIFORNIA MECHANICAL CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
HORIZ.	HORIZONTAL	CPC.	CALIFORNIA PLUMBING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
HR.	HOUR	CSI.	CONSTRUCTION SPECIFICATION INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
HT.	HEIGHT	ICBO.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
HVAC.	HEATING VENTILATION & AIR CONDITIONING	NFPA.	NATIONAL FIRE PROTECTION ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		NRCA.	NATIONAL ROOFING CONTRACTORS ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		SMACNA.	SHEET METAL & AIR CONDITIONING CONTRACTORS																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
I.I.C.	IMPACT INSULATION CLASS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
IN.	INCH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
INCL.	INCLUDE	UBC.	NATIONAL ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
INSUL.	INSULATION	UFC.	UNIFORM BUILDING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
INT.	INTERIOR	UL.	UNIFORM FIRE CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		WIC.	UNDERWRITERS LABORATORIES, INC.																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
			WOODWORK INSTITUTE OF CALIFORNIA																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
JAN.	JANITOR	ABBREVIATED CODES & STANDARDS																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
KIT.	KITCHEN	ADA	AMERICANS WITH DISABILITIES ACT																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		ADAAG.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
LAM.	LAMINATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LAUND.	LAUNDRY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LAV.	LAVATORY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LB. or #	POUND																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LIN.	LINEN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LIV. RM.	LIVING ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
LT. WT.	LIGHTWEIGHT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																

ARCHITECTURE



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com

LICENCED ARCHITECT
EDMUND J. STAMBER
C-32316
Ren. 12-31-15
STATE OF CALIFORNIA

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

GENERAL NOTES

JOB:

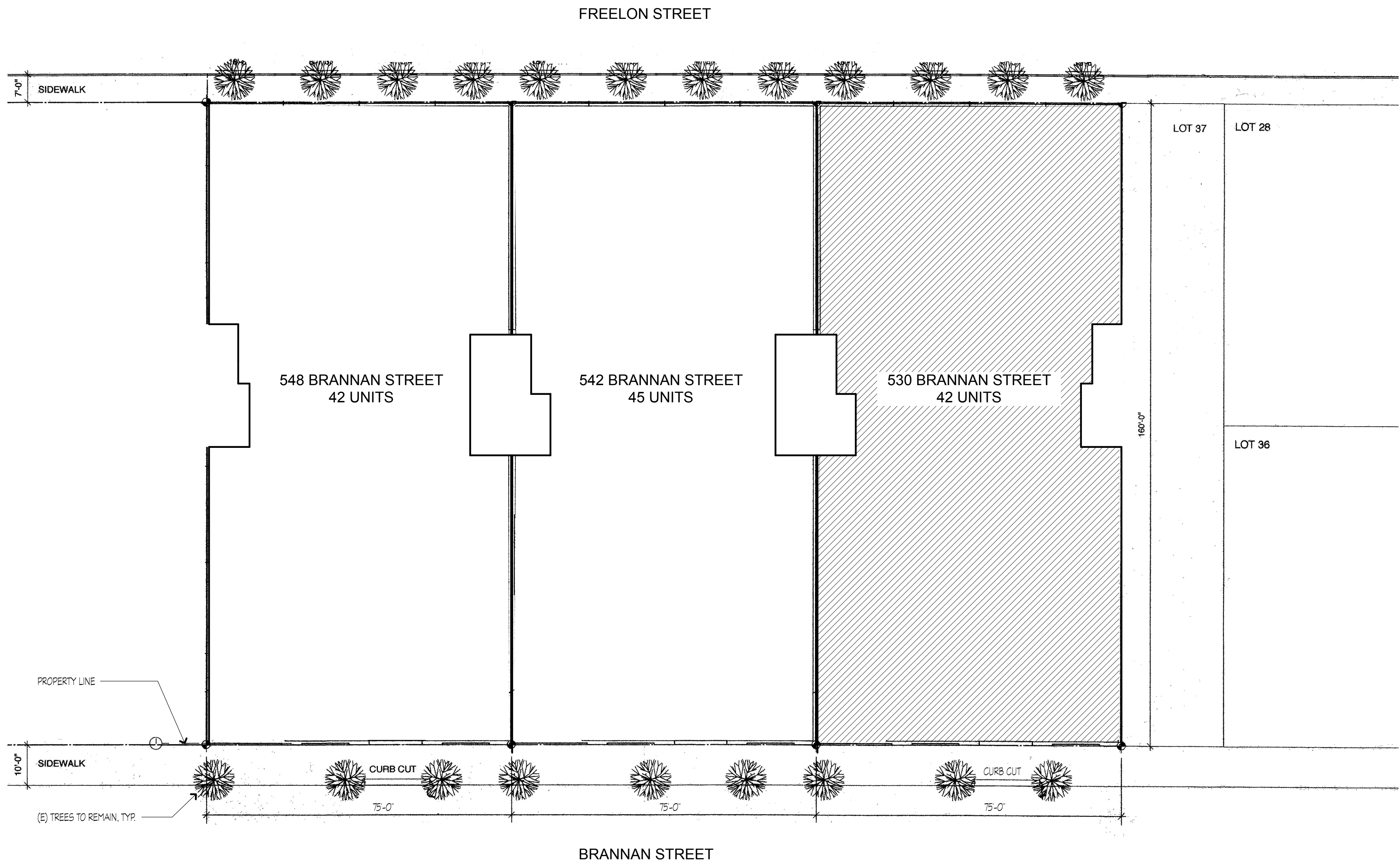
1303

DRAWN

PI

SHEET NO.

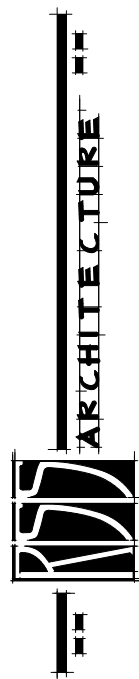
A0.1



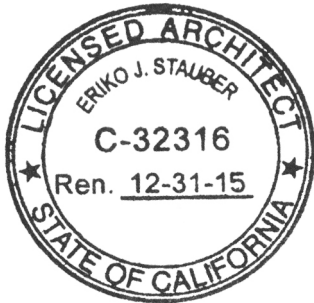
1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN NOTES

1. THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL IMAGE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDING OR SITE COMPONENTS.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

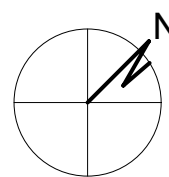
BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

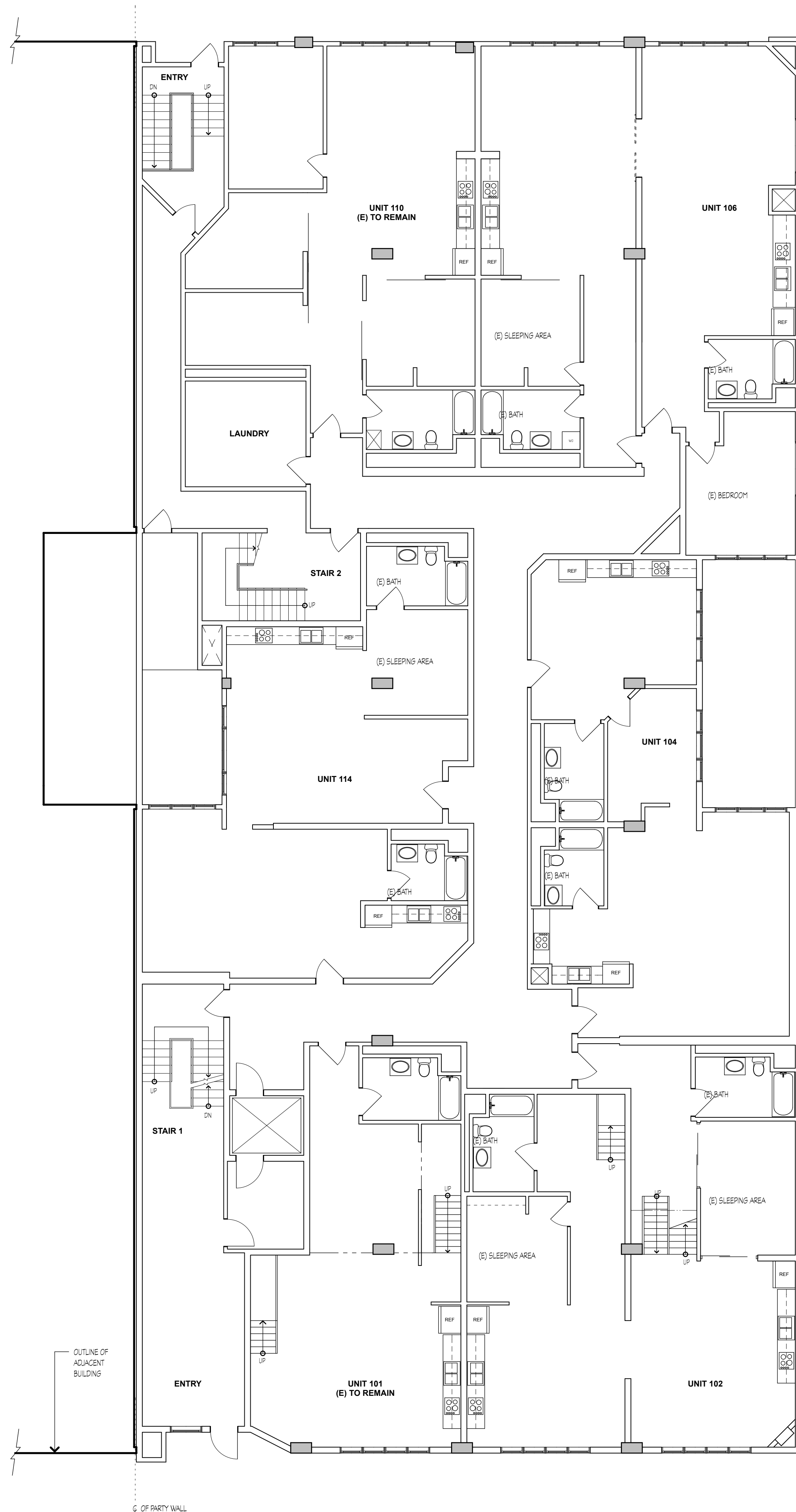
REVISIONS

SITE PLAN

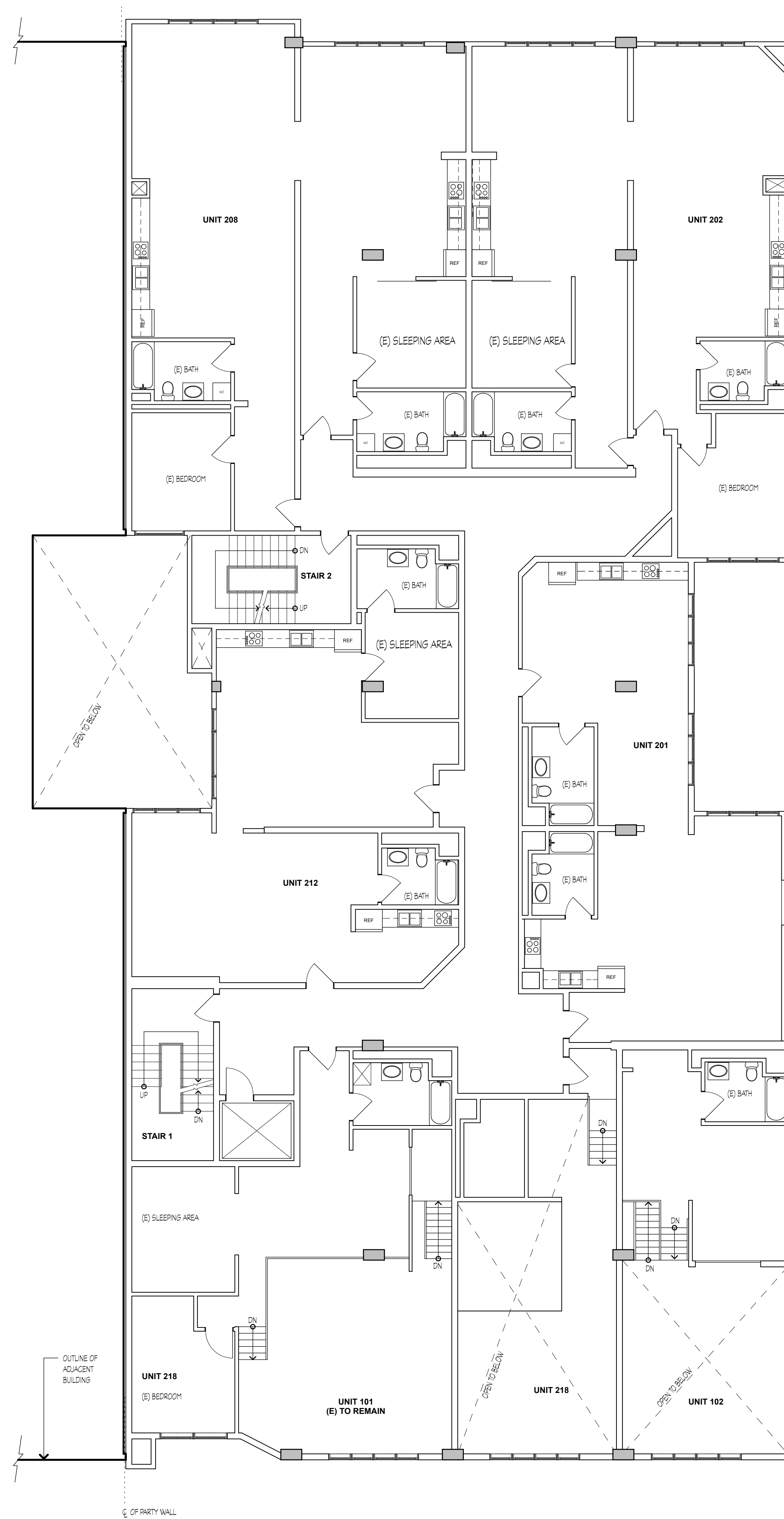
JOB: 1303	DRAWN PI
NORTH:	SHEET NO.



A1.0

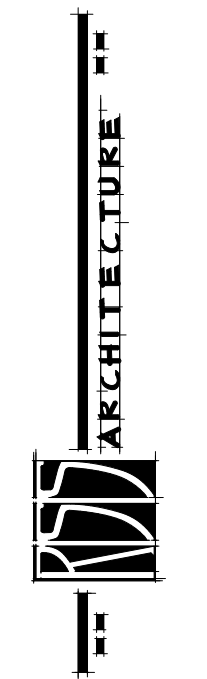


1 EXISTING FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

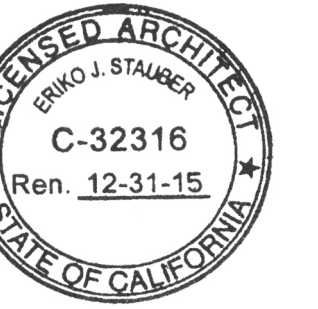


2 EXISTING SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

- BUILDING PLAN NOTES**
- EXISTING UNITS TO BE RENOVATED
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW WALL TO MATCH EXISTING (NON-LOAD BEARING WALL, TYP.)
 - NEW PARTITION WALL TYP.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

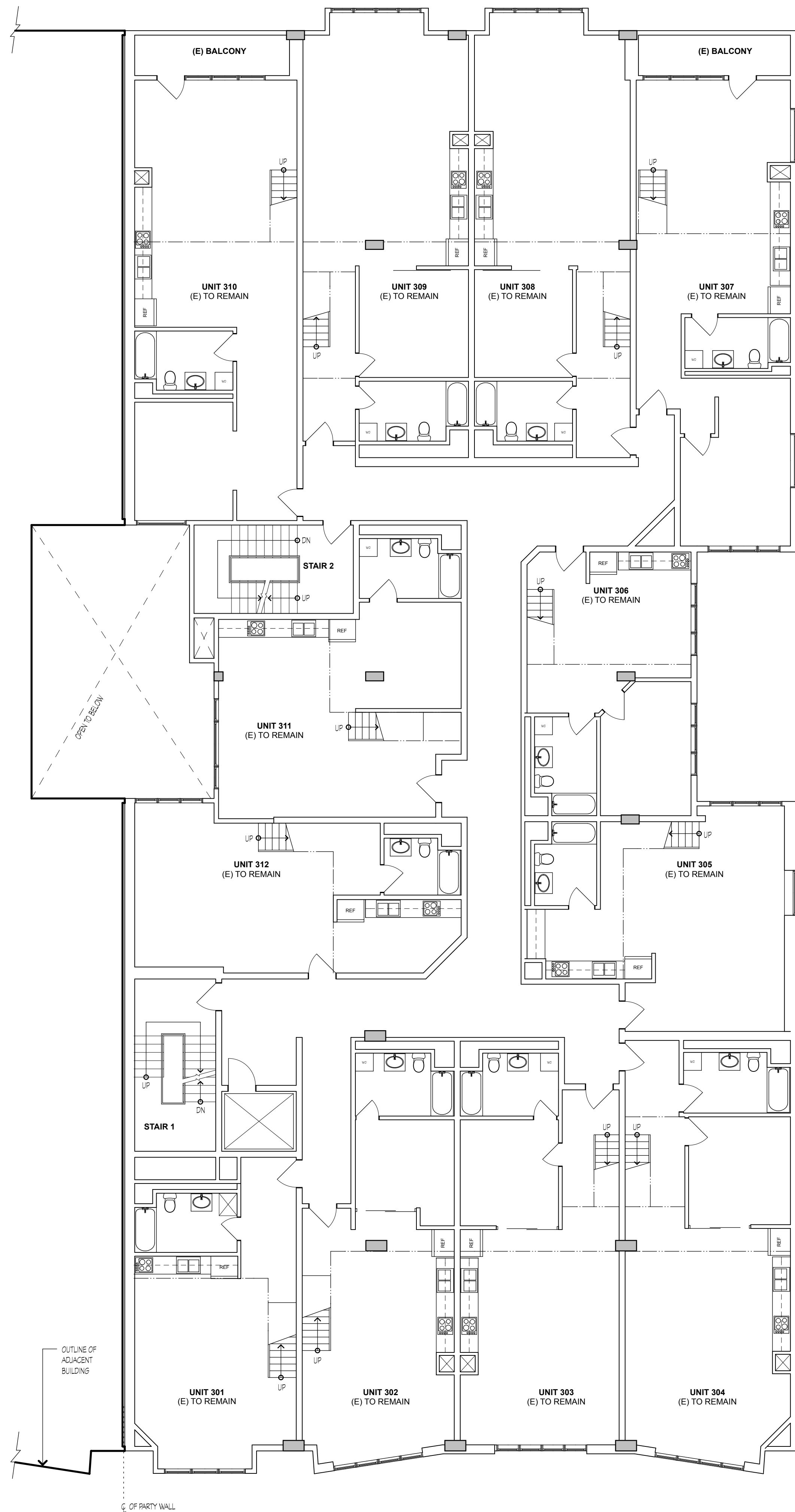
EXISTING BUILDING PLAN

JOB:
1303

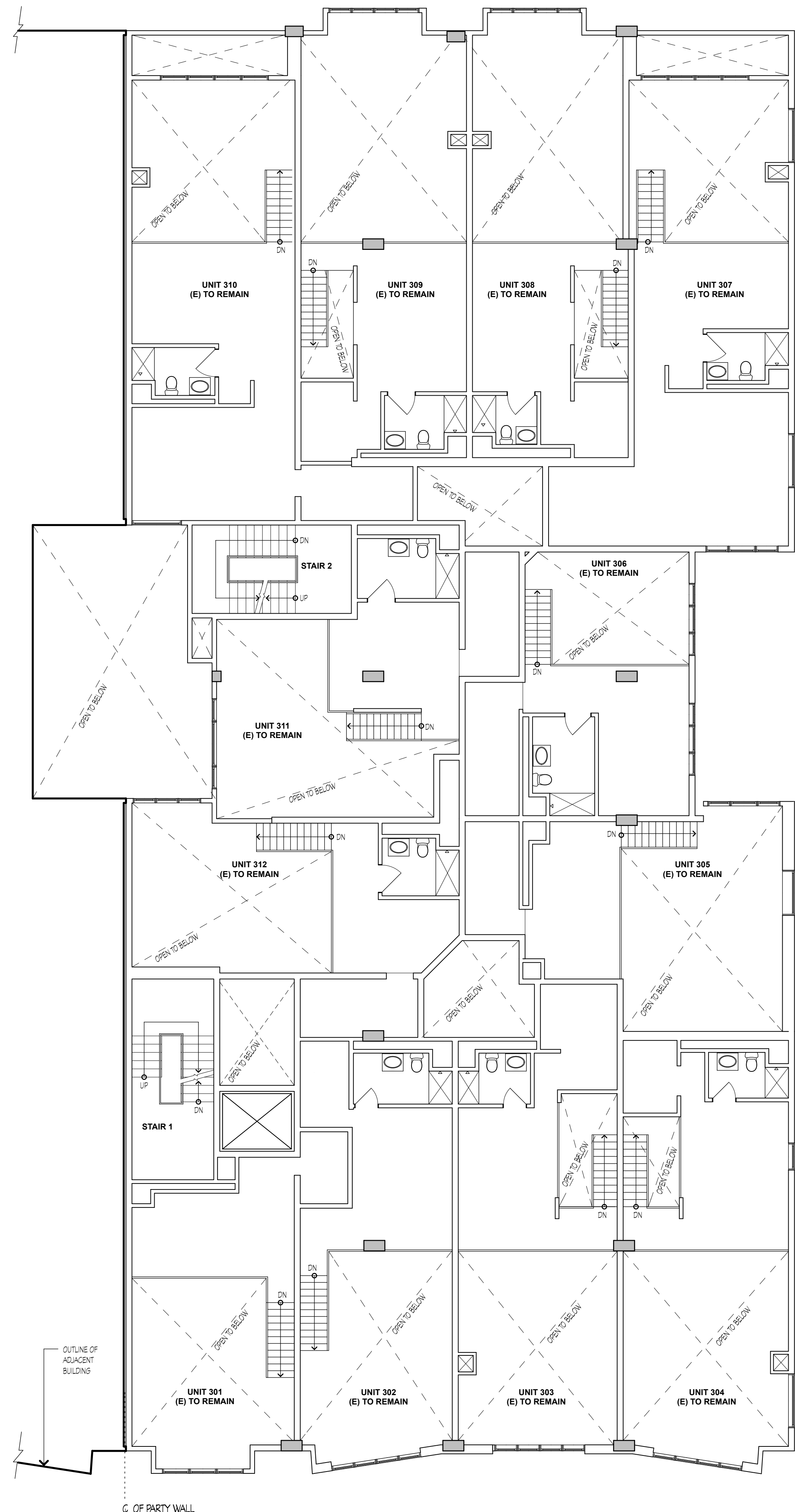
DRAWN
PI

SHEET NO.

A2.0



3 EXISTING THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



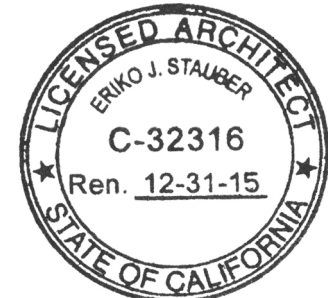
4 EXISTING THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.issarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

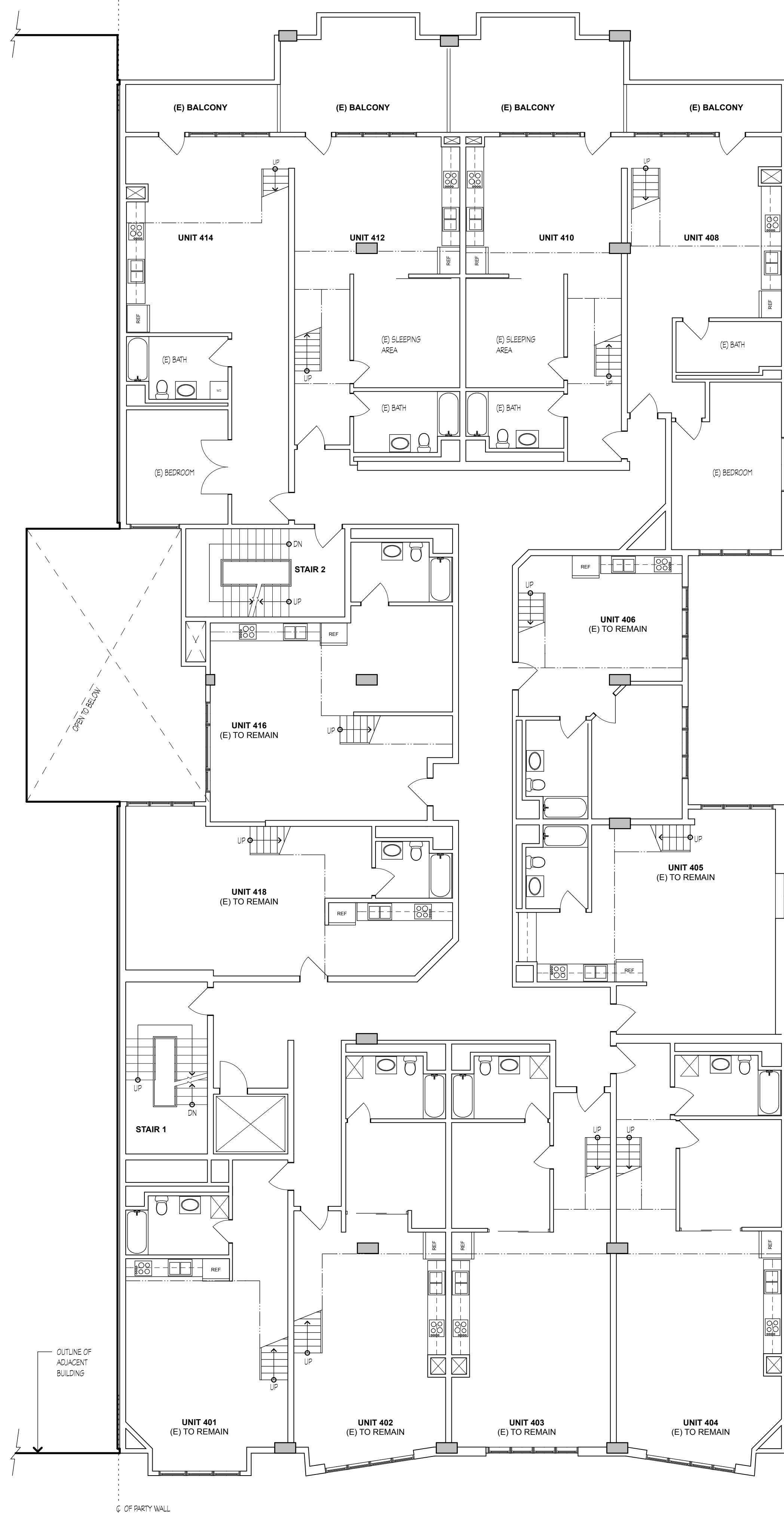
EXISTING BUILDING PLAN

JOB:
1303

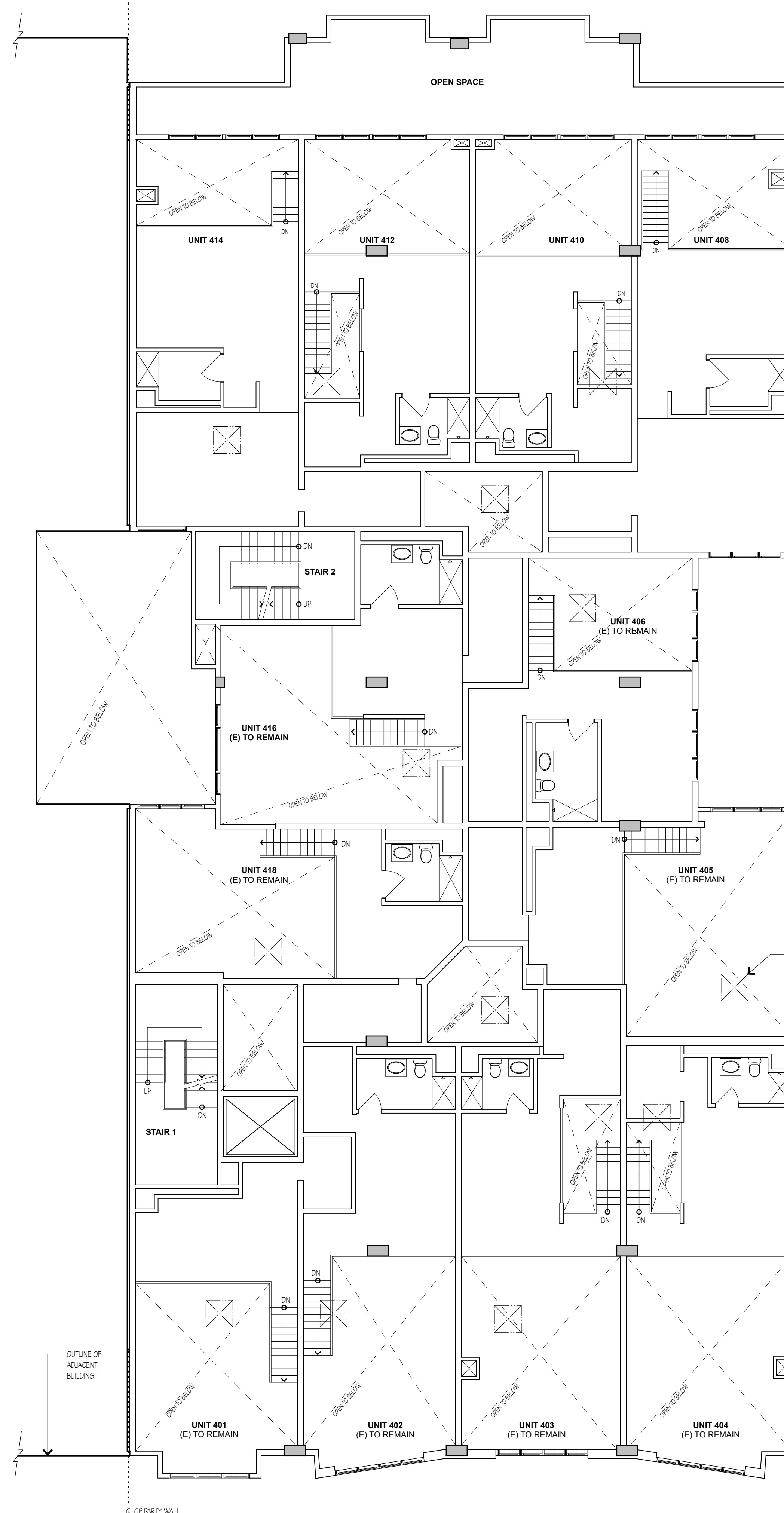
DRAWN
PI

SHEET NO.

A2.1



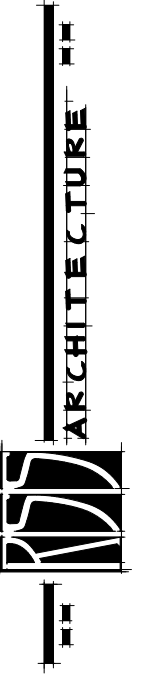
5 EXISTING FOURTH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



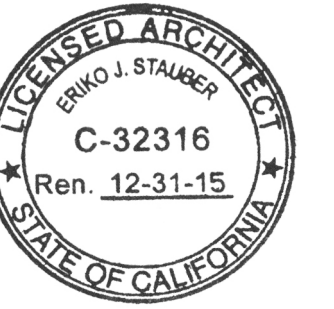
6 EXISTING FOURTH FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

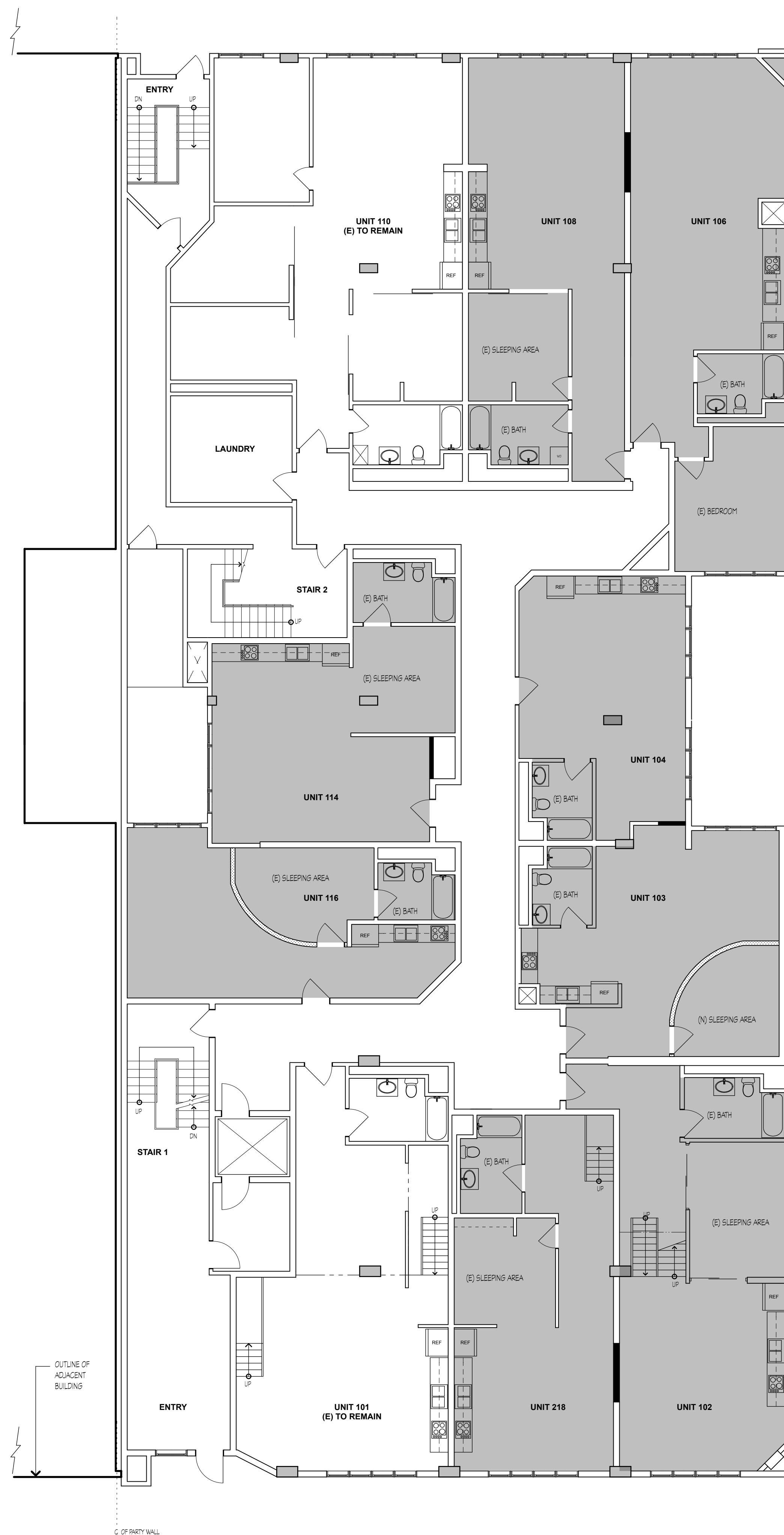
EXISTING BUILDING PLAN

JOB:
1303

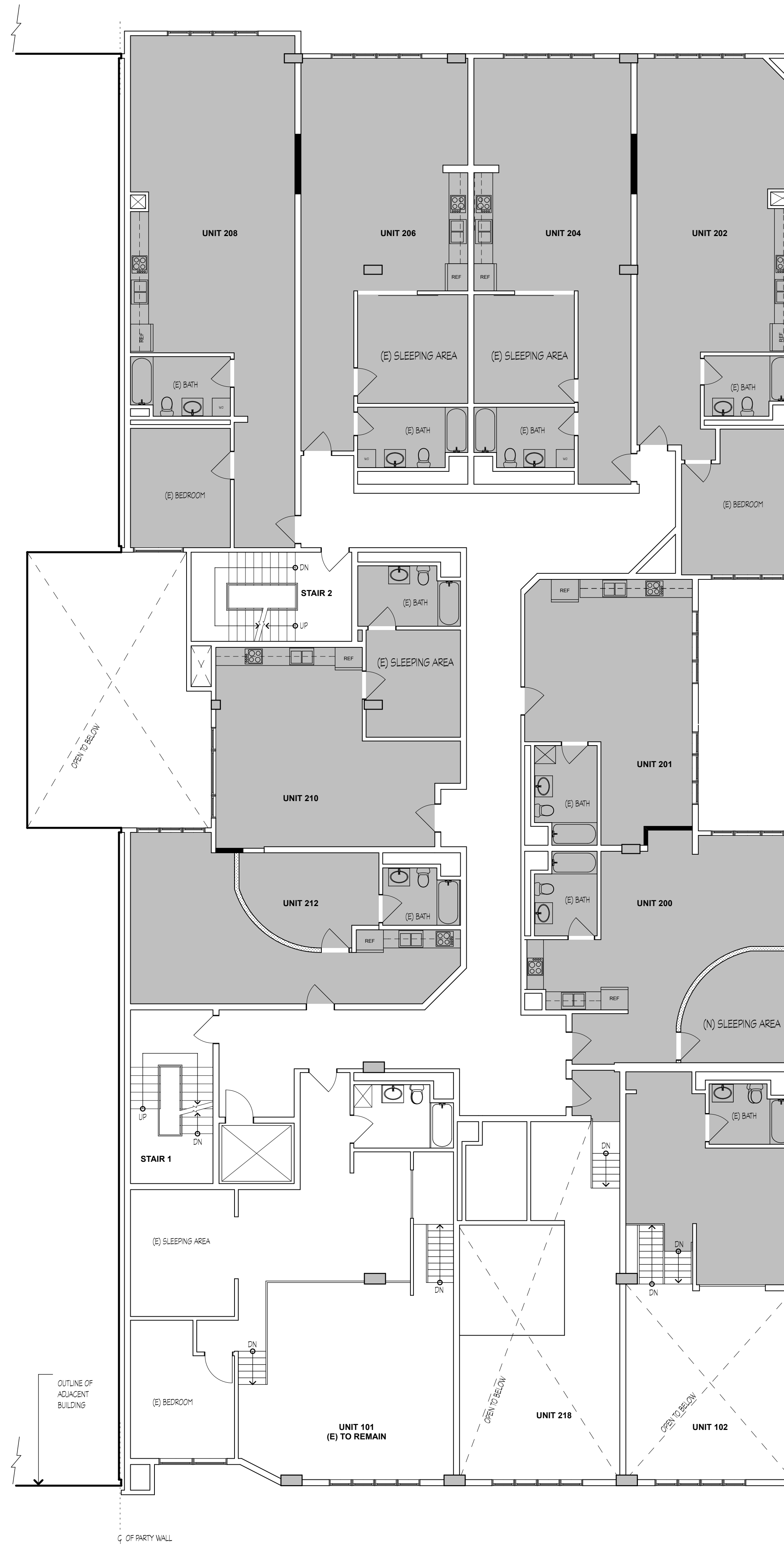
DRAWN
PI

SHEET NO.

A2.2



1 PROPOSED FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.

UNIT DATA

42 UNITS

UNIT #	NOTES	EXISTING SQ FT	PROPOSED SQ FT	UNIT TYPE
101	LIVE/WORK	-	-	1 BDRM
102	DWELLING	1,200	1,200	1 BDRM
103	DWELLING	-	650	STUDIO
104	LIVE/WORK	1,161	511	STUDIO
106	DWELLING	1,667	898	1 BDRM
108	LIVE/WORK	-	769	1 BDRM
110	LIVE/WORK	-	-	2 BDRM
114	DWELLING	1,258	658	STUDIO
116	LIVE/WORK	-	600	STUDIO
200	DWELLING	-	650	1 BDRM
201	LIVE/WORK	1,163	513	1 BDRM
202	DWELLING	1,667	878	1 BDRM
204	LIVE/WORK	-	769	1 BDRM
206	DWELLING	-	815	1 BDRM
208	LIVE/WORK	1,815	1,000	1 BDRM
210	DWELLING	-	660	STUDIO
212	LIVE/WORK	1,260	600	STUDIO
218	LIVE/WORK	773	773	1 BDRM
301	LIVE/WORK	-	-	STUDIO
302	LIVE/WORK	-	-	1 BDRM
303	LIVE/WORK	-	-	1 BDRM
304	LIVE/WORK	-	-	1 BDRM
305	LIVE/WORK	-	-	STUDIO
306	LIVE/WORK	-	-	1 BDRM
307	LIVE/WORK	-	-	1 BDRM
308	LIVE/WORK	-	-	1 BDRM
309	LIVE/WORK	-	-	1 BDRM
310	LIVE/WORK	-	-	1 BDRM
311	LIVE/WORK	-	-	1 BDRM
312	LIVE/WORK	-	-	STUDIO
401	LIVE/WORK	-	-	STUDIO
402	LIVE/WORK	-	-	1 BDRM
403	LIVE/WORK	-	-	1 BDRM
404	LIVE/WORK	-	-	1 BDRM
405	LIVE/WORK	-	-	STUDIO
406	LIVE/WORK	-	-	1 BDRM
408	DWELLING	2,348	1,366	2 BDRM
410	LIVE/WORK	-	982	1 BDRM
412	DWELLING	2,517	1,062	2 BDRM
414	LIVE/WORK	-	1,455	1 BDRM
416	LIVE/WORK	-	-	1 BDRM
418	LIVE/WORK	-	-	1 BDRM

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

PROPOSED BUILDING PLAN

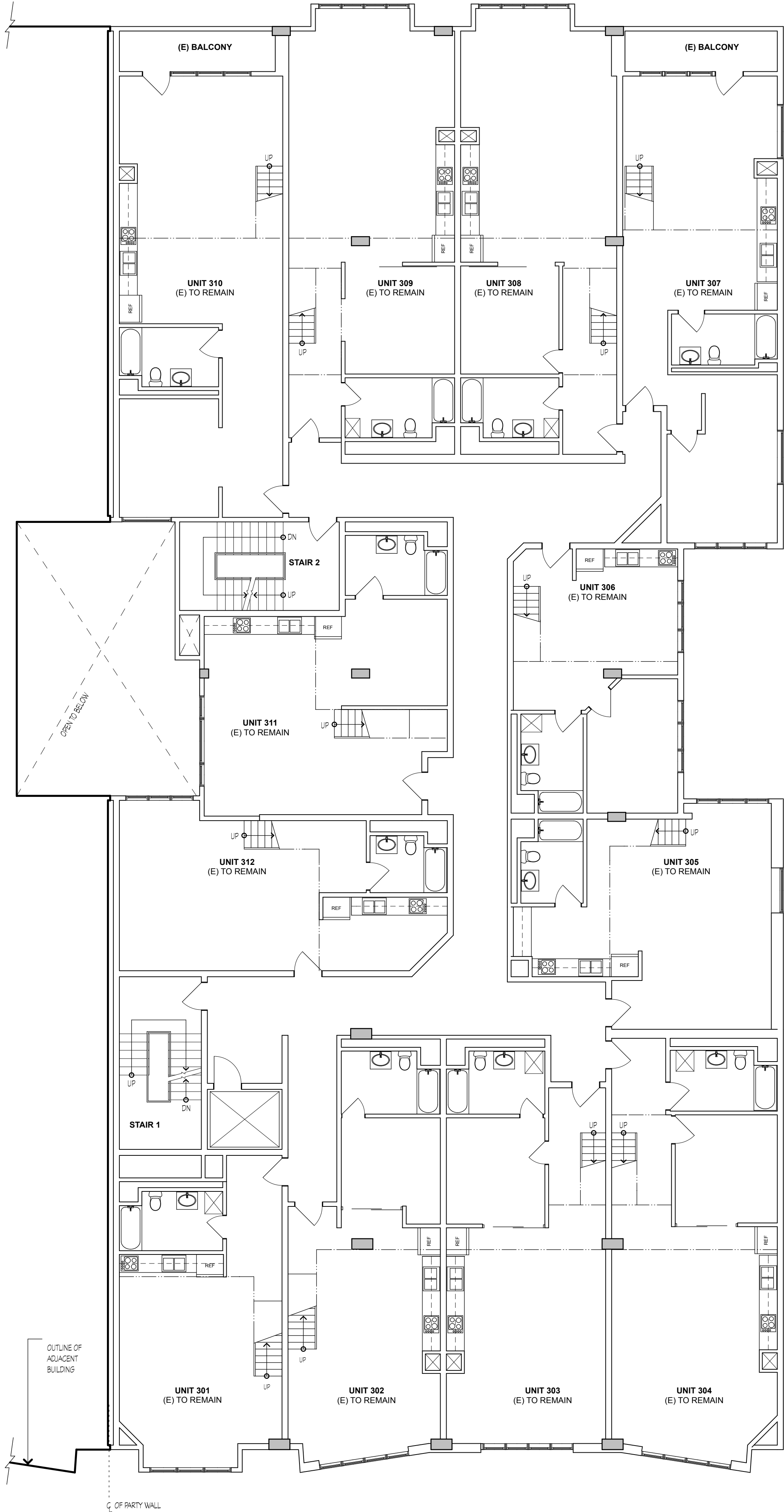
JOB:
1303

DRAWN
PI

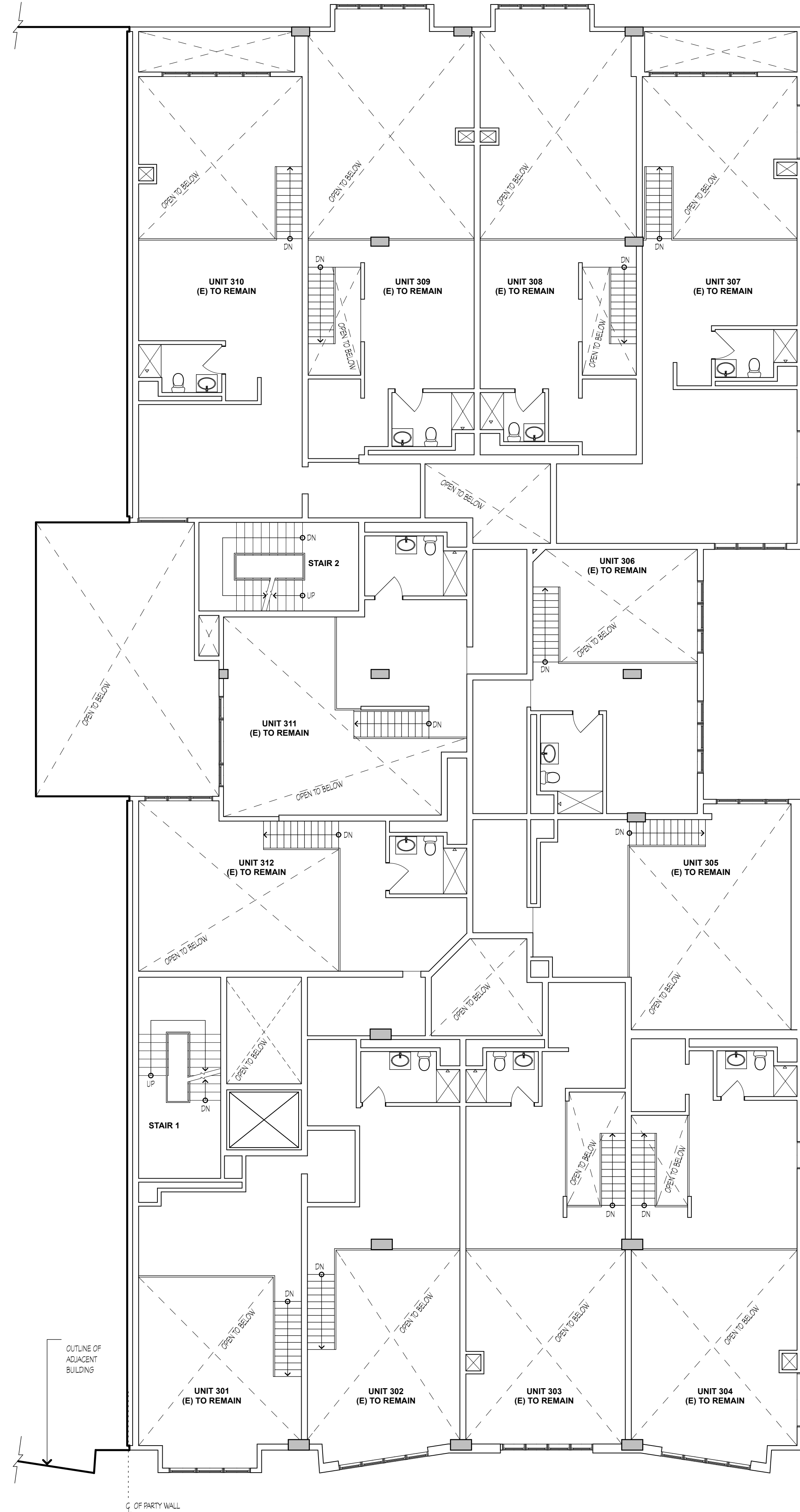
SHEET NO.

A2.3

PERMIT SET 08/21/14



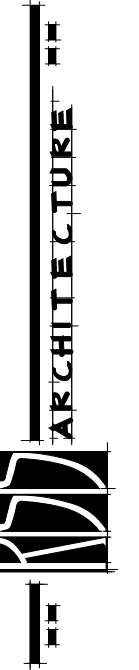
3 PROPOSED THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



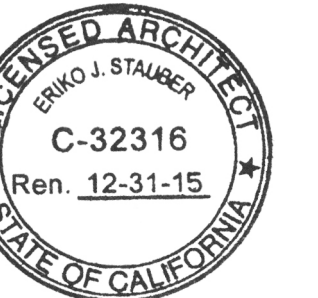
4 PROPOSED THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.issaarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

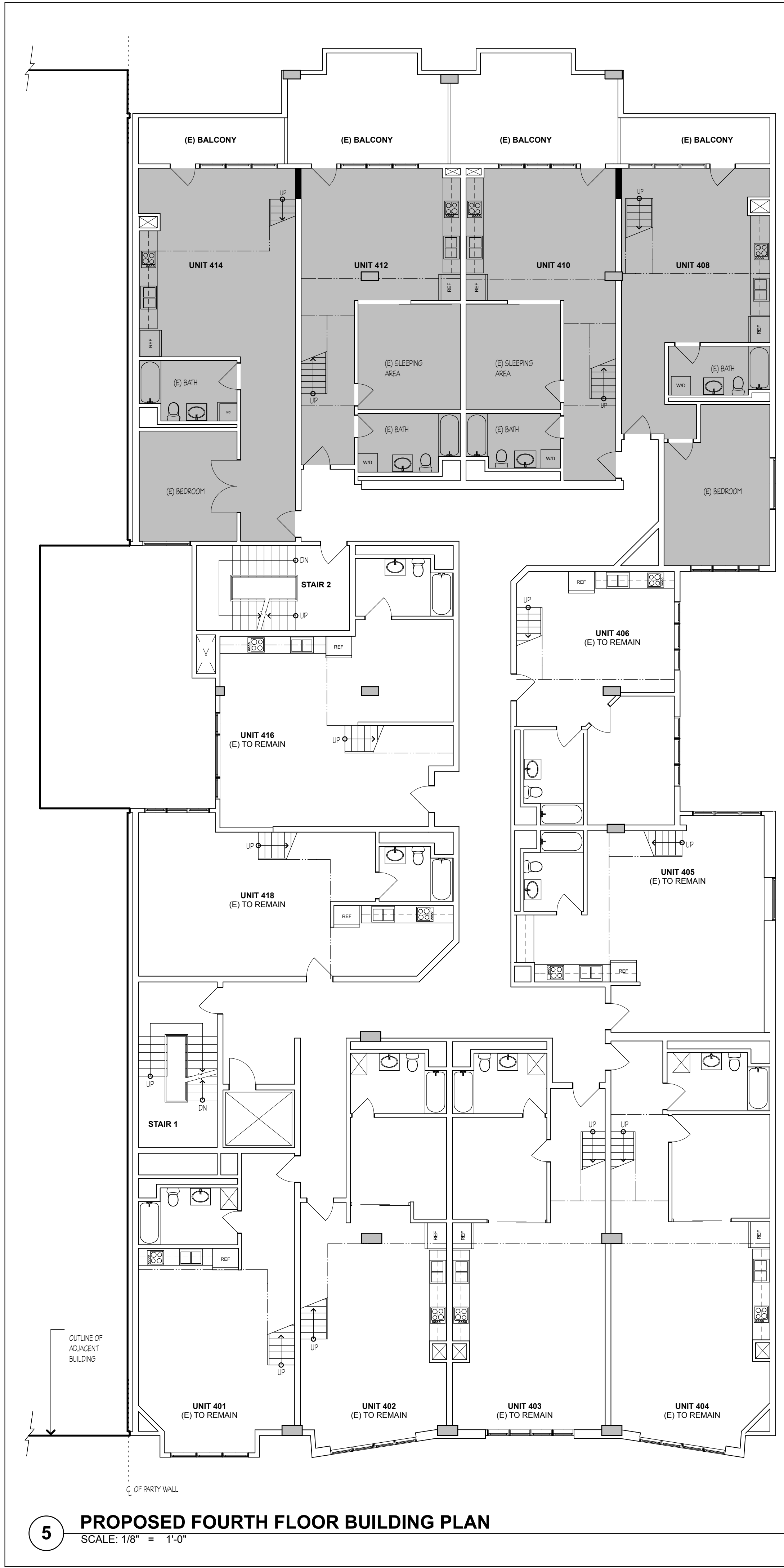
530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

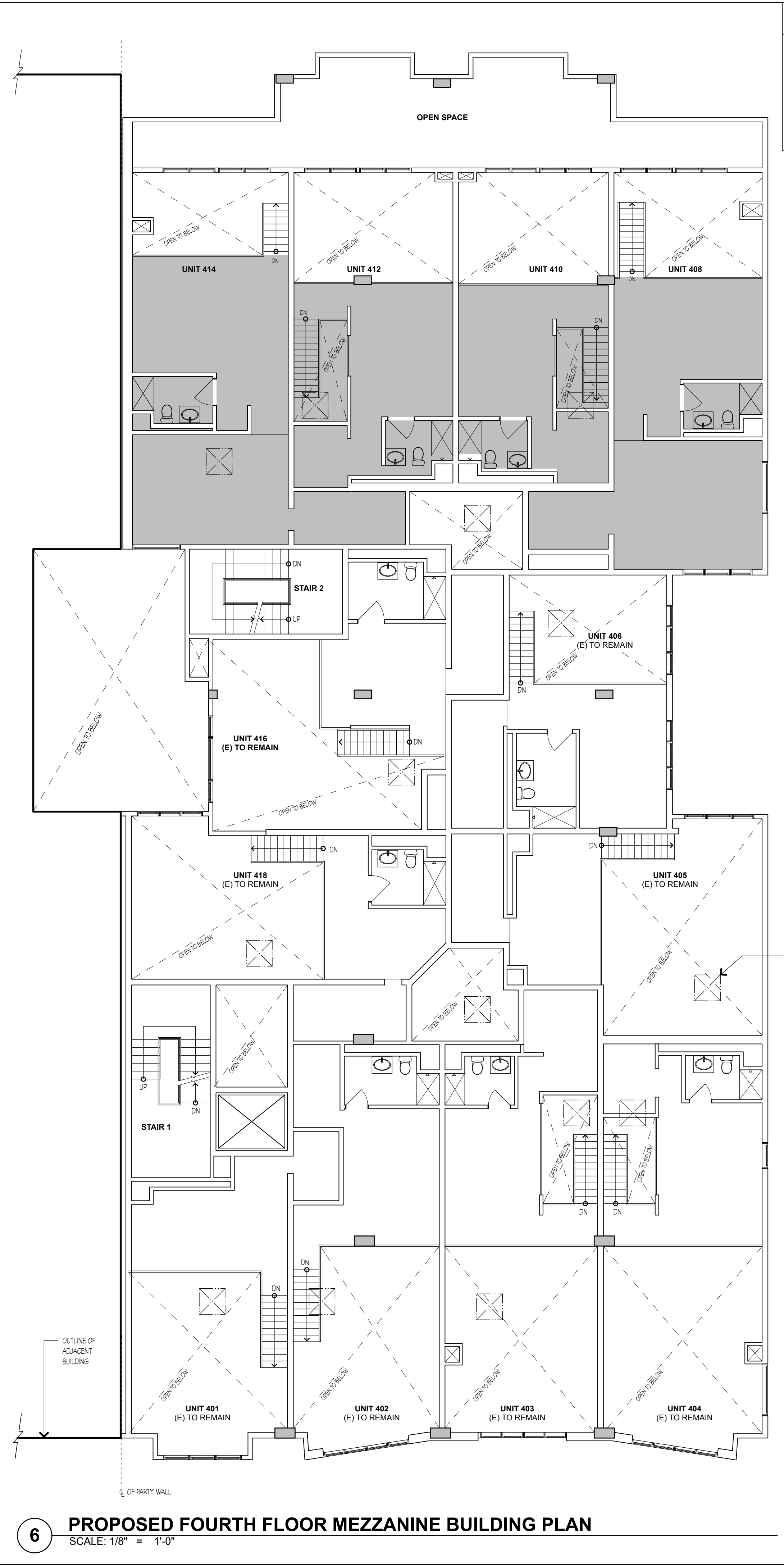
PROPOSED BUILDING PLAN

JOB: 1303
DRAWN: PI
SHEET NO.

A2.4



5 PROPOSED FOURTH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



6 PROPOSED FOURTH FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS
530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

PROPOSED BUILDING PLAN

JOB:	DRAWN
1303	PI
SHEET NO.	
A2.5	



STREET VIEW OF BENNETT LOFTS



STREET VIEW OF BENNETT LOFTS



LIGHTWELL



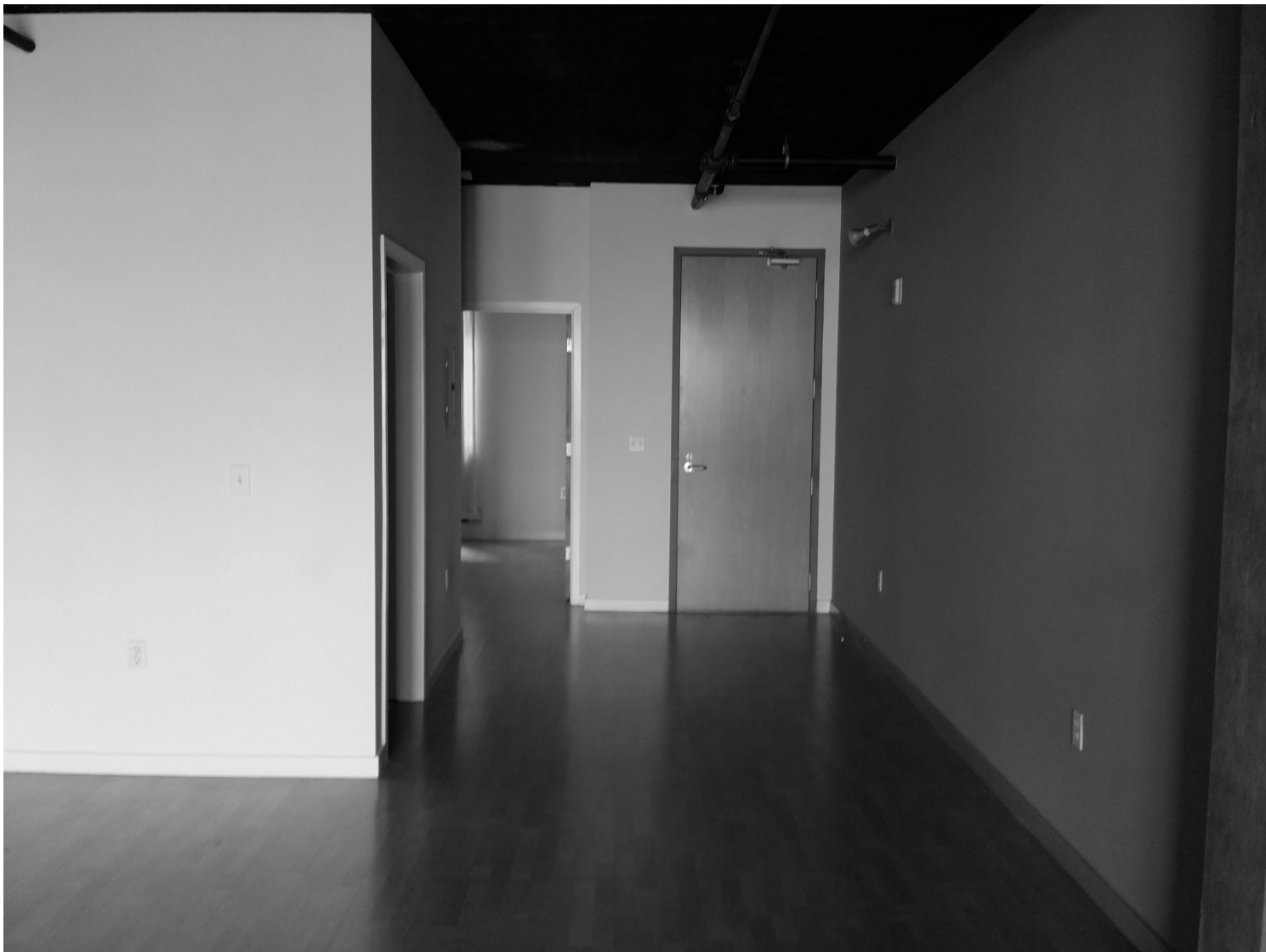
TYPICAL UNIT ENTRY HALL



TYPICAL PARTITION WALL
BETWEEN UNITS



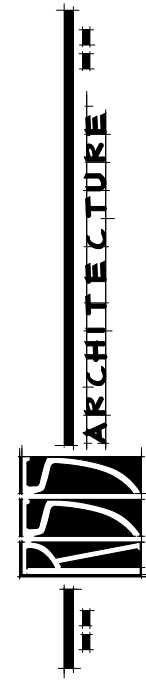
TYPICAL KITCHEN AREA



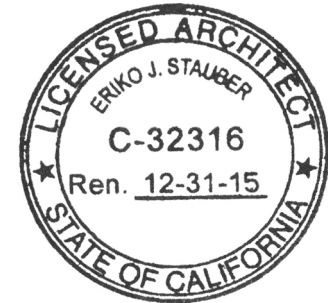
TYPICAL UNIT ENTRY



TYPICAL SLEEPING AREA



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.issarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

530 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

EXISTING PHOTOS

JOB: 1303	DRAWN PI
SHEET NO. A3.0	

530

542

548



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA, 94070
Ph 650.802.6865
Fax 650.802.0107
www.rsrarchitecture.com

NUTEK ENGINEERING
171 EASY STREET
ALAMO, CA 94507
(925) 408-3741



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS
530 BRANNAN STREET
SAN FRANCISCO, CA 94107

GARAGE PLAN
530
BRANNAN ST.

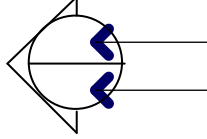
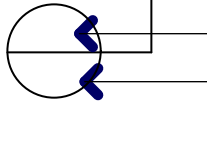
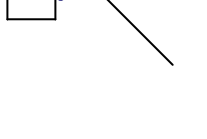
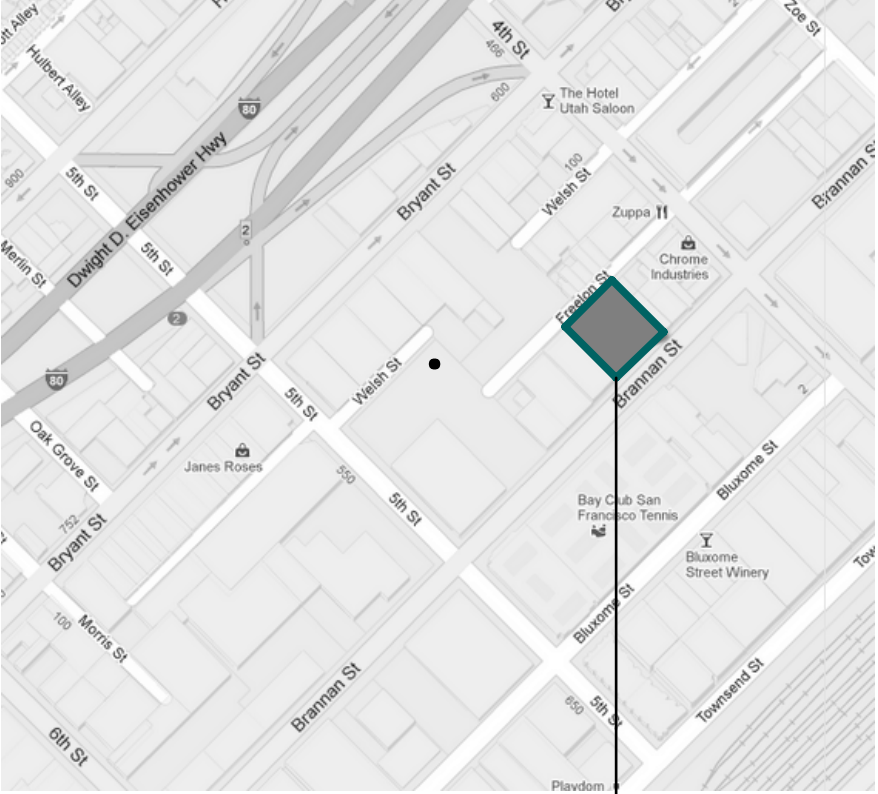
DRAWN
PI

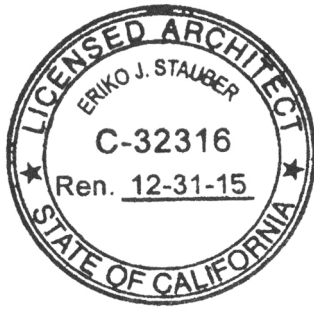
SHEET NO.

E1.0

BENNETT LOFTS

INTERIOR IMPROVEMENTS TO LIVE/WORK LOFTS: 542 BRANNAN STREET, SAN FRANCISCO, CA 94107

GENERAL SCOPE OF WORK	PROJECT INFO	PROJECT DATA SUMMARY	DRAWING INDEX
<div>1. LEGALIZE OCCUPANCY CLASSIFICATION USE OF 9 EXISTING LIVE/WORK UNITS FOR RESIDENTIAL USE.</div>	<div><div>PROPERTY MANAGEMENT: ESSEX PROPERTY TRUST, INC. 925 E. MEADOW DRIVE PALO ALTO, CA 94303 CONTACT: JUSTIN CHU TEL: 650.494.3700</div><div>ARCHITECT: RSS ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: JIMMY CHANG 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6865</div><div>CIVIL ENGINEER: UNDERWOOD & ROSENBLUM, INC. 1630 OAKLAND ROAD, SUITE A114 SAN JOSE, CA 95131 CONTACT: DAVE VOORHIES, P.E. TEL: 408.453.1222</div></div> <div>ELECTRICAL ENGINEER: NUTEK ENGINEERS 600 MAGDALENA AVE LOS ALTOS, CA 94024 CONTACT: PERRY SAEEDNIA TEL: 650.796.7553</div>	<div>OCCUPANCY: R1-B</div> <div>TYPE OF CONSTRUCTION: II-A</div> <div>APN: 3777-139-174</div> <div>ZONING: SLI</div> <div>SPRINKLERS: YES</div> <div>STORIES: FOUR</div> <div>EXISTING LOT AREA: 12,000 SQ.FT.</div> <div>EXISTING BLDG : 11,110 SQ.FT.</div> <div>TOTAL NO. OF EXISTING UNITS 36</div> <div>NO. OF NEW UNITS 9</div> <div>TOTAL NO. OF NEW UNITS 45</div> <div>TOTAL NO. OF PARKING STALLS 33 (UNCHANGED)</div>	<div>ARCHITECTURAL:</div> <div>A 0.0 TITLE SHEET</div> <div>A 0.1 GENERAL NOTES</div> <div>A 1.0 SITE PLAN</div> <div>A 2.0 EXISTING BUILDING PLAN</div> <div>A 2.1 EXISTING BUILDING PLAN</div> <div>A 2.2 EXISTING BUILDING PLAN</div> <div>A 2.3 PROPOSED BUILDING PLAN</div> <div>A 2.4 PROPOSED BUILDING PLAN</div> <div>A 2.5 PROPOSED BUILDING PLAN</div> <div>A 3.0 EXISTING PHOTOS</div> <div>ELECTRICAL:</div> <div>E 0.0 LEGEND, NOTES, SYMBOLS</div> <div>E 1.0 GARAGE PLAN</div> <div>E 1.1 ELECTRICAL ROOM</div> <div>E 2.0 TYPICAL BUILDING PLAN</div> <div>E 2.1 TYPICAL BUILDING PLAN</div> <div>E 2.2 TYPICAL BUILDING PLAN</div> <div>E 3.0 SINGLE LINE DIAGRAM</div> <div>E 4.0 LOAD CALCULATIONS</div>
GENERAL NOTES	SYMBOLS	APPLICABLE CODES	LOCATION MAP
<div>1. CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE REFERENCE DRAWINGS AND ACTUAL BUILT CONDITION, PRIOR TO CONSTRUCTION TO RESOLVE.</div> <div>2. IT IS THE INTENT OF THESE DOCUMENTS TO MAINTAIN THE EXISTING RATED WALL ASSEMBLIES.</div>	<div><div><div>EXTERIOR ELEVATIONS</div><div>ELEVATION NUMBER</div><div>SHEET NUMBER</div></div><div><div>ARCHITECTURAL DETAILS</div><div>DETAIL NUMBER</div><div>SHEET NUMBER</div></div><div><div>LEGEND NOTES</div><div>NOTE NUMBER</div></div></div>	<div>2013 CALIFORNIA BUILDING CODE</div> <div>2013 CALIFORNIA FIRE CODE</div> <div>2013 CALIFORNIA ELECTRICAL CODE</div> <div>2013 CALIFORNIA PLUMBING CODE</div> <div>2013 CALIFORNIA MECHANICAL CODE</div> <div>2013 ENERGY CODE COMPLIANCE</div> <div>ALL LOCAL CODES & ORDINANCES BY THE CITY OF SAN FRANCISCO</div>	 <div>PROJECT SITE</div>



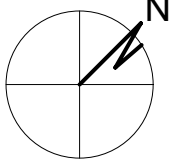
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

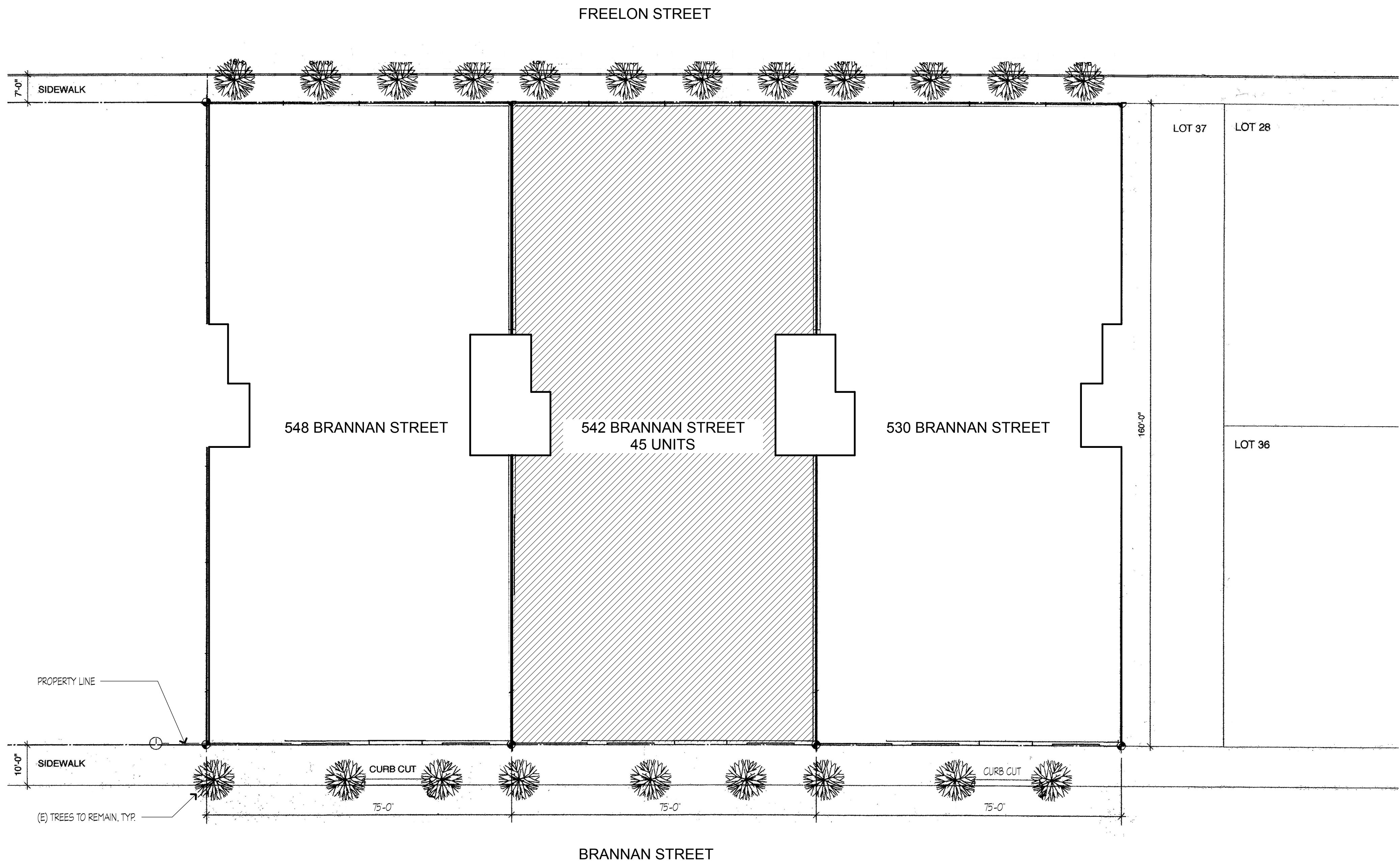
BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS	

TITLE SHEET

JOB:	DRAWN
1303	PI
NORTH:	SHEET NO.
	A0.0



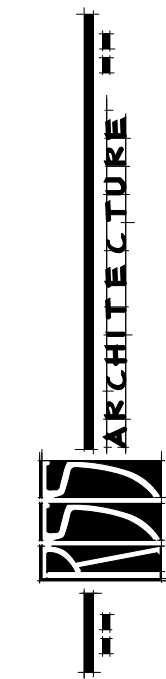
1 SITE PLAN
SCALE: 1/16" = 1'-0"

LEGEND

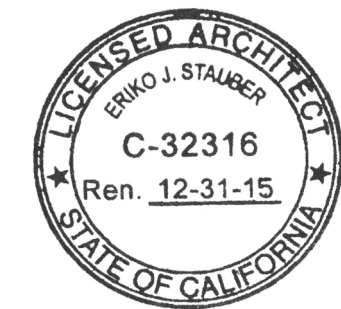
 AREA OF WORK

SITE PLAN NOTES

1. THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL IMAGE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDING OR SITE COMPONENTS.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com



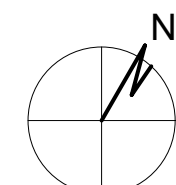
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

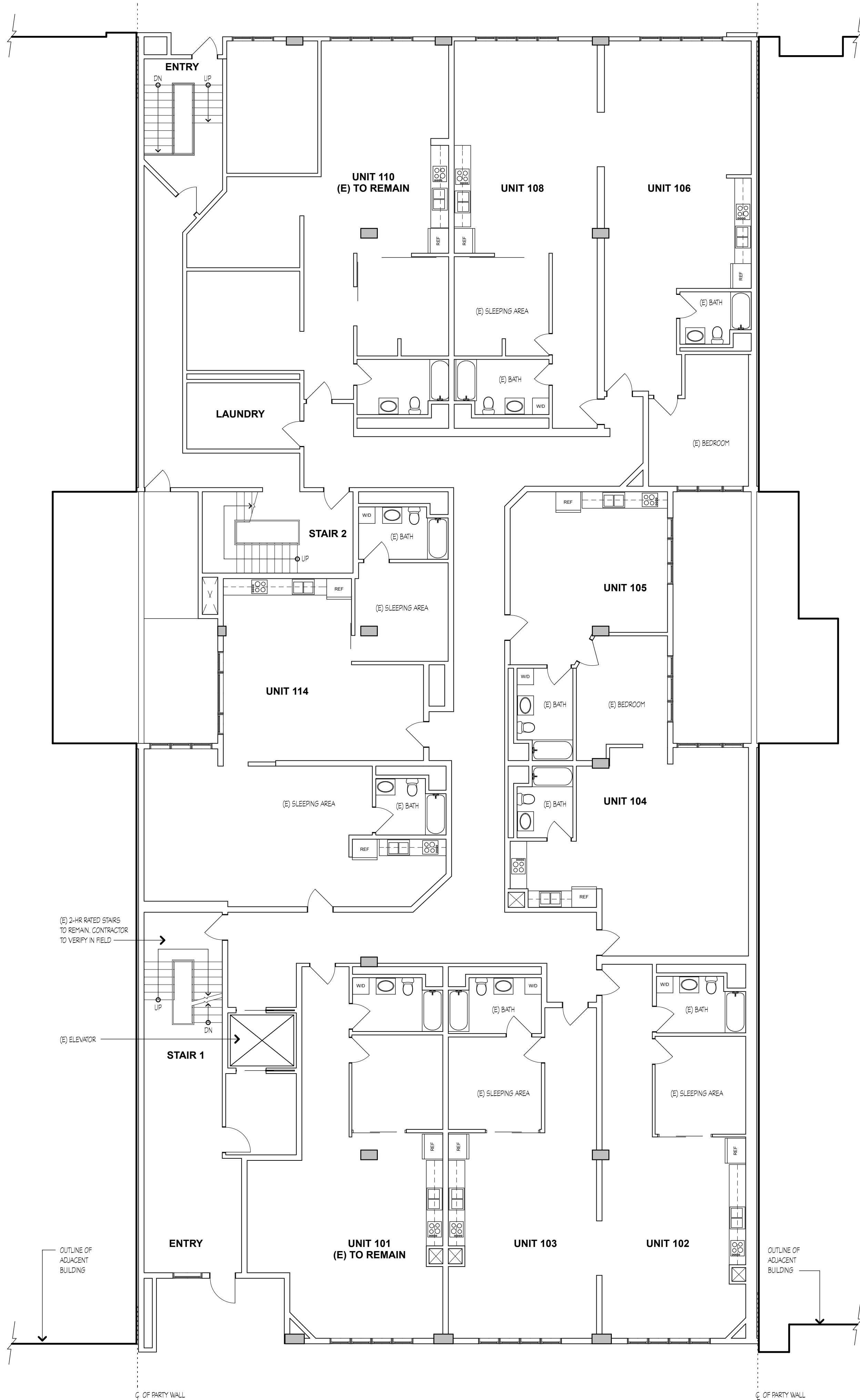
BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

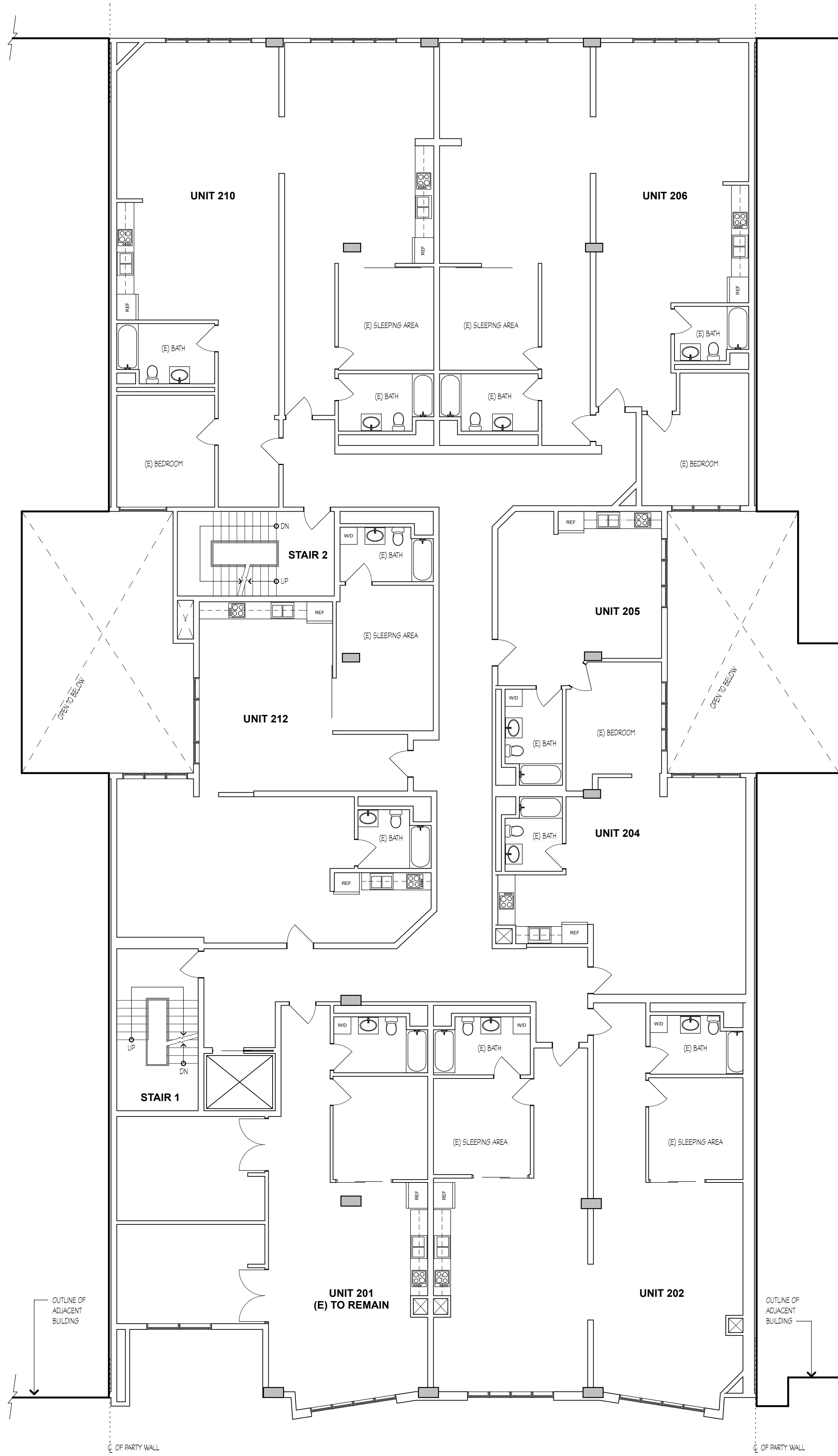
REVISIONS

SITE PLAN

JOB:	DRAWN
1303	PI
NORTH:	SHEET NO.
	A1.0

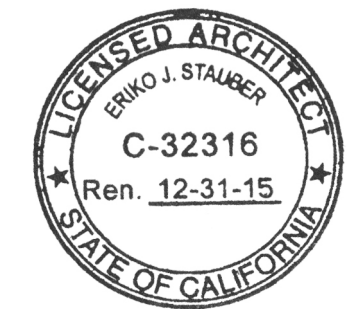


1 EXISTING FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

- BUILDING PLAN NOTES**
- EXISTING NON-CONFORMING UNITS
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW WALL TO MATCH EXISTING (NON-LOAD BEARING WALL, TYP.)
 - NEW PARTITION WALL TYP.



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

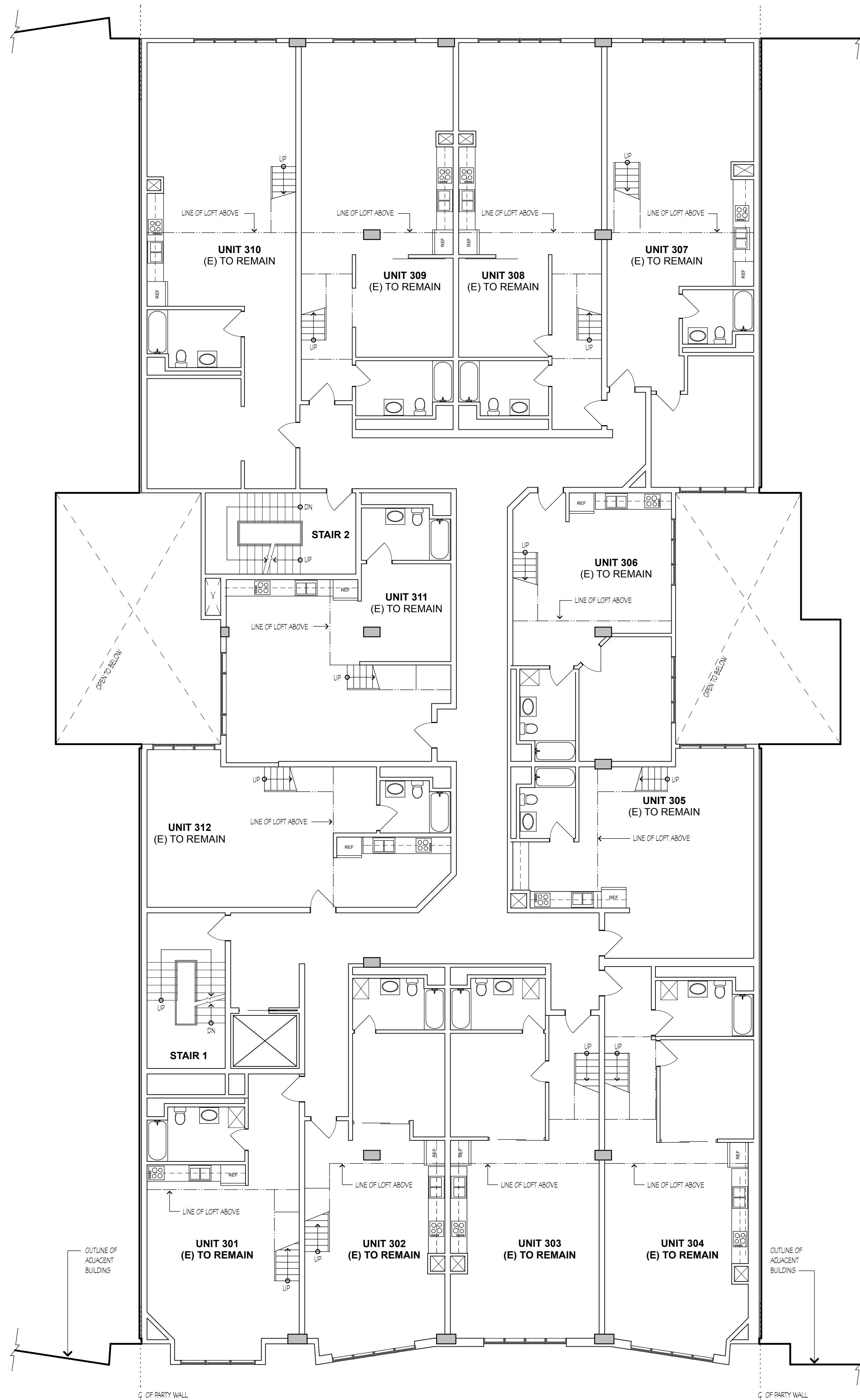
BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

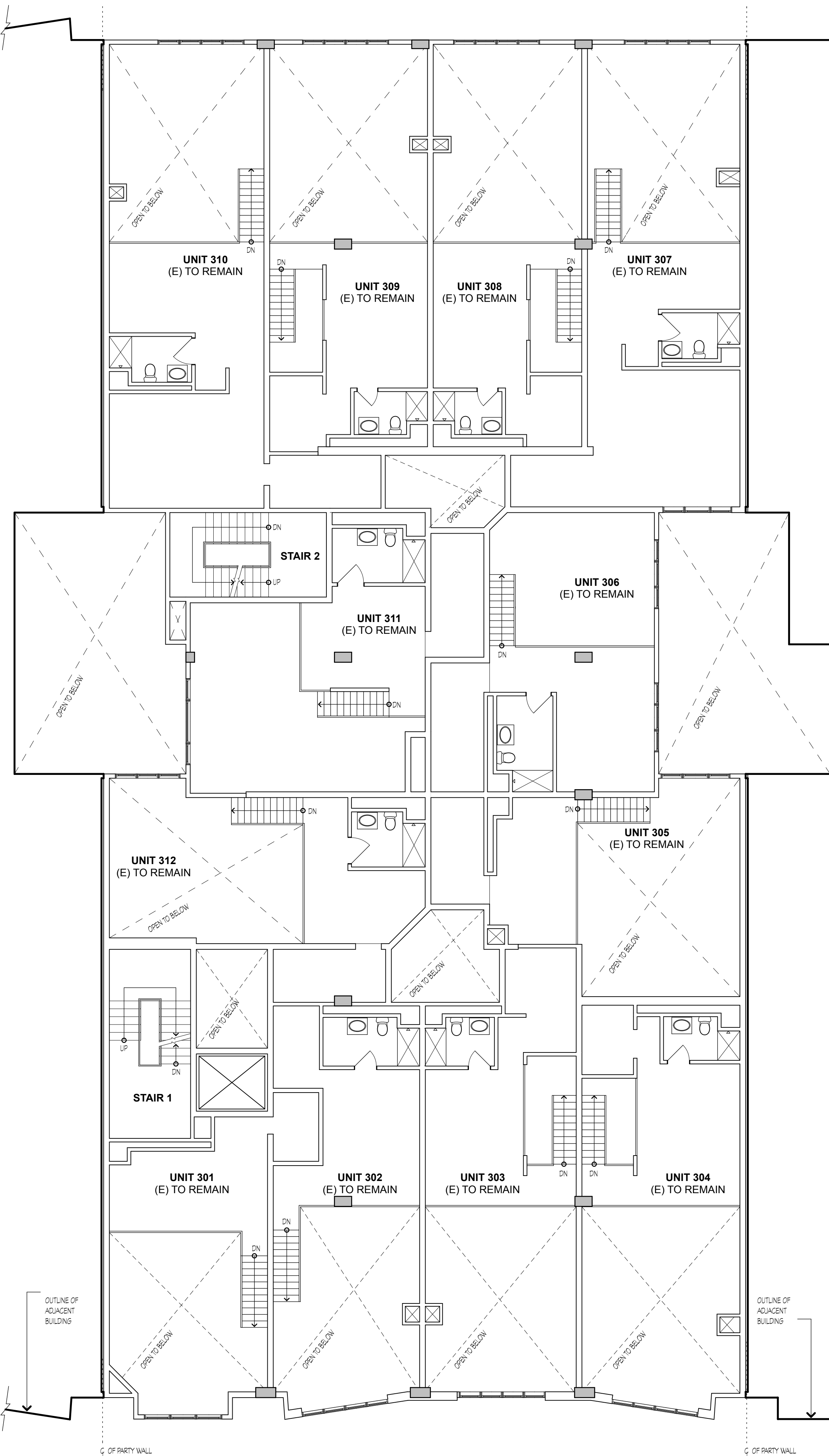
REVISIONS	

EXISTING BUILDING PLAN

JOB:	DRAWN
1303	PI
	SHEET NO.
	A2.0



3 EXISTING THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



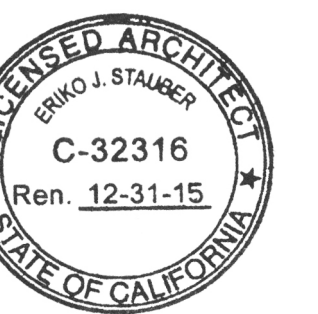
4 EXISTING THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

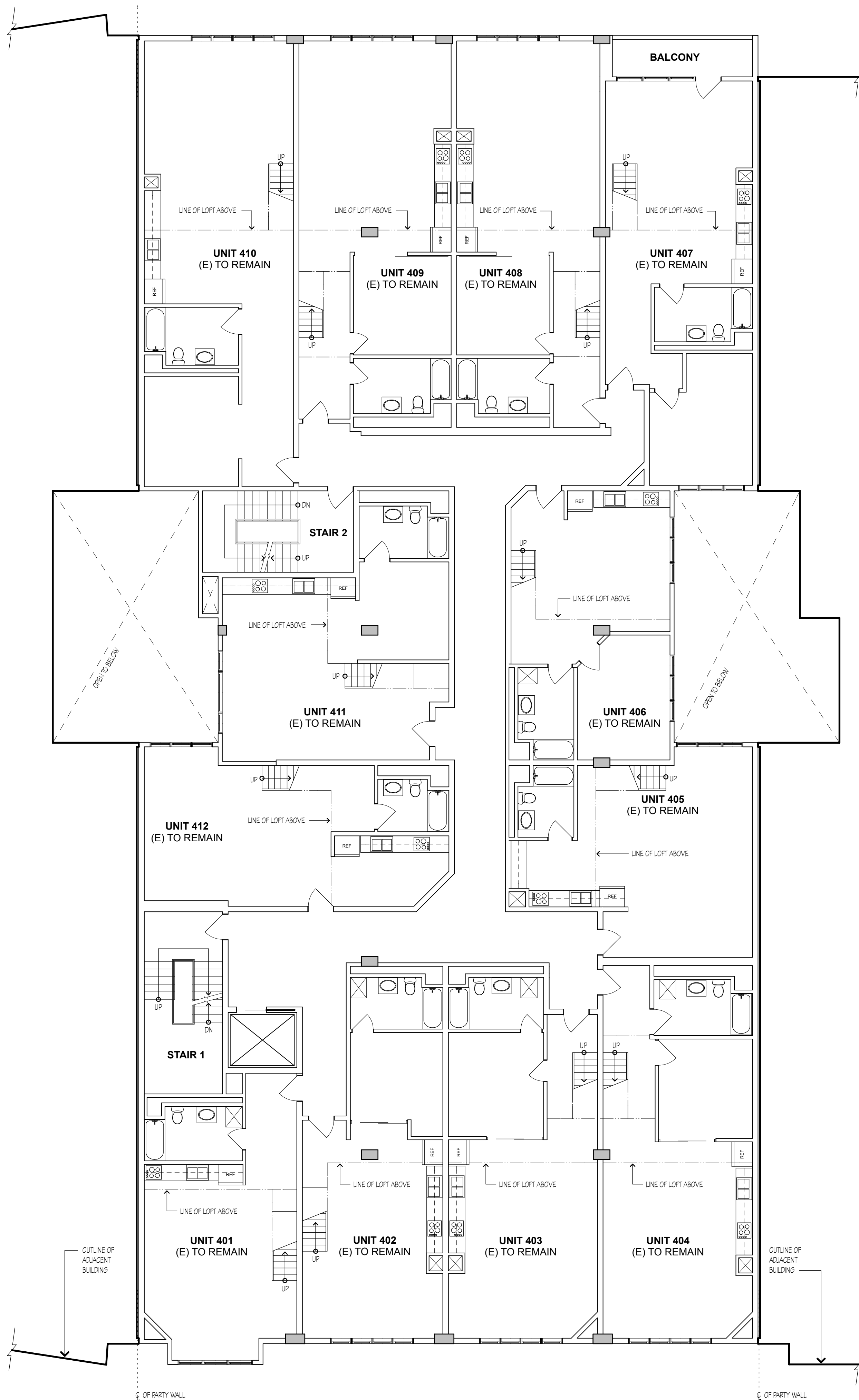
542 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

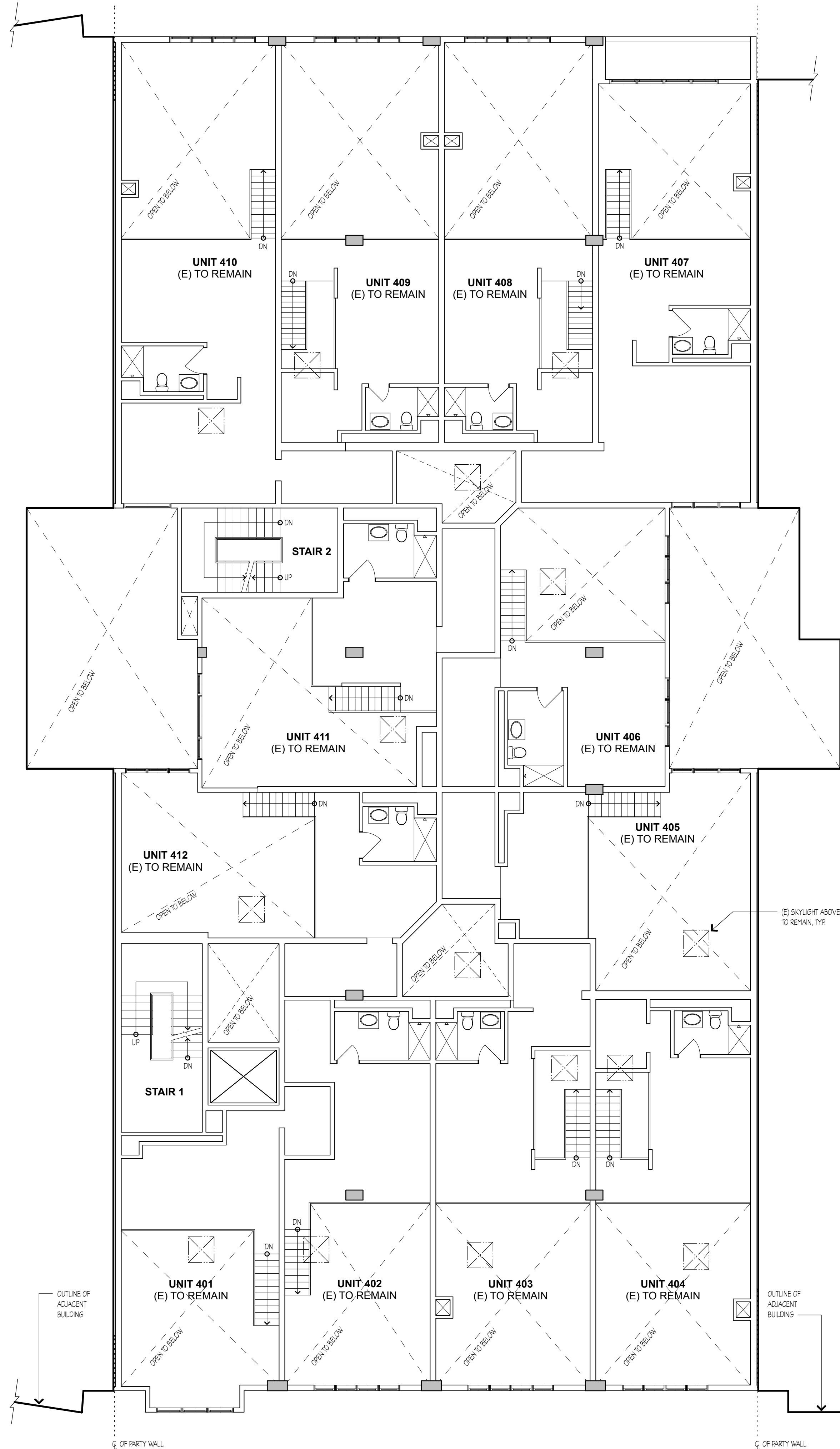
EXISTING BUILDING PLAN

JOB:	DRAWN
1303	PI
	SHEET NO.

A2.1



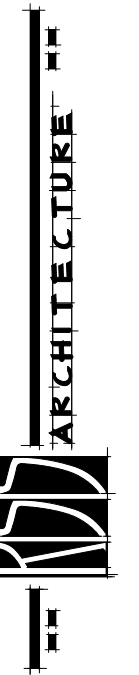
5 EXISTING FOURTH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



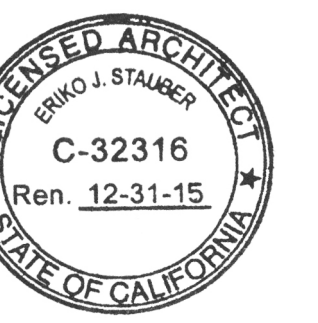
2 EXISTING FOURTH FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.



JSS ARCHITECTURE
915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph: 650.802.6865
Fax: 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

EXISTING BUILDING PLAN

JOB:	DRAWN
1303	PI
	SHEET NO.

A2.2



1 PROPOSED FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2 PROPOSED SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

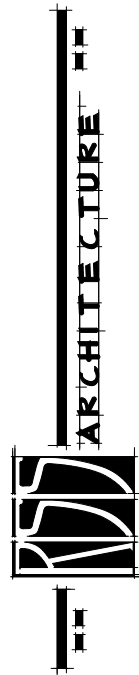
NOTES

1. SEE SHEET A2.0 FOR BUILDING PLAN
LEGEND AND NOTES NOT SHOWN.

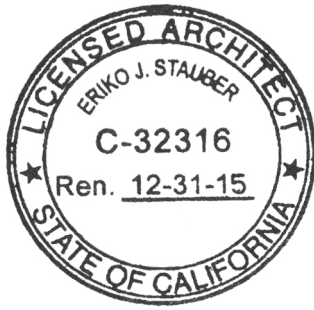
UNIT DATA

45 UNITS

UNIT #	NOTES	EXISTING SQ. FT.	PROPOSED SQ. FT.	UNIT TYPE
101	LIVE/WORK	-	-	1 BDRM
102	DWELLING	1,515	765	1 BDRM
103	LIVE/WORK	-	750	1 BDRM
104	DWELLING	1,210	620	STUDIO
105	LIVE/WORK	-	580	STUDIO
106	DWELLING	1,675	880	1 BDRM
108	LIVE/WORK	-	785	1 BDRM
110	LIVE/WORK	-	-	2 BDRM
114	DWELLING	1,250	650	STUDIO
116	LIVE/WORK	-	600	STUDIO
201	LIVE/WORK	-	-	2 BDRM
202	DWELLING	1,525	775	1 BDRM
203	LIVE/WORK	-	750	1 BDRM
204	DWELLING	1,195	615	STUDIO
205	LIVE/WORK	-	580	STUDIO
206	DWELLING	1,663	878	1 BDRM
207	LIVE/WORK	-	785	1 BDRM
208	DWELLING	-	815	1 BDRM
210	LIVE/WORK	1,765	950	1 BDRM
212	DWELLING	1,270	670	STUDIO
214	LIVE/WORK	-	600	STUDIO
301	LIVE/WORK	-	-	STUDIO
302	LIVE/WORK	-	-	1 BDRM
303	LIVE/WORK	-	-	1 BDRM
304	LIVE/WORK	-	-	1 BDRM
305	LIVE/WORK	-	-	STUDIO
306	LIVE/WORK	-	-	1 BDRM
307	LIVE/WORK	-	-	1 BDRM
308	LIVE/WORK	-	-	1 BDRM
309	LIVE/WORK	-	-	1 BDRM
310	LIVE/WORK	-	-	1 BDRM
311	LIVE/WORK	-	-	1 BDRM
312	LIVE/WORK	-	-	STUDIO
401	LIVE/WORK	-	-	STUDIO
402	LIVE/WORK	-	-	1 BDRM
403	LIVE/WORK	-	-	1 BDRM
404	LIVE/WORK	-	-	1 BDRM
405	LIVE/WORK	-	-	STUDIO
406	LIVE/WORK	-	-	1 BDRM
407	LIVE/WORK	-	-	1 BDRM
408	LIVE/WORK	-	-	1 BDRM
409	LIVE/WORK	-	-	1 BDRM
410	LIVE/WORK	-	-	1 BDRM
411	LIVE/WORK	-	-	1 BDRM
412	LIVE/WORK	-	-	STUDIO



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

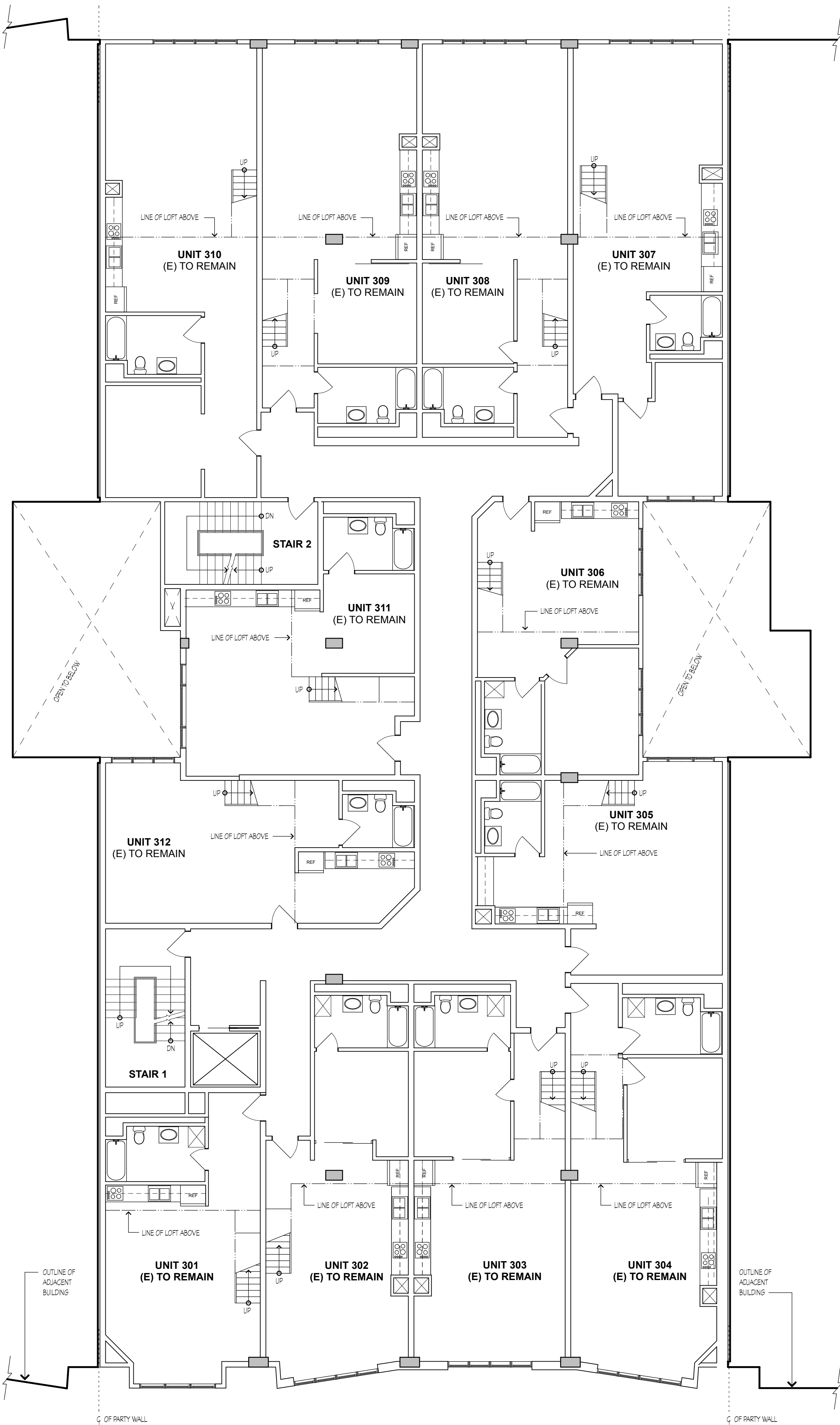
BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

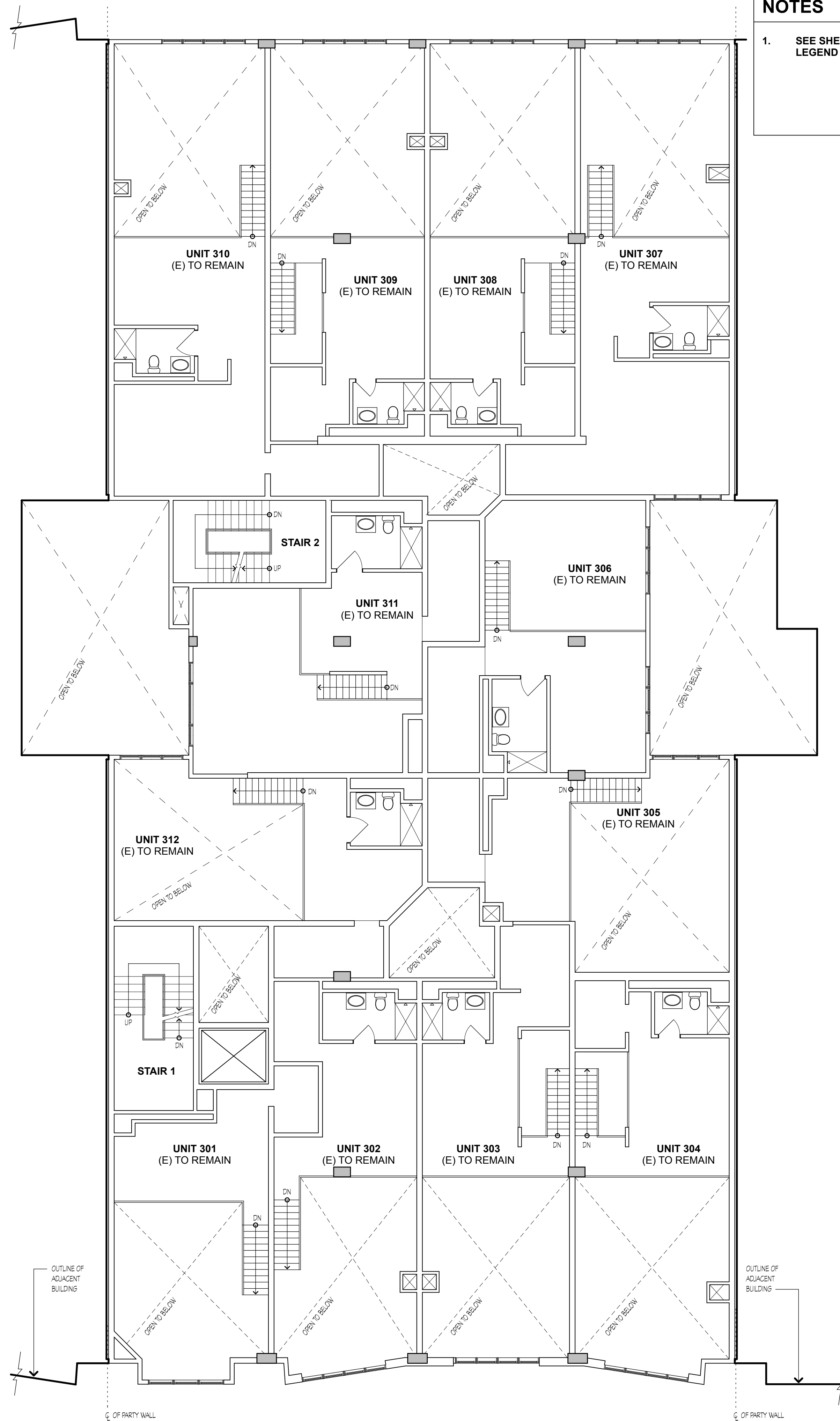
REVISIONS

PROPOSED BUILDING PLAN

JOB:	DRAWN
1303	PI
	SHEET NO.
	A2.3



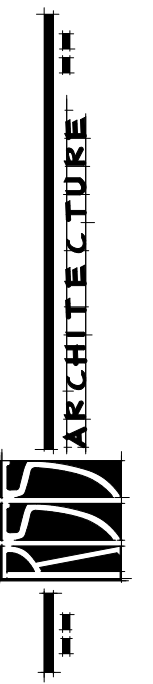
3 PROPOSED THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



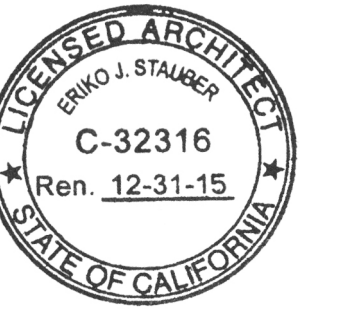
4 PROPOSED THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.issaarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

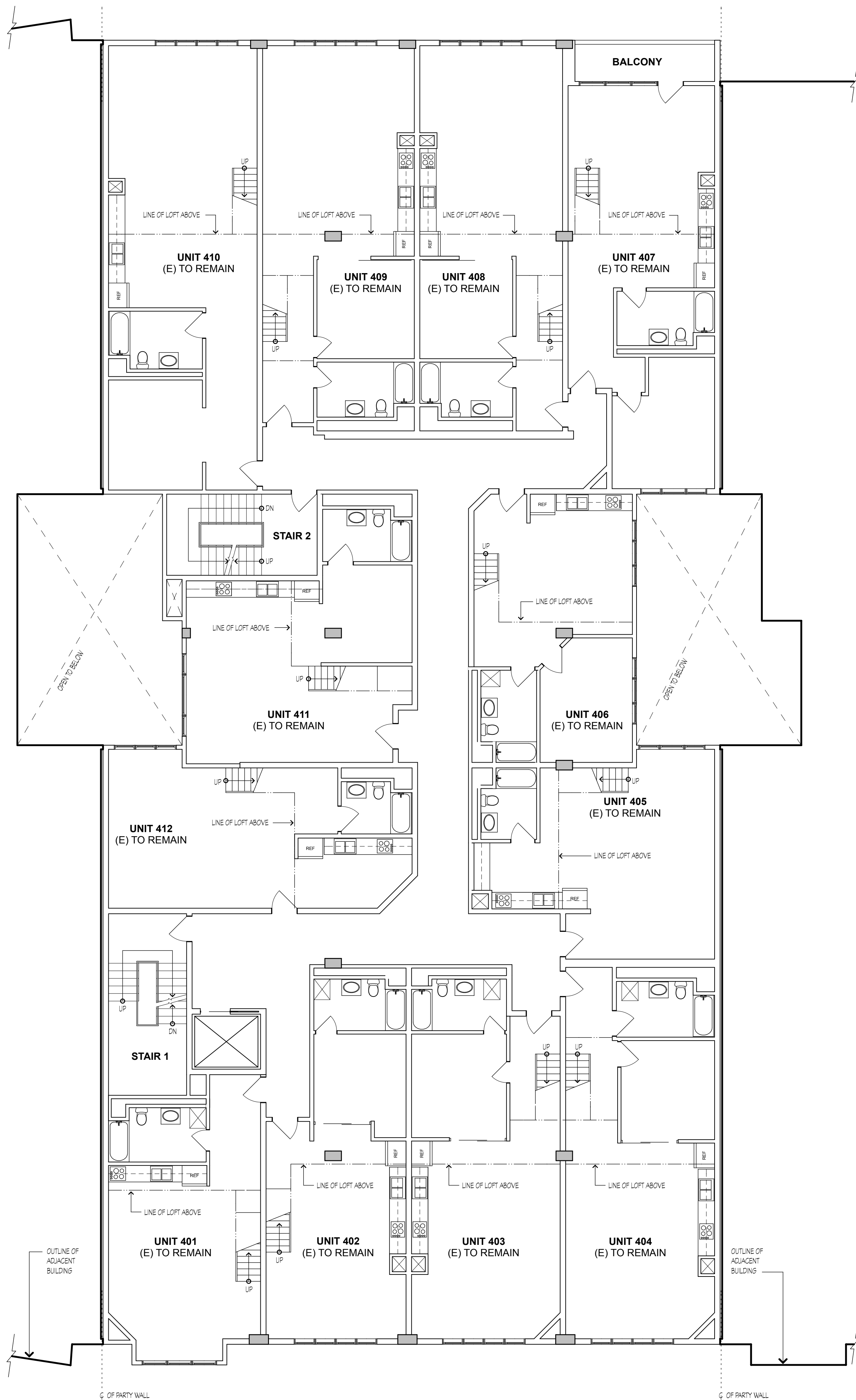
REVISIONS

PROPOSED BUILDING PLAN

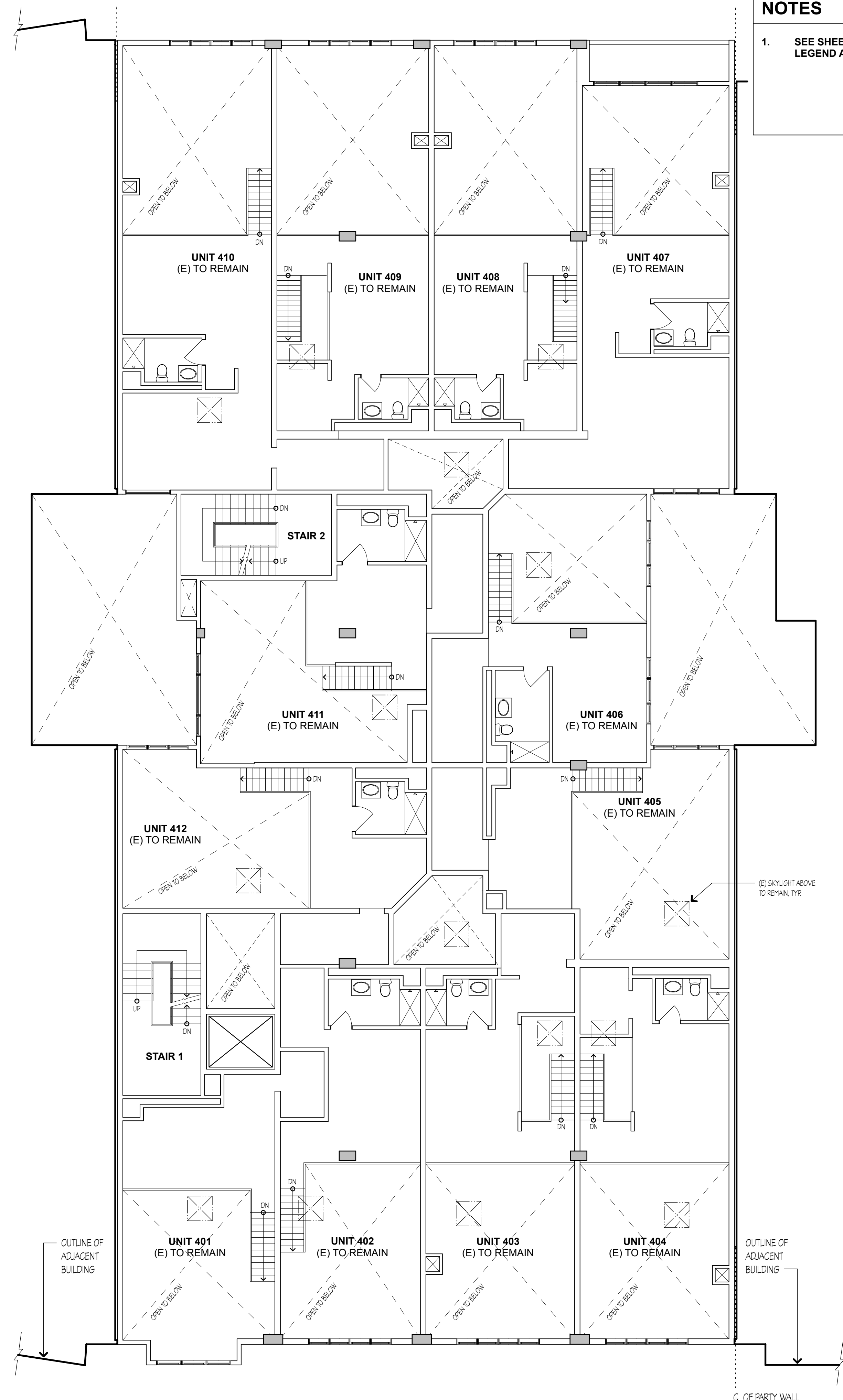
JOB:	DRAWN
1303	PI

SHEET NO.

A2.4



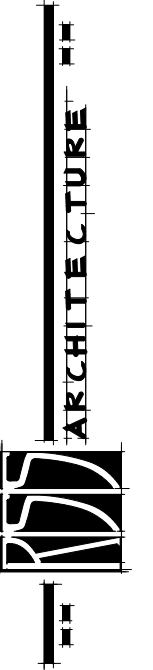
5 PROPOSED FOURTH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



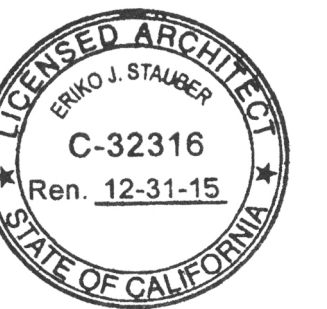
6 PROPOSED FOURTH FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

542 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

PROPOSED BUILDING PLAN

JOB:	DRAWN
1303	PI
SHEET NO.	

A2.5



STREET VIEW OF BENNETT LOFTS



STREET VIEW OF BENNETT LOFTS



LIGHTWELL



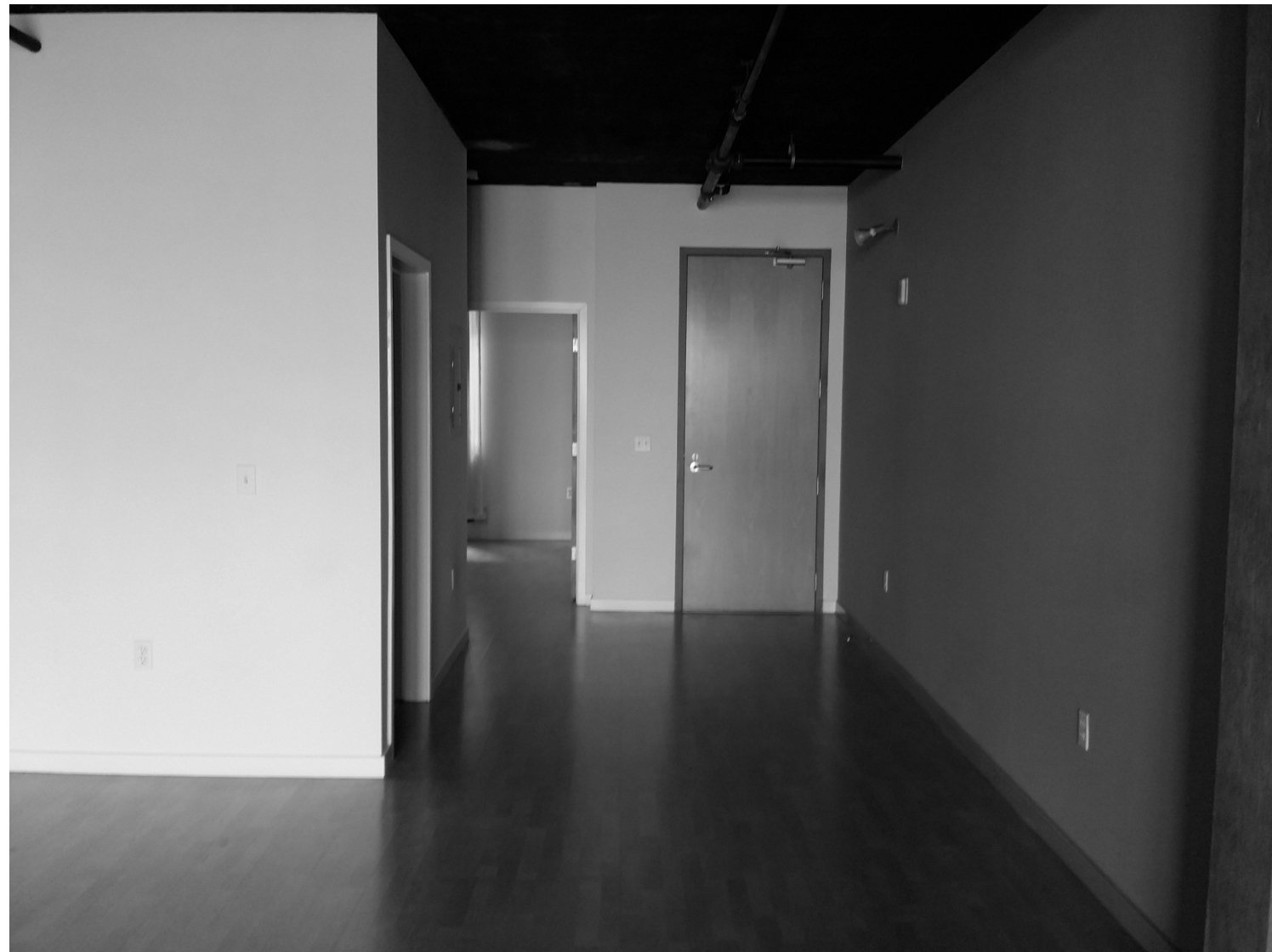
TYPICAL UNIT ENTRY HALL



TYPICAL PARTITION WALL
BETWEEN UNITS



TYPICAL KITCHEN AREA



TYPICAL UNIT ENTRY



TYPICAL SLEEPING AREA

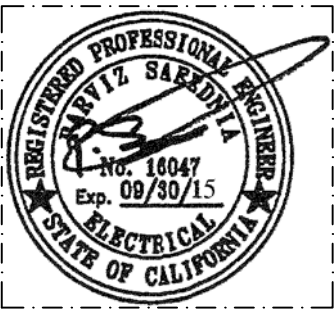
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS
542 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

EXISTING PHOTOS

JOB: 1303	DRAWN PI
SHEET NO. A3.0	



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS
542 BRANNAN STREET
SAN FRANCISCO, CA 94107

GARAGE PLAN
542
BRANNAN ST.

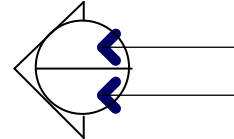
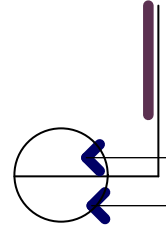
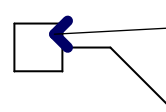
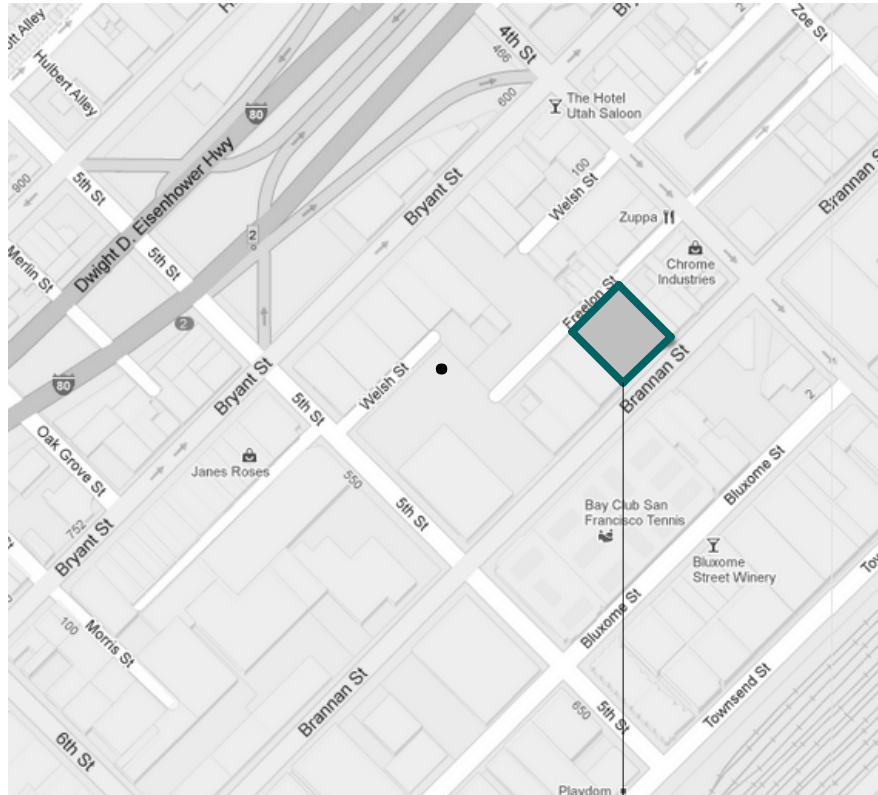
DRAWN
PI

SHEET NO.

E1.0

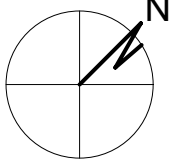
BENNETT LOFTS

INTERIOR IMPROVEMENTS TO LIVE/WORK LOFTS: 548 BRANNAN STREET, SAN FRANCISCO, CA 94107

GENERAL SCOPE OF WORK	PROJECT INFO			PROJECT DATA SUMMARY		DRAWING INDEX
<div>1. LEGALIZE OCCUPANCY CLASSIFICATION USE OF 7 EXISTING LIVE/WORK UNITS FOR RESIDENTIAL USE.</div> <div>2. CONVERT UNIT 114 INTO NEW LEASING OFFICE.</div>	<div>PROPERTY MANAGEMENT: ESSEX PROPERTY TRUST, INC. 925 E. MEADOW DRIVE PALO ALTO, CA 94303 CONTACT: JUSTIN CHU TEL: 650.494.3700</div> <div>ELECTRICAL ENGINEER: NUTEK ENGINEERS 600 MAGDALENA AVE LOS ALTOS, CA 94024 CONTACT: PERRY SAEEDNIA TEL: 650.796.7553</div>	<div>ARCHITECT: RSS ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: JIMMY CHANG 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6865</div>	<div>CIVIL ENGINEER: UNDERWOOD & ROSENBLUM, INC. 1630 OAKLAND ROAD, SUITE A114 SAN JOSE, CA 95131 CONTACT: DAVE VOORHIES, P.E. TEL: 408.453.1222</div>	<div>OCCUPANCY: R1-B</div> <div>TYPE OF CONSTRUCTION: II-A</div> <div>APN: 3777-073-106</div> <div>ZONING: SLI</div> <div>SPRINKLERS: YES</div> <div>STORIES: FOUR</div> <div>EXISTING LOT AREA: 12,000 SQ.FT.</div> <div>EXISTING BLDG : 11,029 SQ.FT.</div> <div>TOTAL NO. OF EXISTING UNITS 34</div> <div>NO. OF NEW UNITS 7</div> <div>NEW LEASING OFFICE CONVERSION 1</div> <div>TOTAL NO. OF NEW UNITS 42</div> <div>TOTAL NO. OF PARKING STALLS 33 (UNCHANGED)</div>	<div>ARCHITECTURAL: A 0.0 TITLE SHEET A 0.1 GENERAL NOTES A 1.0 SITE PLAN A 2.0 EXISTING BUILDING PLAN A 2.1 EXISTING BUILDING PLAN A 2.2 EXISTING BUILDING PLAN A 2.3 PROPOSED BUILDING PLAN A 2.4 PROPOSED BUILDING PLAN A 2.5 PROPOSED BUILDING PLAN A 3.0 EXISTING PHOTOS</div> <div>ELECTRICAL: E 0.0 LEGEND, NOTES, SYMBOLS E 1.0 GARAGE PLAN E 1.1 ELECTRICAL ROOM E 2.0 TYPICAL BUILDING PLAN E 2.1 TYPICAL BUILDING PLAN E 2.2 TYPICAL BUILDING PLAN E 3.0 SINGLE LINE DIAGRAM E 4.0 LOAD CALCULATIONS</div>	
GENERAL NOTES	SYMBOLS			APPLICABLE CODES		LOCATION MAP
<div>1. CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE REFERENCE DRAWINGS AND ACTUAL BUILT CONDITION, PRIOR TO CONSTRUCTION TO RESOLVE.</div> <div>2. IT IS THE INTENT OF THESE DOCUMENTS TO MAINTAIN THE EXISTING RATED WALL ASSEMBLIES.</div>	<div><div></div><div>EXTERIOR ELEVATIONS</div><div>ELEVATION NUMBER</div><div>SHEET NUMBER</div><div></div><div>ARCHITECTURAL DETAILS</div><div>DETAIL NUMBER</div><div>SHEET NUMBER</div><div></div><div>LEGEND NOTES</div><div>NOTE NUMBER</div></div>			<div>2013 CALIFORNIA BUILDING CODE</div> <div>2013 CALIFORNIA FIRE CODE</div> <div>2013 CALIFORNIA ELECTRICAL CODE</div> <div>2013 CALIFORNIA PLUMBING CODE</div> <div>2013 CALIFORNIA MECHANICAL CODE</div> <div>2013 ENERGY CODE COMPLIANCE</div> <div>ALL LOCAL CODES & ORDINANCES BY THE CITY OF SAN FRANCISCO</div>		<div></div> <div>PROJECT SITE</div>

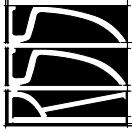
REVISIONS

TITLE SHEET


JOB:	DRAWN
1303	PI
NORTH:	SHEET NO.
	A0.0

NOTES		ABBREVIATION LIST																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
<p>GENERAL</p> <p>NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.</p> <p>CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE BUILDINGS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL PARTS BY THE VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENT OF THESE ARCHITECTURAL DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.</p> <p>THE CONSTRUCTION ASSEMBLIES DEPICTED IN THESE DOCUMENTS MAY PROVIDE FOR THE CONTACT OF DISSIMILAR MATERIALS WHICH, WHEN FINISH COATED OR SUBJECTED TO MOIST WEATHER CONDITIONS, MAY RESULT IN DISCOLORATION OF SOME OF THE MATERIAL SURFACES. THESE CONDITIONS MAY REQUIRE PERIODIC INSPECTION, MAINTENANCE AND/OR RE-COATING AT CLOSER INTERVALS THAN OTHER NON-AFFECTED SURFACES.</p> <p>THESE ARCHITECTURAL CONSTRUCTION DRAWINGS DESCRIBE THE REQUIREMENTS OF THE PROJECT FOR A BUILDING PERMIT AND TO PREPARE ESTIMATES OF QUANTITY AND COSTS OF MATERIALS REQUIRED TO CONSTRUCT THE PROJECT. THESE DRAWINGS PROVIDE FOR ONLY SCHEMATIC PLUMBING/MECHANICAL EQUIPMENT LAYOUT AND SCHEMATIC ELECTRICAL POWER AND LIGHTING LAYOUT AS PREPARED BY THE ARCHITECT WITHOUT ENGINEERING DESIGNS, DETAILS, CALCULATIONS OR SPECIFICATIONS.</p> <p>BY USE OF THESE DOCUMENTS, THE CONTRACTOR ACKNOWLEDGES THAT RSS ARCHITECTURE, AS THE ARCHITECT, IS THE AUTHOR OF AND THEREFORE RESPONSIBLE FOR THE INTERPRETATION OF THESE DESIGN DOCUMENTS AND THAT THE CONTENT, CONCEPTS OR BASIC DESIGN DEMONSTRATED BY THE DOCUMENTS SHALL NOT BE FURTHER DEVELOPED, INTERPRETED, CLARIFIED OR TRANSFERRED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.</p> <p>CHANGES TO THE PLANS AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.</p> <p>ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING REQUESTING CLARIFICATION. IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS EXCULPATED FROM ANY LIABILITY WHATSOEVER, OCCASIONED BY THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>INsofar AS THERE ARE MANY VARIABLES INVOLVED IN THE EXECUTION OF THE WORK DESCRIBED IN THESE DOCUMENTS, THE ARCHITECT DOES NOT CARRY ANY WARRANTY EXPRESSED OR IMPLIED FOR THE WORK OF THE TRADES.</p> <p>THESE DOCUMENTS ARE COMPLETE AS PREPARED BY THE ARCHITECT. ADDITIONAL DOCUMENTS, INCLUDING WRITTEN SPECIFICATIONS, MAY BE PREPARED BY OTHERS AND USED TO SUPPLEMENT THE WORK OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUPPLEMENTAL WORK IN CONFORMANCE WITH THESE DOCUMENTS.</p> <p>THE CONTRACTOR SHALL, BY THE USE OF THESE DOCUMENTS, BE REQUIRED TO PROVIDE UNDERSTANDABLE AND THOROUGH INSTRUCTIONS TO THE OWNER ABOUT HIS/HER RESPONSIBILITIES FOR ON-GOING MAINTENANCE. THESE INSTRUCTIONS SHALL DESCRIBE PERIODIC INSPECTIONS AND PROCEDURES FOR MAINTENANCE OF BUILDING SYSTEMS AND MATERIALS, INCLUDING BUT NOT LIMITED TO: DRAINAGE, EROSION CONTROL, PLUMBING, MECHANICAL PAVING, WATERPROOFING, DECKING, ROOFING, GLAZING, PAINTING, SEALANTS, ETC. THE CONTRACTOR SHALL OBTAIN INFORMATION AND INSTRUCTIONS FROM THE VARIOUS SUBCONTRACTORS, INSTALLERS AND MANUFACTURERS REGARDING MAINTENANCE OF THEIR SPECIFIC PORTIONS OF WORK AND MATERIALS. ALL WARRANTIES AND/OR GUARANTEES SHALL BE IDENTIFIED. THESE INSTRUCTIONS SHALL BE WRITTEN SO AS TO HAVE THE HOMEOWNER PROMPTLY ALERT THE CONTRACTOR AS TO ANY UNUSUAL WEARING OF MATERIALS OR MALFUNCTION OF COMPONENTS AND/OR ASSEMBLIES OF THE CONSTRUCTION. THE INSTRUCTIONS SHALL IDENTIFY THE EXPECTED USUAL WEARING, MOVEMENTS OR DEFORMATION OF MATERIALS AND THEIR PROJECTED LIFE.</p> <p>ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF THE WORK; INCLUDING, BUT NOT LIMITED TO: 2013 CALIFORNIA BUILDING CODE (CBC); CALIFORNIA MECHANICAL CODE (CMC); CALIFORNIA ELECTRICAL CODE (CEC); UNIFORM FIRE CODE (UFC); AMERICAN CONCRETE INSTITUTE (ACI); CALIFORNIA PLUMBING CODE (CPC); AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.</p> <p>SITE EXAMINATION</p> <p>THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH AFFECT HIS WORK.</p> <p>DIMENSION CONTROL</p> <p>IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.</p> <p>ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.</p> <p>DIMENSION CONTROL HAS BEEN TAKEN FROM READILY OBSERVABLE EXISTING CONDITIONS AND FIELD MEASUREMENTS. ADJUSTMENTS MAY HAVE TO BE EMPLOYED SHOULD AS-BUILT CONDITIONS VARY FROM ORIGINAL DOCUMENTS.</p>		<p>CONTROL OF APPROVAL</p> <p>CONTRACTOR SHALL INCLUDE AND IMPLEMENT IN THE WORK ALL PERTINENT REQUIREMENTS FOR THIS PROJECT AS SET FORTH IN THE CONDITIONS OF APPROVAL BY THE CITY AGENCIES. A COPY OF THESE CONDITIONS IS AVAILABLE FROM THE OWNER AND ARCHITECT.</p> <p>CONTINUING OPERATIONS</p> <p>WHEN IT IS NECESSARY THAT THE OWNER CONTINUE PRESENT OCCUPANCY DURING THE RENOVATION WORK, THE CONTRACTOR SHALL, AFTER CONSULTING WITH THE OWNER, SCHEDULE THE WORK SO AS NOT TO INTERFERE WITH NORMAL HOUSEHOLD OPERATIONS.</p> <p>WORK SEQUENCE</p> <p>IN THE EVENT THAT SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.</p> <p>MOISTURE PROTECTION</p> <p>IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE DETAILS FOR CONSTRUCTION WHICH WILL RESULT IN A MOISTURE RESISTANT BUILDING ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY EXCEPTION HE MAY TAKE TO ANY OF THE DETAILS OR METHODS DESCRIBED HEREIN. IF THE CONTRACTOR IS AWARE OF ALTERNATE MATERIALS OR METHODS THAT WILL BETTER SATISFY THIS INTENT, HE SHALL SO NOTIFY THE ARCHITECT, IN WRITING, ALLOWING THE ARCHITECT TO MODIFY HIS DOCUMENTS ACCORDINGLY.</p> <p>SHOULD ANY SPECIAL SITUATION OCCUR DURING CONSTRUCTION, INCLUDING VARIOUS CLIMATIC CONDITIONS WHICH NECESSITATE APPLICATIONS OR METHODS TO INSURE THE PROTECTION OF MATERIALS AND ASSEMBLIES, THE CONTRACTOR OR SUBCONTRACTOR (S) SHALL SO NOTICE AND IMPLEMENT ANY OR ALL PROTECTIVE MEASURES.</p> <p>ALL DOWNSPOUTS, SCUPPERS AND LEADERHEADS SHALL BE SIZED TO ACCOMMODATE TRIBUTARY ROOF AREAS SERVED. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO PROVIDE ANY AND ALL DESIGN, CALCULATIONS AND DATA THAT MAY BE REQUIRED IN SUPPORT OF THIS SYSTEM. ALL RESPONSIBILITY FOR THE SYSTEM AND ITS FUNCTION SHALL BE BORNE BY THE SYSTEM DESIGNER AND/OR INSTALLER.</p> <p>DEMOLITION NOTES</p> <p>THESE ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE THE LIMITS OF NEW CONSTRUCTION AND EXISTING CONSTRUCTION TO REMAIN. THESE DRAWINGS ARE NOT INTENDED TO SHOW ALL EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND SCOPE OF EXISTING CONSTRUCTION TO BE REMOVED.</p> <p>THE GENERAL CONTRACTOR SHALL PERFORM WORK IN OR ON THE EXISTING BUILDING. THIS CONSISTS PRINCIPALLY OF BUT NOT NECESSARILY LIMITED TO, THE CUTTING AND REPAIR OR REPLACEMENT OF PORTIONS OF THE EXISTING BUILDING AS SHOWN, OR AS NECESSARY FOR INSTALLATION OR ERECTION OF NEW WORK, OR REMODELLING CALLED FOR ON DRAWINGS OR IN SPECIFICATIONS.</p> <p>THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH OWNER FOR ENTRY AND EXECUTION OF WORK IN OR ON THE EXISTING BUILDING.</p> <p>THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS THEY FIND IT AND BE FAMILIAR WITH ITS CHARACTER AND THE TYPE OF WORK TO BE REMOVED. HE SHALL ENTIRELY DEMOLISH ON THE SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED, AND SHALL NOT REMOVE ANY STRUCTURE FROM THE SITE, EITHER AS A WHOLE OR SUBSTANTIALLY AS A WHOLE WHERE NOT INDICATED. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE PORTIONS OF BUILDING TO BE REMOVED AND/OR DEMOLISHED.</p> <p>THE GENERAL CONTRACTOR SHALL SEE THAT ALL SERVICES, TO THE AREAS TO BE DEMOLISHED, SUCH AS WATER, GAS, STEAM, ELECTRICITY AND TELEPHONE LINES, ARE DISCONNECTED AT THE ENTRIES AS APPLICABLE, ALL IN ACCORDANCE WITH THE RESTRICTIVE RULES AND REGULATIONS GOVERNING THE UTILITIES INVOLVED.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THEIR REMOVAL TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.</p> <p>THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SHORING REQUIRED IN CONNECTION WITH THE DEMOLITION OPERATIONS, AND THE SUPPORTS SHALL HOLD THE EXISTING WORK THAT IS TO REMAIN IN PROPER POSITION UNTIL NEW SUPPORTING MEMBERS AND INJURIES TO THE PUBLIC.</p> <p>AFTER WORK HAS BEEN STARTED, IT SHALL BE CARRIED OUT TO COMPLETION, PROMPTLY, EXPEDITIOUSLY, AND IN AN ORDERLY MANNER, USING METHODS COMMONLY EMPLOYED, AND AS PROVIDED UNDER THE CITY OR COUNTY CODE FOR DEMOLITION WORK AS APPLICABLE.</p> <p>GENERALLY, THE GENERAL CONTRACTOR SHALL DO ANY CUTTING AND REMOVE ANY OR ALL ITEMS, WHETHER SPECIFICALLY MENTIONED OR INDICATED, WHICH OBVIOUSLY WILL INTERFERE WITH OR BECOME INCONGRUOUS TO PROPOSED CONSTRUCTION FINISHES. WHEN ITEM(S) IS/ARE QUESTIONABLE, HE SHALL NOTIFY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL EXERCISE UTMOST CARE TO SEE THAT MINIMUM CUTTING IS DONE.</p> <p>SALVAGE</p> <p>ALL ITEMS DEEMED SALVAGEABLE BY THE OWNER WILL EITHER BE INDICATED ON THE DRAWINGS, AND SHALL BE REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL BE INDICATED ON THE DRAWINGS. WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS, AS DIRECTED BY THE OWNER TO BE RETAINED, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO DEBRIS OR CONTRACTOR SALVAGEABLE ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.</p> <p>SITE PROTECTION</p> <p>THE GENERAL CONTRACTOR SHALL PROTECT ALL INTERIOR AND EXTERIOR EXISTING CONSTRUCTION THAT IS TO REMAIN, INCLUDING LANDSCAPING ALONG THE PROPERTY LINES, AS WELL AS ON ADJACENT LOTS. ANY DAMAGE OR LOSS RESULTING FROM NEW CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</p> <p>THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH MUNICIPAL REGULATIONS AND CARRY OUT THE WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.</p> <p>THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY CONSTRUCTION FENCE, MEETING CITY STANDARDS, DURING CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE PUBLIC FROM INJURY CAUSED ON SITE.</p> <p>GLAZING REQUIREMENTS</p> <p>ALL WINDOWS AND DOORS MUST MEET THE AIR AND INFILTRATION STANDARDS OF THE CURRENT ANSI AND SHALL BE CERTIFIED AND LABELLED.</p> <p>HEATING DESIGN TEMPERATURE</p> <p>MINIMUM INSIDE WINTER DESIGN TEMPERATURE IS 10 DEGREES.</p> <p>VAPOUR RETARDER AND AIR BARRIER</p> <p>TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE CONSTRUCTION ASSEMBLIES REPRESENTED AND DETAILED IN THESE DOCUMENTS CONFORM TO THE STATE OF CALIFORNIA ENERGY CONSERVATION REGULATIONS AS MANDATED IN THE TITLE 24 ENERGY COMPLIANCE STANDARDS. WHILE THESE REGULATIONS RESULT IN A VERY TIGHT AIR AND MOISTURE EXTERIOR ENVELOPE, THE SELECTION OF SPECIFIC VAPOUR RETARDERS AND AIR BARRIERS, AND PREVAILING CLIMATIC CONDITIONS MAY AFFECT OR IMPACT OTHER MEMBERS WITHIN THE FLOOR, WALL, CEILING AND ROOF ASSEMBLIES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL HAVE FULL RESPONSIBILITY IN SELECTION OF THESE MATERIALS AND SHALL EACH MAKE KNOWN TO ALL OTHERS ANY AND ALL EFFECTS OR IMPACTS THAT MAY OCCUR AND AFFECT THE SELECTION OF OTHER ASSEMBLY MATERIALS OR PROCEDURES NECESSARY FOR PROPER CONSTRUCTION. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR TESTING OF THESE ASSEMBLIES SHOULD IT BE REQUIRED OR DETERMINED TO STUDY THE PERFORMANCE OF THESE ASSEMBLIES AGAINST MOISTURE INFILTRATION, MOISTURE ENTRAPMENT AND/OR ADVERSE AFFECTS ON THE DURABILITY, AESTHETICS, ENERGY USE EFFICIENCY AND REASONABLE COMFORT WITHIN THE BUILDING(S) AS MAY BE CAUSED BY MOISTURE INFILTRATION AND ENTRAPMENT.</p> <p>HAZARDOUS MATERIALS</p> <p>THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE NOT 'OWNER OR OPERATOR' AS DEFINED UNDER NESHAP SECTION 112 OF THE CLEAN AIR ACT AND THEREFORE SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, TRANSPORTATION, STORAGE OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIAL IN ANY FORM AT THE PROJECT PREMISES, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.</p> <p>FLASHING CONDITIONS</p> <p>FLASHING CONDITIONS SHOWN IN THESE PLANS WILL REQUIRE REMOVAL OF (E) SIDING ON ADJACENT SURFACES. CONTRACTOR TO COORDINATE W/ ARCHITECT FOR FLASHING INSTALLATION FOR AREAS WHERE SIDING IS NOT SCHEDULED FOR REPLACEMENT.</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
		<table><tr><th colspan="4">SYMBOLS</th></tr><tr><td>∠</td><td>ANGLE</td><td>MAT.</td><td>MATERIAL</td></tr><tr><td>ε</td><td>AND</td><td>MAX.</td><td>MAXIMUM</td></tr><tr><td>@</td><td>AT</td><td>MECH.</td><td>MECHANICAL</td></tr><tr><td>C</td><td>CENTER LINE</td><td>MEMB.</td><td>MEMBRANE</td></tr><tr><td>O</td><td>DIAMETER OR ROUND</td><td>MFR.</td><td>MANUFACTURER</td></tr><tr><td>d</td><td>PENNY</td><td>MIN.</td><td>MINIMUM</td></tr><tr><td># or NO.</td><td>NUMBER SQUARE FOOT</td><td>MSTR. BDRM.</td><td>MASTER BEDROOM</td></tr><tr><th colspan="4">ABBREVIATIONS</th></tr><tr><td>A.B.</td><td>ANCHOR BOLT</td><td></td><td></td></tr><tr><td>ABV</td><td>ABOVE</td><td>(N)</td><td>NEW</td></tr><tr><td>A.C. PAVING</td><td>ASPHALT CONCRETE PAVING</td><td>N.I.C.</td><td>NOT IN CONTRACT</td></tr><tr><td>A/C</td><td>AIR CONDITIONING</td><td>N.T.S.</td><td>NOT TO SCALE</td></tr><tr><td>A.D.</td><td>AREA DRAIN</td><td></td><td></td></tr><tr><td>ADH.</td><td>ADHESIVE</td><td>O/</td><td>OVER</td></tr><tr><td>ADJ.</td><td>ADJACENT</td><td>O.C.</td><td>ON CENTER (S)</td></tr><tr><td>APF</td><td>ABOVE FINISH FLOOR</td><td>O.H.</td><td>OPPOSITE HAND</td></tr><tr><td>ALT.</td><td>ALTERNATE</td><td>OPNG.</td><td>OPENING</td></tr><tr><td>ALUM.</td><td>ALUMINUM</td><td>OPP.</td><td>OPPOSITE</td></tr><tr><td>ANG.</td><td>ANGLE</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>BA.</td><td>BATHROOM</td><td>PAN.</td><td>PANTRY</td></tr><tr><td>BD.</td><td>BOARD</td><td>PDR.</td><td>POWDER ROOM</td></tr><tr><td>BDRM.</td><td>BEDROOM</td><td>PL.</td><td>PLATE</td></tr><tr><td>BLDG.</td><td>BUILDING</td><td>P. LAM.</td><td>PLASTIC LAMINATE</td></tr><tr><td>BLKG.</td><td>BLOCKING</td><td>PLAST.</td><td>PLASTER</td></tr><tr><td>BM.</td><td>BEAM</td><td>PLYWD.</td><td>PLYWOOD</td></tr><tr><td>BOT.</td><td>BOTTOM</td><td>PREFAB.</td><td>PREFABRICATED</td></tr><tr><td></td><td></td><td>PT.</td><td>PRESSURE-TREATED</td></tr><tr><td></td><td></td><td>PT.D.F.</td><td>PRESSURE TREATED DOUGLAS FIR</td></tr><tr><td></td><td></td><td>PT. SLAB</td><td>POST TENSION SLAB</td></tr><tr><td colspan="4"> </td></tr><tr><td>CAB.</td><td>CABINET</td><td></td><td></td></tr><tr><td>CEM.</td><td>CEMENT</td><td></td><td></td></tr><tr><td>CLG.</td><td>CEILING</td><td>RAG.</td><td>RETURN AIR GRILLE</td></tr><tr><td>CLO.</td><td>CLOSET</td><td>RFG.</td><td>REFRIGERATOR</td></tr><tr><td>CLR.</td><td>CLEAR</td><td>REG.</td><td>REGISTER</td></tr><tr><td>COL.</td><td>COLUMN</td><td>REQD.</td><td>REQUIRED</td></tr><tr><td>CONC.</td><td>CONCRETE</td><td>RM.</td><td>ROOM</td></tr><tr><td>CONST.</td><td>CONSTRUCTION</td><td>RWD.</td><td>REDWOOD</td></tr><tr><td>CONT.</td><td>CONTINUOUS</td><td>REF.</td><td>REFER</td></tr><tr><td>CTR.</td><td>CENTER</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>D.</td><td>DRYER</td><td>S.C.</td><td>SOLID CORE</td></tr><tr><td>DBL.</td><td>DOUBLE</td><td>SCH.</td><td>SCHEDULE</td></tr><tr><td>D.F.</td><td>DOUGLAS FIR OR DRINKING FOUNTAIN</td><td>S.G.D.</td><td>SLIDING GLASS DOOR</td></tr><tr><td>DIA.</td><td>DIAMETER</td><td>SHT.</td><td>SHEET</td></tr><tr><td>DIAG.</td><td>DIAGONAL</td><td>SIM.</td><td>SIMILAR</td></tr><tr><td>DIM.</td><td>DIMENSION</td><td>SPEC.</td><td>SPECIFICATION</td></tr><tr><td>DIN. RM.</td><td>DINING ROOM</td><td>S.T.C.</td><td>SOUND TRANSMISSION CLASS</td></tr><tr><td>DN.</td><td>DOWN</td><td>STL.</td><td>STEEL</td></tr><tr><td>D.S.</td><td>DOWNSPOUT</td><td>STOR.</td><td>STORAGE</td></tr><tr><td>DTL.</td><td>DETAIL</td><td>STRUCT.</td><td>STRUCTURE OR STRUCTURAL</td></tr><tr><td>DWG.</td><td>DRAWING</td><td>SUBFLR.</td><td>SUB-FLOOR</td></tr><tr><td></td><td></td><td>SQ.</td><td>SQUARE</td></tr><tr><td></td><td></td><td>SQ. FT.</td><td>SQUARE FOOT</td></tr><tr><td colspan="4"> </td></tr><tr><td>(E) or EXIST.</td><td>EXISTING</td><td></td><td></td></tr><tr><td>EA.</td><td>EACH</td><td>TEL.</td><td>TELEPHONE</td></tr><tr><td>EFS.</td><td>EXTERIOR INSULATION FINISH SYSTEM</td><td>T.O.</td><td>TOP OF</td></tr><tr><td>ELEC.</td><td>ELECTRICAL</td><td>TOIL.</td><td>TOILET</td></tr><tr><td>EQ.</td><td>EQUAL</td><td>T.P.H.</td><td>TOILET PAPER HOLDER</td></tr><tr><td>EQPT.</td><td>EQUIPMENT</td><td>TY.P.</td><td>TYPICAL</td></tr><tr><td>E.W.</td><td>EACH WAY</td><td></td><td></td></tr><tr><td>EXT.</td><td>EXTERIOR</td><td>U.O.N.</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td colspan="4"> </td></tr><tr><td>F.A.U.</td><td>FORCED AIR UNIT</td><td>VERT.</td><td>VERTICAL</td></tr><tr><td>F.A.R.</td><td>FLOOR AREA RATIO</td><td>V.G.D.F.</td><td>VERTICAL GRAIN DOUGLAS FIR</td></tr><tr><td>FD.</td><td>FLOOR DRAIN</td><td></td><td></td></tr><tr><td>FDN.</td><td>FOUNDATION</td><td>W.</td><td>WITH</td></tr><tr><td>FE.C.</td><td>FIRE EXTINGUISHER CABINET</td><td>W.</td><td>WASHER</td></tr><tr><td>FIN.</td><td>FINISH</td><td>WD.</td><td>WOOD</td></tr><tr><td>FLASHG.</td><td>FLASHING</td><td>WIN.</td><td>WINDOW</td></tr><tr><td>FLR.</td><td>FLOOR</td><td>W.P.</td><td>WATERPROOFING</td></tr><tr><td>F.O.C.</td><td>FACE OF CONCRETE</td><td>W.R. GYP. BD.</td><td>W.R. GYPSUM BOARD</td></tr><tr><td>F.O.M.</td><td>FACE OF MASONRY</td><td>WT.</td><td>WEIGHT</td></tr><tr><td>F.O.S.</td><td>FACE OF STUD</td><td>W.W.F.</td><td>WELDED WIRE FABRIC</td></tr><tr><td>FRM.</td><td>FRAME</td><td></td><td></td></tr><tr><td>FT.</td><td>FEET</td><td>YD.</td><td>YARD</td></tr><tr><td>FTG.</td><td>FOOTING</td><td></td><td></td></tr><tr><td colspan="4"> </td></tr><tr><td>GA.</td><td>GAUGE</td><th colspan="2">AGENCIES</th></tr><tr><td>GAR.</td><td>GARAGE</td><td>ACI.</td><td>AMERICAN CONCRETE INSTITUTE</td></tr><tr><td>GD.</td><td>GARBAGE DISPOSAL</td><td>AIA.</td><td>THE AMERICAN INSTITUTE OF ARCHITECTS</td></tr><tr><td>G.F.I.</td><td>GROUND FAULT INTERRUPTER</td><td>AISC.</td><td>AMERICAN INSTITUTE OF STEEL CONSTRUCTION</td></tr><tr><td>GI.</td><td>GALVANIZED IRON</td><td>ATG.</td><td>AMERICAN INSTITUTE OF TIMBER CONSTRUCTION</td></tr><tr><td>GLULAM.</td><td>GLULAM BEAM</td><td>ANSI.</td><td>AMERICAN NATIONAL STANDARDS INSTITUTE</td></tr><tr><td>GYP. BD.</td><td>GYPSUM BOARD</td><td>ASTM.</td><td>AMERICAN SOCIETY FOR TESTING & MATERIALS</td></tr><tr><td></td><td></td><td>CAC.</td><td>CALIFORNIA ADMINISTRATIVE CODE</td></tr><tr><td>H.B.</td><td>HOSE BIB</td><td>CBC.</td><td>CALIFORNIA BUILDING CODE</td></tr><tr><td>H.C.</td><td>HOLLOW CORE</td><td>CEC.</td><td>CALIFORNIA ELECTRICAL CODE</td></tr><tr><td>HDWD.</td><td>HARDWOOD</td><td>CMC.</td><td>CALIFORNIA MECHANICAL CODE</td></tr><tr><td>HORIZ.</td><td>HORIZONTAL</td><td>CPC.</td><td>CALIFORNIA PLUMBING CODE</td></tr><tr><td>HR.</td><td>HOUR</td><td>CSI.</td><td>CONSTRUCTION SPECIFICATION INSTITUTE</td></tr><tr><td>HT.</td><td>HEIGHT</td><td>ICBO.</td><td>INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td></tr><tr><td>HVAC.</td><td>HEATING VENTILATION & AIR CONDITIONING</td><td>NFPA.</td><td>NATIONAL FIRE PROTECTION ASSOCIATION</td></tr><tr><td></td><td></td><td>NRCA.</td><td>NATIONAL ROOFING CONTRACTORS ASSOCIATION</td></tr><tr><td></td><td></td><td>SMACNA.</td><td>SHEET METAL & AIR CONDITIONING CONTRACTORS</td></tr><tr><td>I.I.C.</td><td>IMPACT INSULATION CLASS</td><td></td><td></td></tr><tr><td>IN.</td><td>INCH</td><td></td><td></td></tr><tr><td>INCL.</td><td>INCLUDE</td><td>UBC.</td><td>NATIONAL ASSOCIATION</td></tr><tr><td>INSUL.</td><td>INSULATION</td><td>UFC.</td><td>UNIFORM BUILDING CODE</td></tr><tr><td>INT.</td><td>INTERIOR</td><td>UL.</td><td>UNIFORM FIRE CODE</td></tr><tr><td></td><td></td><td>WIC.</td><td>UNDERWRITERS LABORATORIES, INC.</td></tr><tr><td></td><td></td><td></td><td>WOODWORK INSTITUTE OF CALIFORNIA</td></tr><tr><td colspan="4"> </td></tr><tr><td>JAN.</td><td>JANITOR</td><th colspan="2">ABBREVIATED CODES & STANDARDS</th></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>KIT.</td><td>KITCHEN</td><td>ADA</td><td>AMERICANS WITH DISABILITIES ACT</td></tr><tr><td></td><td></td><td>ADAAG.</td><td>AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES</td></tr><tr><td colspan="4"> </td></tr><tr><td>LAM.</td><td>LAMINATE</td><td></td><td></td></tr><tr><td>LAUND.</td><td>LAUNDRY</td><td></td><td></td></tr><tr><td>LAV.</td><td>LAVATORY</td><td></td><td></td></tr><tr><td>LB. or #</td><td>POUND</td><td></td><td></td></tr><tr><td>LIN.</td><td>LINEN</td><td></td><td></td></tr><tr><td>LIV. RM.</td><td>LIVING ROOM</td><td></td><td></td></tr><tr><td>LT. WT.</td><td>LIGHTWEIGHT</td><td></td><td></td></tr></table>		SYMBOLS				∠	ANGLE	MAT.	MATERIAL	ε	AND	MAX.	MAXIMUM	@	AT	MECH.	MECHANICAL	C	CENTER LINE	MEMB.	MEMBRANE	O	DIAMETER OR ROUND	MFR.	MANUFACTURER	d	PENNY	MIN.	MINIMUM	# or NO.	NUMBER SQUARE FOOT	MSTR. BDRM.	MASTER BEDROOM	ABBREVIATIONS				A.B.	ANCHOR BOLT			ABV	ABOVE	(N)	NEW	A.C. PAVING	ASPHALT CONCRETE PAVING	N.I.C.	NOT IN CONTRACT	A/C	AIR CONDITIONING	N.T.S.	NOT TO SCALE	A.D.	AREA DRAIN			ADH.	ADHESIVE	O/	OVER	ADJ.	ADJACENT	O.C.	ON CENTER (S)	APF	ABOVE FINISH FLOOR	O.H.	OPPOSITE HAND	ALT.	ALTERNATE	OPNG.	OPENING	ALUM.	ALUMINUM	OPP.	OPPOSITE	ANG.	ANGLE							BA.	BATHROOM	PAN.	PANTRY	BD.	BOARD	PDR.	POWDER ROOM	BDRM.	BEDROOM	PL.	PLATE	BLDG.	BUILDING	P. LAM.	PLASTIC LAMINATE	BLKG.	BLOCKING	PLAST.	PLASTER	BM.	BEAM	PLYWD.	PLYWOOD	BOT.	BOTTOM	PREFAB.	PREFABRICATED			PT.	PRESSURE-TREATED			PT.D.F.	PRESSURE TREATED DOUGLAS FIR			PT. SLAB	POST TENSION SLAB					CAB.	CABINET			CEM.	CEMENT			CLG.	CEILING	RAG.	RETURN AIR GRILLE	CLO.	CLOSET	RFG.	REFRIGERATOR	CLR.	CLEAR	REG.	REGISTER	COL.	COLUMN	REQD.	REQUIRED	CONC.	CONCRETE	RM.	ROOM	CONST.	CONSTRUCTION	RWD.	REDWOOD	CONT.	CONTINUOUS	REF.	REFER	CTR.	CENTER							D.	DRYER	S.C.	SOLID CORE	DBL.	DOUBLE	SCH.	SCHEDULE	D.F.	DOUGLAS FIR OR DRINKING FOUNTAIN	S.G.D.	SLIDING GLASS DOOR	DIA.	DIAMETER	SHT.	SHEET	DIAG.	DIAGONAL	SIM.	SIMILAR	DIM.	DIMENSION	SPEC.	SPECIFICATION	DIN. RM.	DINING ROOM	S.T.C.	SOUND TRANSMISSION CLASS	DN.	DOWN	STL.	STEEL	D.S.	DOWNSPOUT	STOR.	STORAGE	DTL.	DETAIL	STRUCT.	STRUCTURE OR STRUCTURAL	DWG.	DRAWING	SUBFLR.	SUB-FLOOR			SQ.	SQUARE			SQ. FT.	SQUARE FOOT					(E) or EXIST.	EXISTING			EA.	EACH	TEL.	TELEPHONE	EFS.	EXTERIOR INSULATION FINISH SYSTEM	T.O.	TOP OF	ELEC.	ELECTRICAL	TOIL.	TOILET	EQ.	EQUAL	T.P.H.	TOILET PAPER HOLDER	EQPT.	EQUIPMENT	TY.P.	TYPICAL	E.W.	EACH WAY			EXT.	EXTERIOR	U.O.N.	UNLESS OTHERWISE NOTED					F.A.U.	FORCED AIR UNIT	VERT.	VERTICAL	F.A.R.	FLOOR AREA RATIO	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR	FD.	FLOOR DRAIN			FDN.	FOUNDATION	W.	WITH	FE.C.	FIRE EXTINGUISHER CABINET	W.	WASHER	FIN.	FINISH	WD.	WOOD	FLASHG.	FLASHING	WIN.	WINDOW	FLR.	FLOOR	W.P.	WATERPROOFING	F.O.C.	FACE OF CONCRETE	W.R. GYP. BD.	W.R. GYPSUM BOARD	F.O.M.	FACE OF MASONRY	WT.	WEIGHT	F.O.S.	FACE OF STUD	W.W.F.	WELDED WIRE FABRIC	FRM.	FRAME			FT.	FEET	YD.	YARD	FTG.	FOOTING							GA.	GAUGE	AGENCIES		GAR.	GARAGE	ACI.	AMERICAN CONCRETE INSTITUTE	GD.	GARBAGE DISPOSAL	AIA.	THE AMERICAN INSTITUTE OF ARCHITECTS	G.F.I.	GROUND FAULT INTERRUPTER	AISC.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	GI.	GALVANIZED IRON	ATG.	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	GLULAM.	GLULAM BEAM	ANSI.	AMERICAN NATIONAL STANDARDS INSTITUTE	GYP. BD.	GYPSUM BOARD	ASTM.	AMERICAN SOCIETY FOR TESTING & MATERIALS			CAC.	CALIFORNIA ADMINISTRATIVE CODE	H.B.	HOSE BIB	CBC.	CALIFORNIA BUILDING CODE	H.C.	HOLLOW CORE	CEC.	CALIFORNIA ELECTRICAL CODE	HDWD.	HARDWOOD	CMC.	CALIFORNIA MECHANICAL CODE	HORIZ.	HORIZONTAL	CPC.	CALIFORNIA PLUMBING CODE	HR.	HOUR	CSI.	CONSTRUCTION SPECIFICATION INSTITUTE	HT.	HEIGHT	ICBO.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	HVAC.	HEATING VENTILATION & AIR CONDITIONING	NFPA.	NATIONAL FIRE PROTECTION ASSOCIATION			NRCA.	NATIONAL ROOFING CONTRACTORS ASSOCIATION			SMACNA.	SHEET METAL & AIR CONDITIONING CONTRACTORS	I.I.C.	IMPACT INSULATION CLASS			IN.	INCH			INCL.	INCLUDE	UBC.	NATIONAL ASSOCIATION	INSUL.	INSULATION	UFC.	UNIFORM BUILDING CODE	INT.	INTERIOR	UL.	UNIFORM FIRE CODE			WIC.	UNDERWRITERS LABORATORIES, INC.				WOODWORK INSTITUTE OF CALIFORNIA					JAN.	JANITOR	ABBREVIATED CODES & STANDARDS						KIT.	KITCHEN	ADA	AMERICANS WITH DISABILITIES ACT			ADAAG.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES					LAM.	LAMINATE			LAUND.	LAUNDRY			LAV.	LAVATORY			LB. or #	POUND			LIN.	LINEN			LIV. RM.	LIVING ROOM			LT. WT.	LIGHTWEIGHT		
SYMBOLS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
∠	ANGLE	MAT.	MATERIAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ε	AND	MAX.	MAXIMUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
@	AT	MECH.	MECHANICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
C	CENTER LINE	MEMB.	MEMBRANE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
O	DIAMETER OR ROUND	MFR.	MANUFACTURER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
d	PENNY	MIN.	MINIMUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
# or NO.	NUMBER SQUARE FOOT	MSTR. BDRM.	MASTER BEDROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ABBREVIATIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
A.B.	ANCHOR BOLT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
ABV	ABOVE	(N)	NEW																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
A.C. PAVING	ASPHALT CONCRETE PAVING	N.I.C.	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
A/C	AIR CONDITIONING	N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
A.D.	AREA DRAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
ADH.	ADHESIVE	O/	OVER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ADJ.	ADJACENT	O.C.	ON CENTER (S)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
APF	ABOVE FINISH FLOOR	O.H.	OPPOSITE HAND																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ALT.	ALTERNATE	OPNG.	OPENING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ALUM.	ALUMINUM	OPP.	OPPOSITE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ANG.	ANGLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
BA.	BATHROOM	PAN.	PANTRY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BD.	BOARD	PDR.	POWDER ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BDRM.	BEDROOM	PL.	PLATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BLDG.	BUILDING	P. LAM.	PLASTIC LAMINATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BLKG.	BLOCKING	PLAST.	PLASTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BM.	BEAM	PLYWD.	PLYWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
BOT.	BOTTOM	PREFAB.	PREFABRICATED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		PT.	PRESSURE-TREATED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		PT.D.F.	PRESSURE TREATED DOUGLAS FIR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		PT. SLAB	POST TENSION SLAB																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CAB.	CABINET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
CEM.	CEMENT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
CLG.	CEILING	RAG.	RETURN AIR GRILLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CLO.	CLOSET	RFG.	REFRIGERATOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CLR.	CLEAR	REG.	REGISTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
COL.	COLUMN	REQD.	REQUIRED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CONC.	CONCRETE	RM.	ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CONST.	CONSTRUCTION	RWD.	REDWOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CONT.	CONTINUOUS	REF.	REFER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
CTR.	CENTER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
D.	DRYER	S.C.	SOLID CORE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DBL.	DOUBLE	SCH.	SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
D.F.	DOUGLAS FIR OR DRINKING FOUNTAIN	S.G.D.	SLIDING GLASS DOOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DIA.	DIAMETER	SHT.	SHEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DIAG.	DIAGONAL	SIM.	SIMILAR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DIM.	DIMENSION	SPEC.	SPECIFICATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DIN. RM.	DINING ROOM	S.T.C.	SOUND TRANSMISSION CLASS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DN.	DOWN	STL.	STEEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
D.S.	DOWNSPOUT	STOR.	STORAGE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DTL.	DETAIL	STRUCT.	STRUCTURE OR STRUCTURAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
DWG.	DRAWING	SUBFLR.	SUB-FLOOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		SQ.	SQUARE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		SQ. FT.	SQUARE FOOT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
(E) or EXIST.	EXISTING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
EA.	EACH	TEL.	TELEPHONE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
EFS.	EXTERIOR INSULATION FINISH SYSTEM	T.O.	TOP OF																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
ELEC.	ELECTRICAL	TOIL.	TOILET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
EQ.	EQUAL	T.P.H.	TOILET PAPER HOLDER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
EQPT.	EQUIPMENT	TY.P.	TYPICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
E.W.	EACH WAY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
EXT.	EXTERIOR	U.O.N.	UNLESS OTHERWISE NOTED																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
F.A.U.	FORCED AIR UNIT	VERT.	VERTICAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
F.A.R.	FLOOR AREA RATIO	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FD.	FLOOR DRAIN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
FDN.	FOUNDATION	W.	WITH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FE.C.	FIRE EXTINGUISHER CABINET	W.	WASHER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FIN.	FINISH	WD.	WOOD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FLASHG.	FLASHING	WIN.	WINDOW																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FLR.	FLOOR	W.P.	WATERPROOFING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
F.O.C.	FACE OF CONCRETE	W.R. GYP. BD.	W.R. GYPSUM BOARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
F.O.M.	FACE OF MASONRY	WT.	WEIGHT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
F.O.S.	FACE OF STUD	W.W.F.	WELDED WIRE FABRIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FRM.	FRAME																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
FT.	FEET	YD.	YARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
FTG.	FOOTING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
GA.	GAUGE	AGENCIES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
GAR.	GARAGE	ACI.	AMERICAN CONCRETE INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
GD.	GARBAGE DISPOSAL	AIA.	THE AMERICAN INSTITUTE OF ARCHITECTS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
G.F.I.	GROUND FAULT INTERRUPTER	AISC.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
GI.	GALVANIZED IRON	ATG.	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
GLULAM.	GLULAM BEAM	ANSI.	AMERICAN NATIONAL STANDARDS INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
GYP. BD.	GYPSUM BOARD	ASTM.	AMERICAN SOCIETY FOR TESTING & MATERIALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		CAC.	CALIFORNIA ADMINISTRATIVE CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
H.B.	HOSE BIB	CBC.	CALIFORNIA BUILDING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
H.C.	HOLLOW CORE	CEC.	CALIFORNIA ELECTRICAL CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
HDWD.	HARDWOOD	CMC.	CALIFORNIA MECHANICAL CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
HORIZ.	HORIZONTAL	CPC.	CALIFORNIA PLUMBING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
HR.	HOUR	CSI.	CONSTRUCTION SPECIFICATION INSTITUTE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
HT.	HEIGHT	ICBO.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
HVAC.	HEATING VENTILATION & AIR CONDITIONING	NFPA.	NATIONAL FIRE PROTECTION ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		NRCA.	NATIONAL ROOFING CONTRACTORS ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		SMACNA.	SHEET METAL & AIR CONDITIONING CONTRACTORS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
I.I.C.	IMPACT INSULATION CLASS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
IN.	INCH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
INCL.	INCLUDE	UBC.	NATIONAL ASSOCIATION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
INSUL.	INSULATION	UFC.	UNIFORM BUILDING CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
INT.	INTERIOR	UL.	UNIFORM FIRE CODE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		WIC.	UNDERWRITERS LABORATORIES, INC.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
			WOODWORK INSTITUTE OF CALIFORNIA																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
JAN.	JANITOR	ABBREVIATED CODES & STANDARDS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
KIT.	KITCHEN	ADA	AMERICANS WITH DISABILITIES ACT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
		ADAAG.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
LAM.	LAMINATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LAUND.	LAUNDRY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LAV.	LAVATORY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LB. or #	POUND																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LIN.	LINEN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LIV. RM.	LIVING ROOM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
LT. WT.	LIGHTWEIGHT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										

ARCHITECTURE



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com



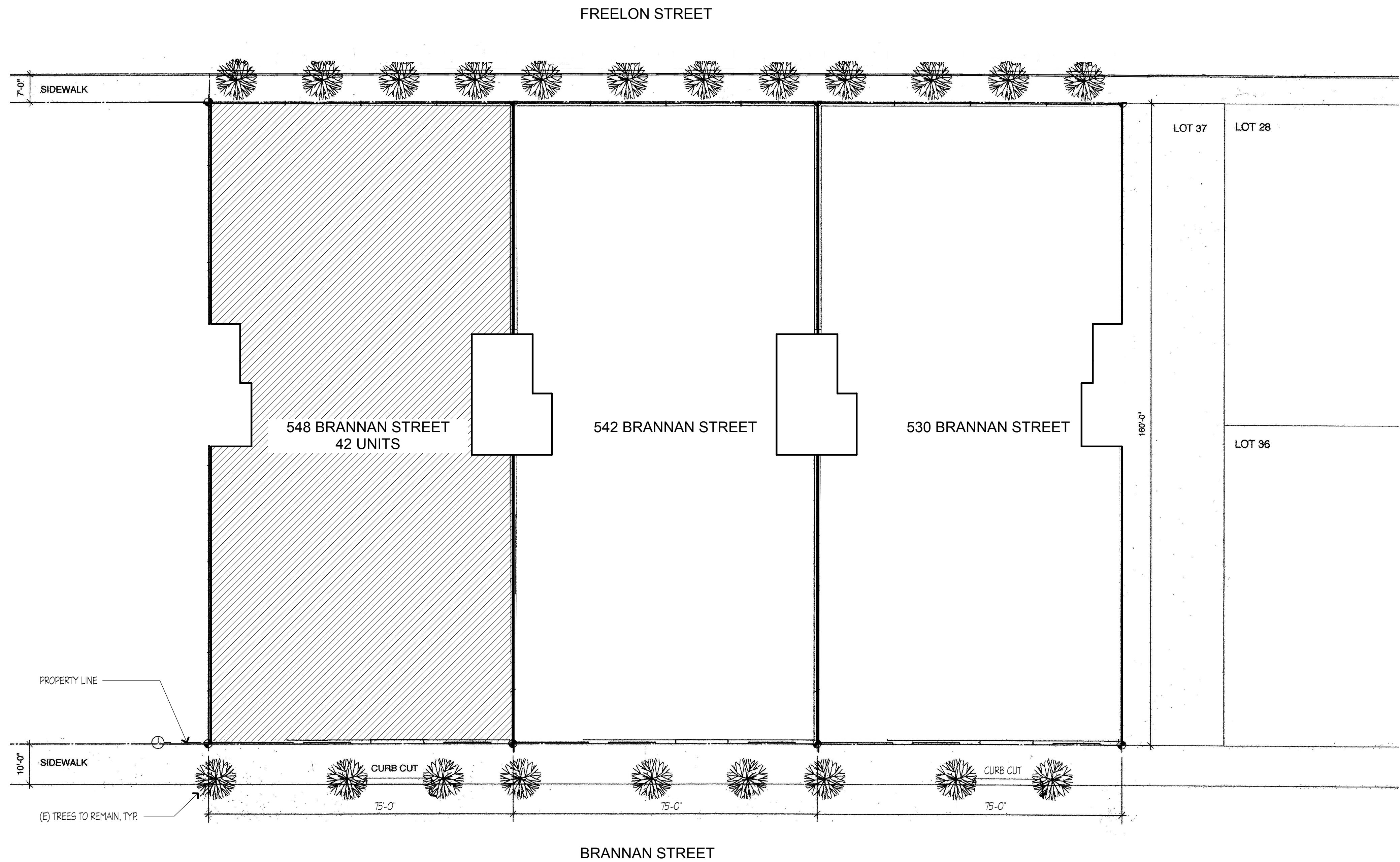
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS	
GENERAL NOTES	

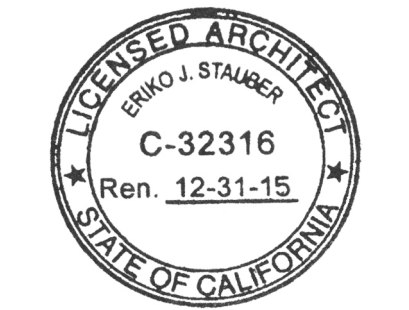
JOB:	DRAWN
1303	PI
SHEET NO.	
A0.1	



1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN NOTES

1. THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL IMAGE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDING OR SITE COMPONENTS.



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

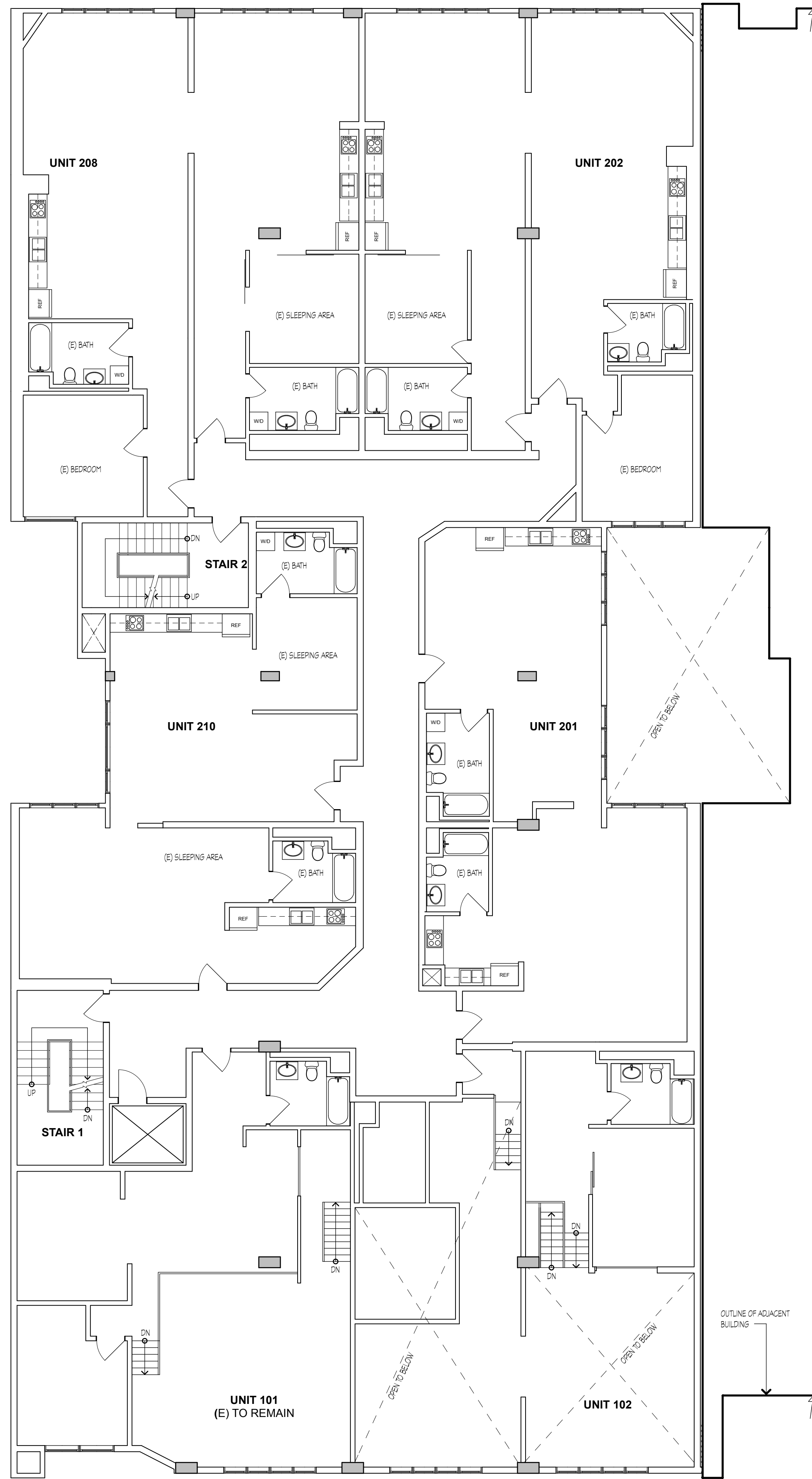
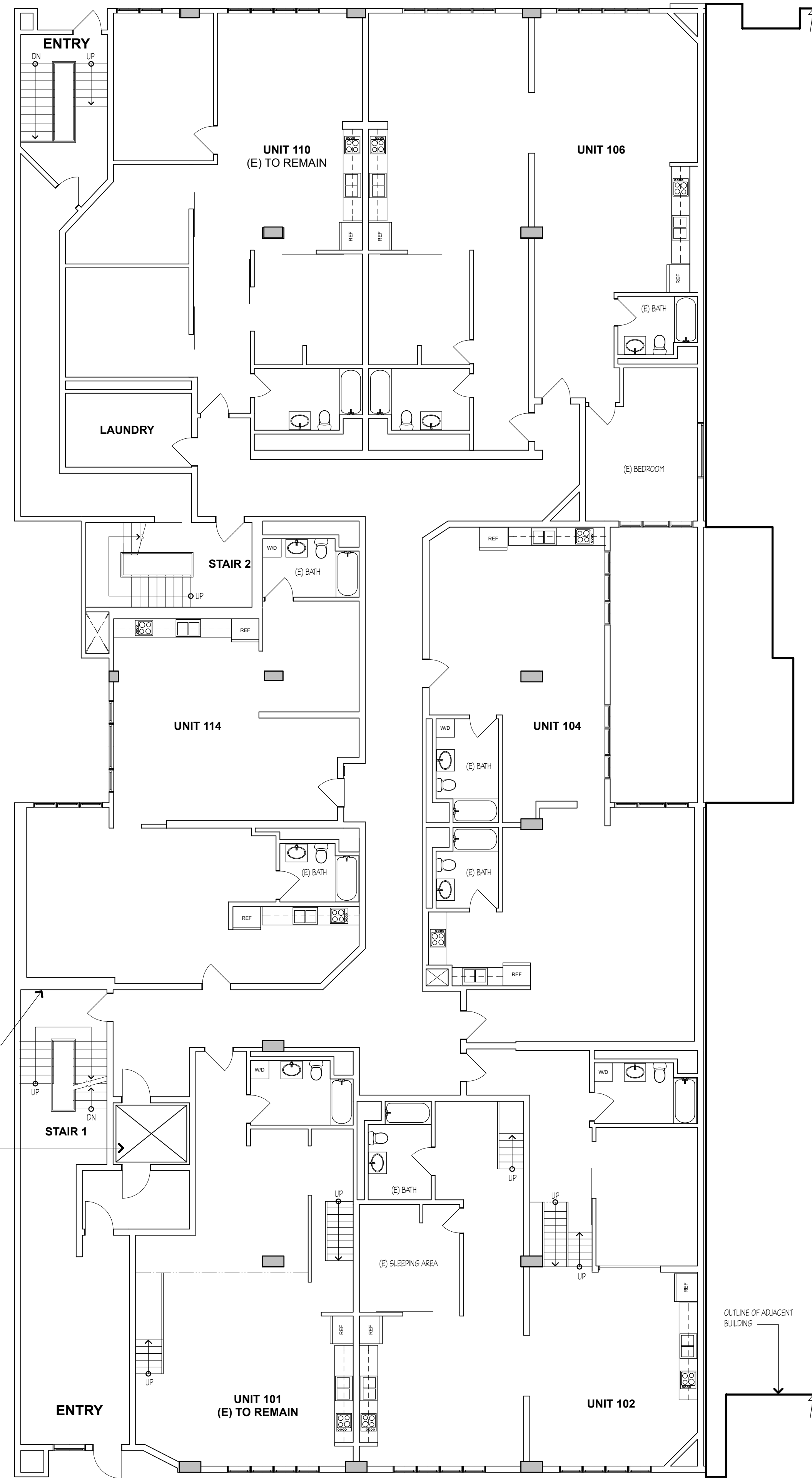
BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

SITE PLAN

JOB: 1303	DRAWN PI
NORTH: 	SHEET NO. A1.0



- BUILDING PLAN NOTES**
- EXISTING NON-CONFORMING UNITS
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - NEW WALL TO MATCH EXISTING (NON-LOAD BEARING WALL, TYP.)
 - NEW PARTITION WALL TYP.

ARCHITECTURE

915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com



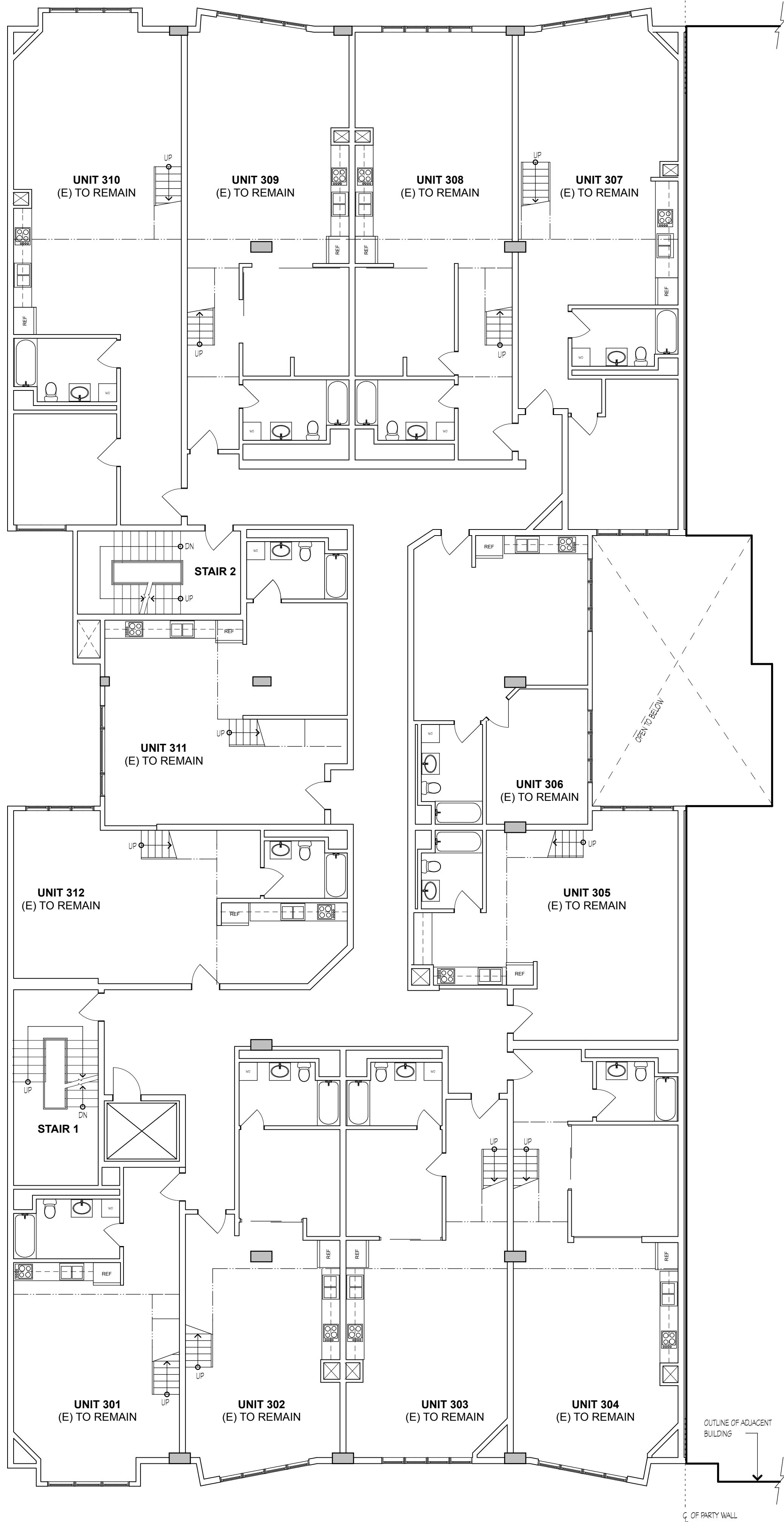
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

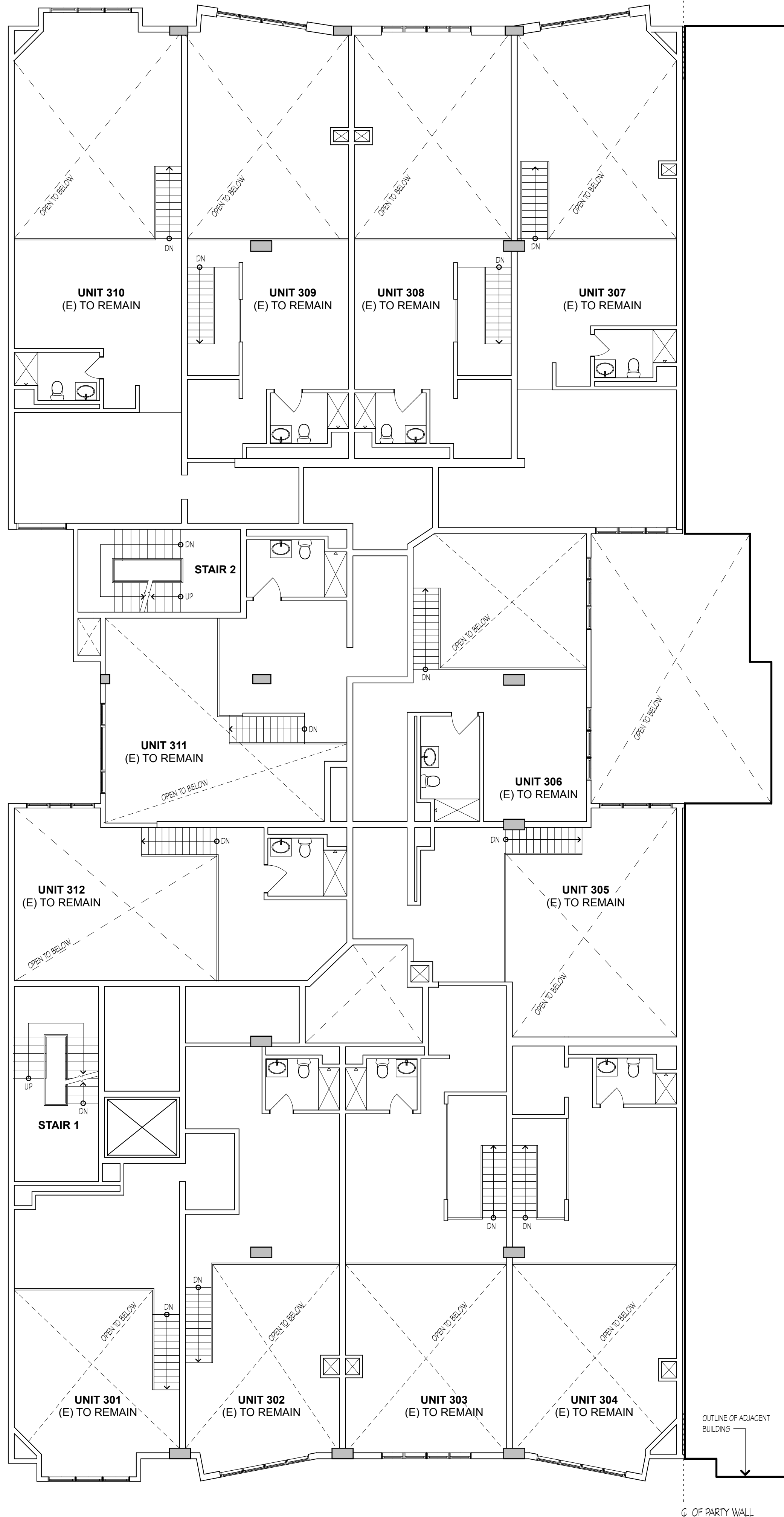
548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS	

EXISTING BUILDING PLAN	
JOB: 1303	DRAWN PI
	SHEET NO. A2.0



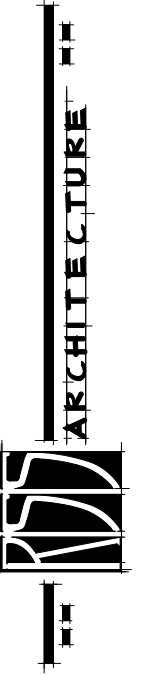
3 EXISTING THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



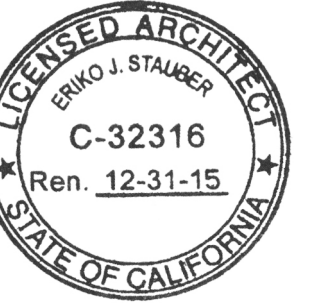
4 EXISTING THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rsdarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

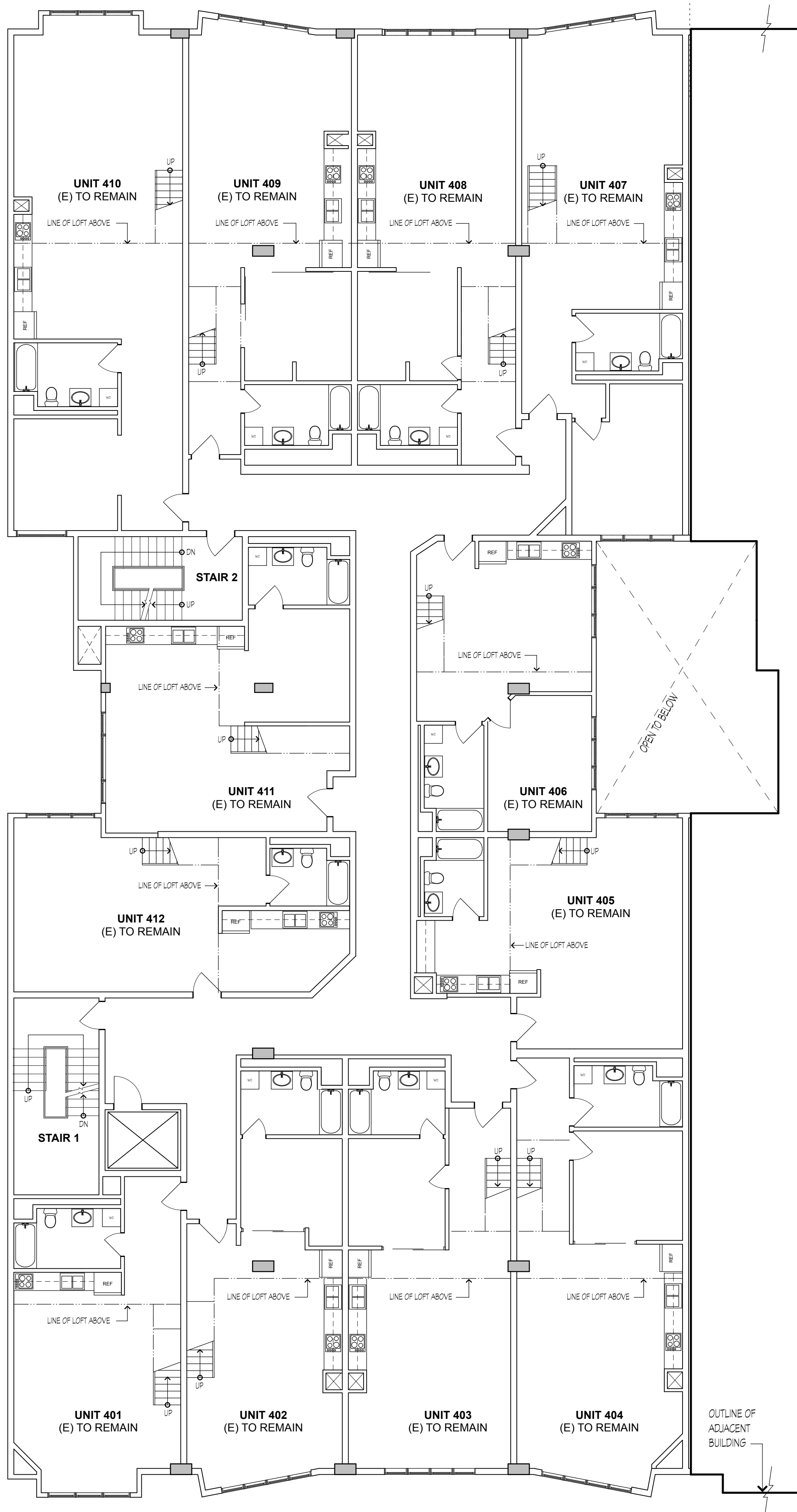
1 07-08-2013

EXISTING BUILDING PLAN

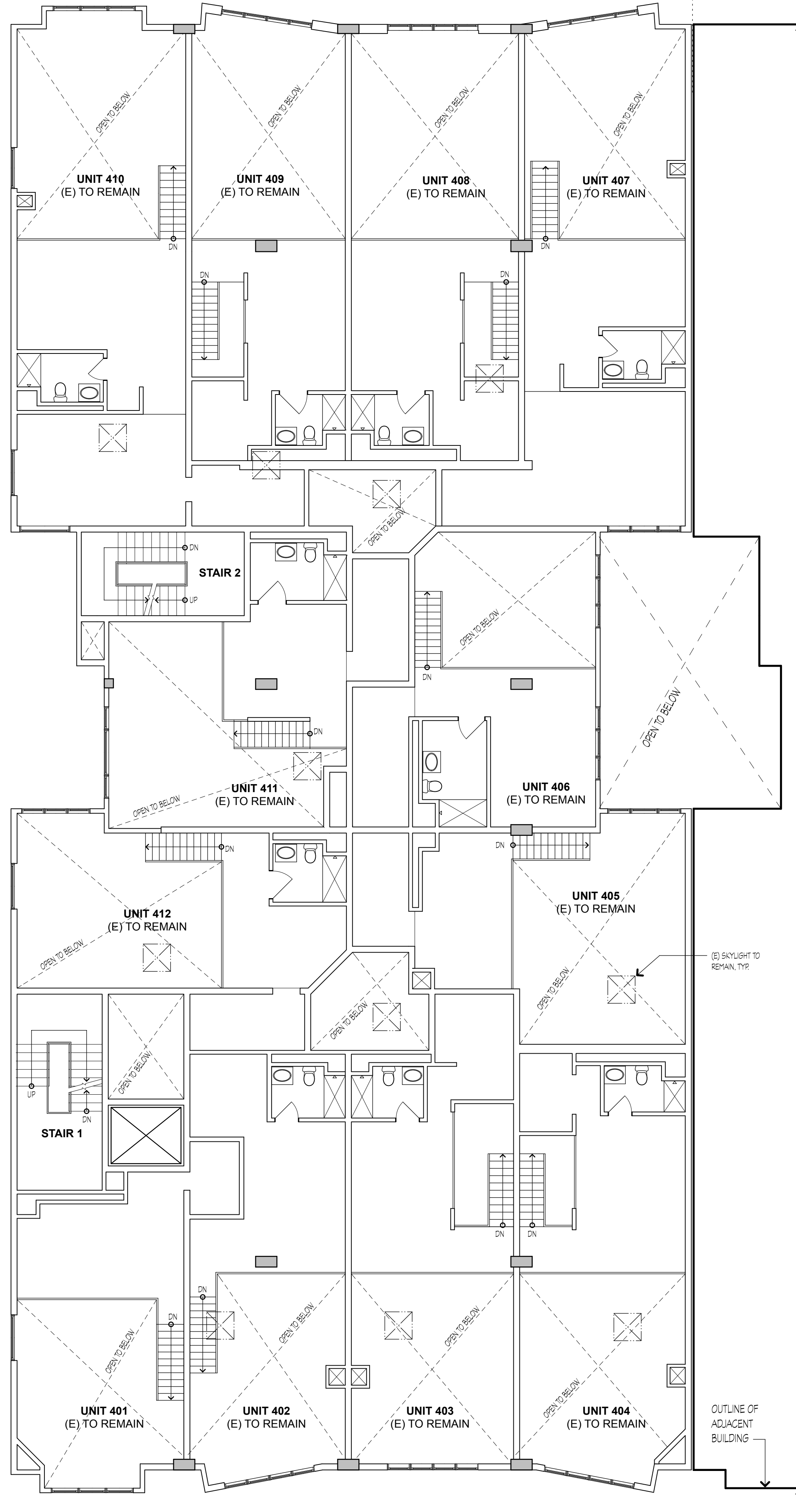
JOB: 1303
DRAWN: PI

SHEET NO.

A2.1



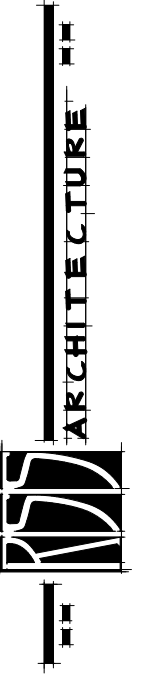
5 EXISTING FOURTH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



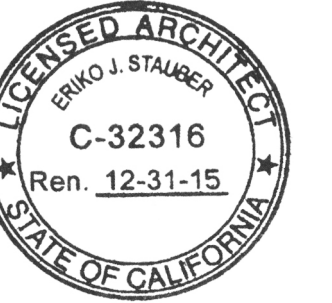
6 EXISTING FOURTH FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

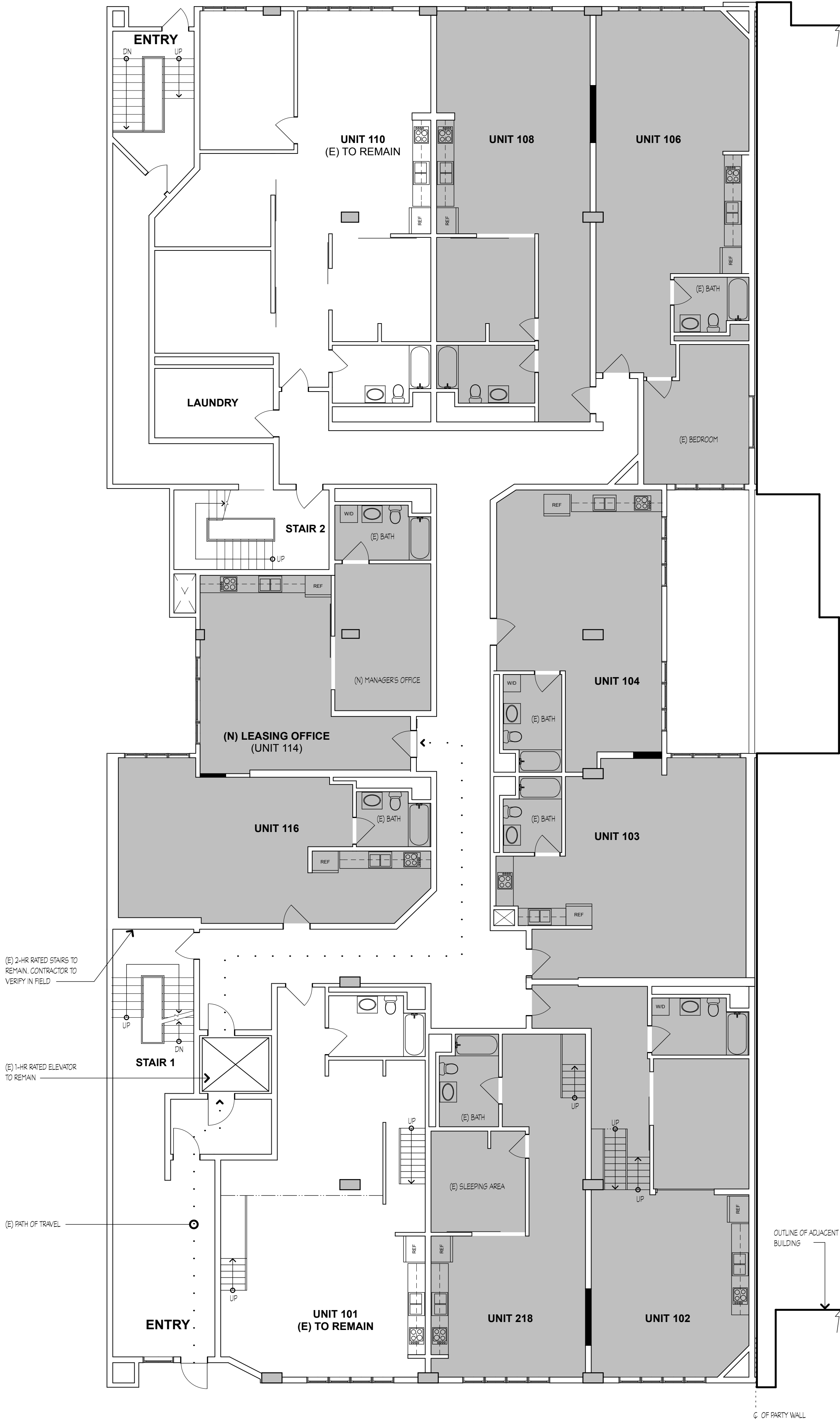
EXISTING BUILDING PLAN

JOB:
1303

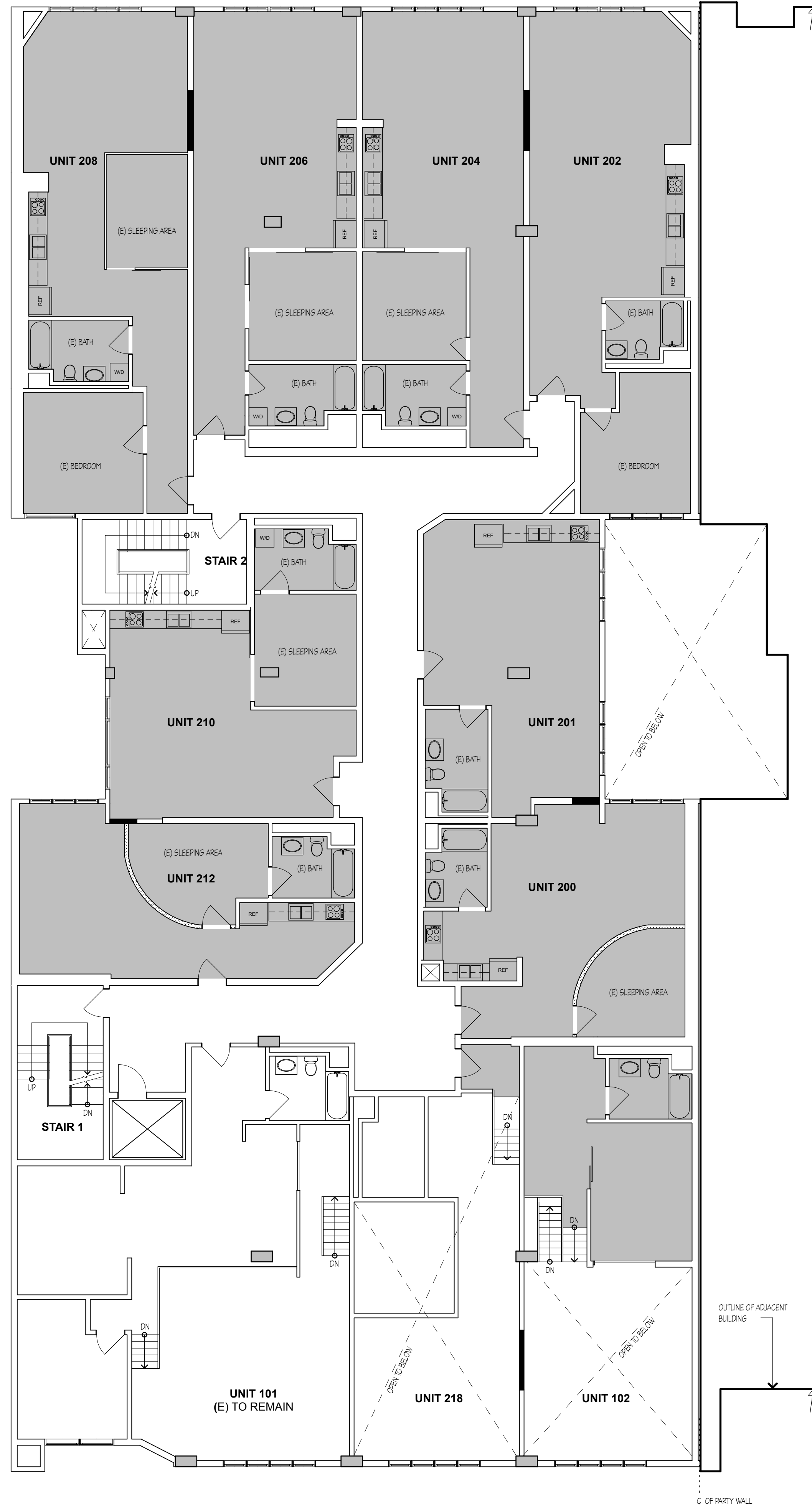
DRAWN
PI

SHEET NO.

A2.2



1 TYPICAL FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 TYPICAL SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.

UNIT DATA

42 UNITS

UNIT #	NOTES	EXISTING SQ. FT.	PROPOSED SQ. FT.	UNIT TYPE
101	LIVE/WORK	-	-	1 BDRM
102	DWELLING	1,910	1,190	1 BDRM
103	DWELLING	-	660	STUDIO
104	LIVE/WORK	1,235	575	STUDIO
106	DWELLING	1,670	880	1 BDRM
108	LIVE/WORK	-	790	1 BDRM
110	LIVE/WORK	-	-	2 BDRM
114	LIVE/WORK	1,245	655	STUDIO
116	DWELLING	-	580	STUDIO
200	DWELLING	-	650	STUDIO
201	LIVE/WORK	1,230	580	STUDIO
202	DWELLING	1,635	845	1 BDRM
204	LIVE/WORK	-	790	1 BDRM
206	DWELLING	-	800	1 BDRM
208	LIVE/WORK	1,730	930	1 BDRM
210	DWELLING	1,280	680	STUDIO
212	LIVE/WORK	-	600	STUDIO
218	LIVE/WORK	-	720	1 BDRM
301	LIVE/WORK	-	-	STUDIO
302	LIVE/WORK	-	-	1 BDRM
303	LIVE/WORK	-	-	1 BDRM
304	LIVE/WORK	-	-	1 BDRM
305	LIVE/WORK	-	-	STUDIO
306	LIVE/WORK	-	-	1 BDRM
307	LIVE/WORK	-	-	1 BDRM
308	LIVE/WORK	-	-	1 BDRM
309	LIVE/WORK	-	-	1 BDRM
310	LIVE/WORK	-	-	1 BDRM
311	LIVE/WORK	-	-	1 BDRM
312	LIVE/WORK	-	-	STUDIO
401	LIVE/WORK	-	-	STUDIO
402	LIVE/WORK	-	-	1 BDRM
403	LIVE/WORK	-	-	1 BDRM
404	LIVE/WORK	-	-	1 BDRM
405	LIVE/WORK	-	-	STUDIO
406	LIVE/WORK	-	-	STUDIO
407	LIVE/WORK	-	-	1 BDRM
408	LIVE/WORK	-	-	1 BDRM
409	LIVE/WORK	-	-	1 BDRM
410	LIVE/WORK	-	-	1 BDRM
411	LIVE/WORK	-	-	1 BDRM
412	LIVE/WORK	-	-	STUDIO

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

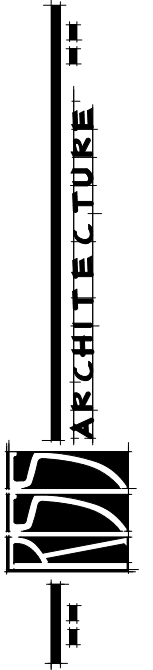
PROPOSED BUILDING PLAN

JOB:
1303

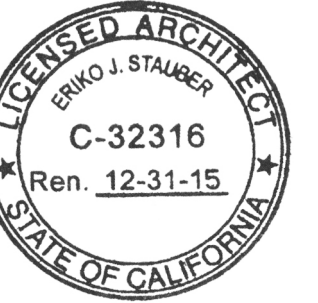
DRAWN
PI

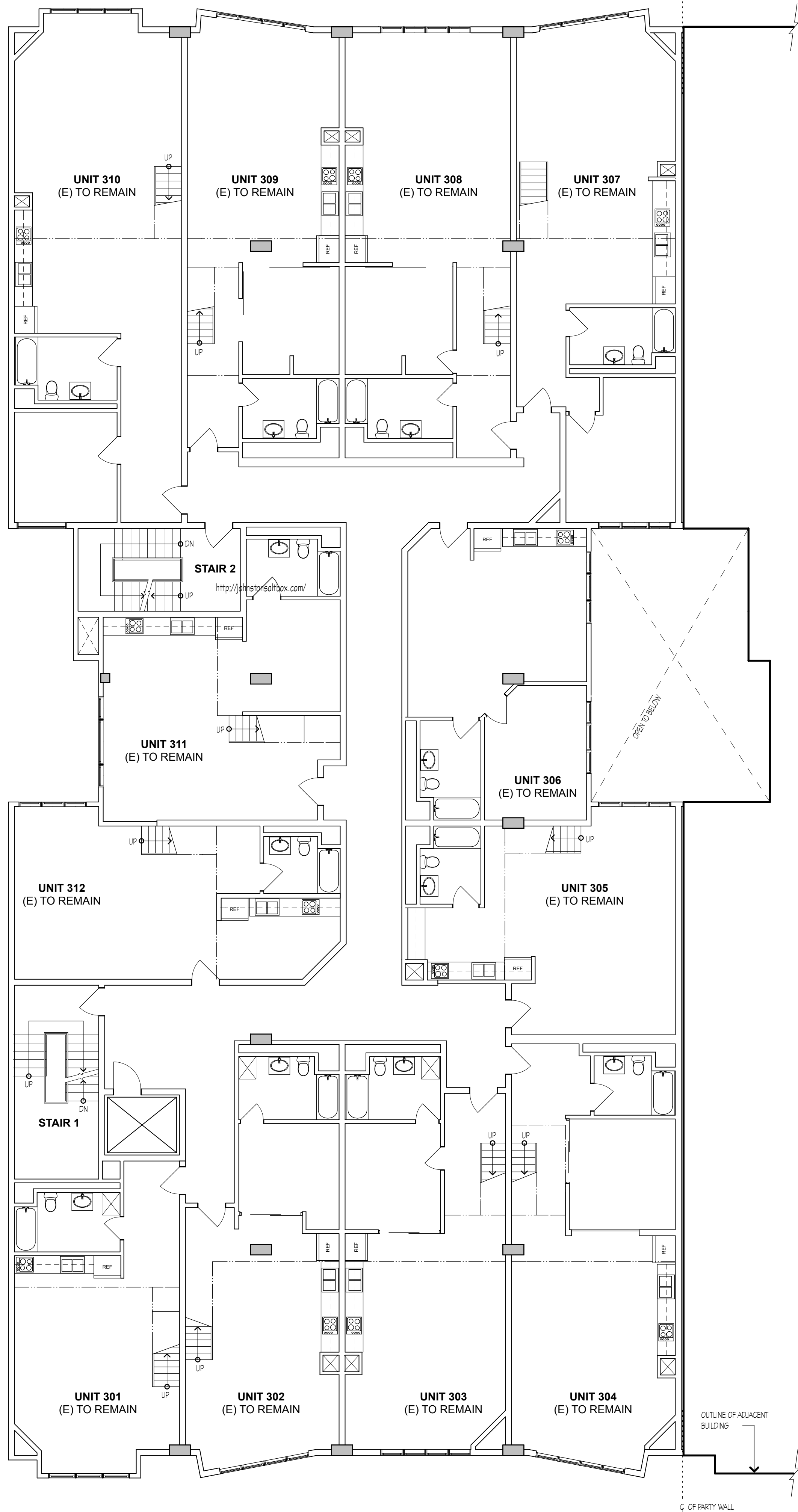
SHEET NO.

A2.3

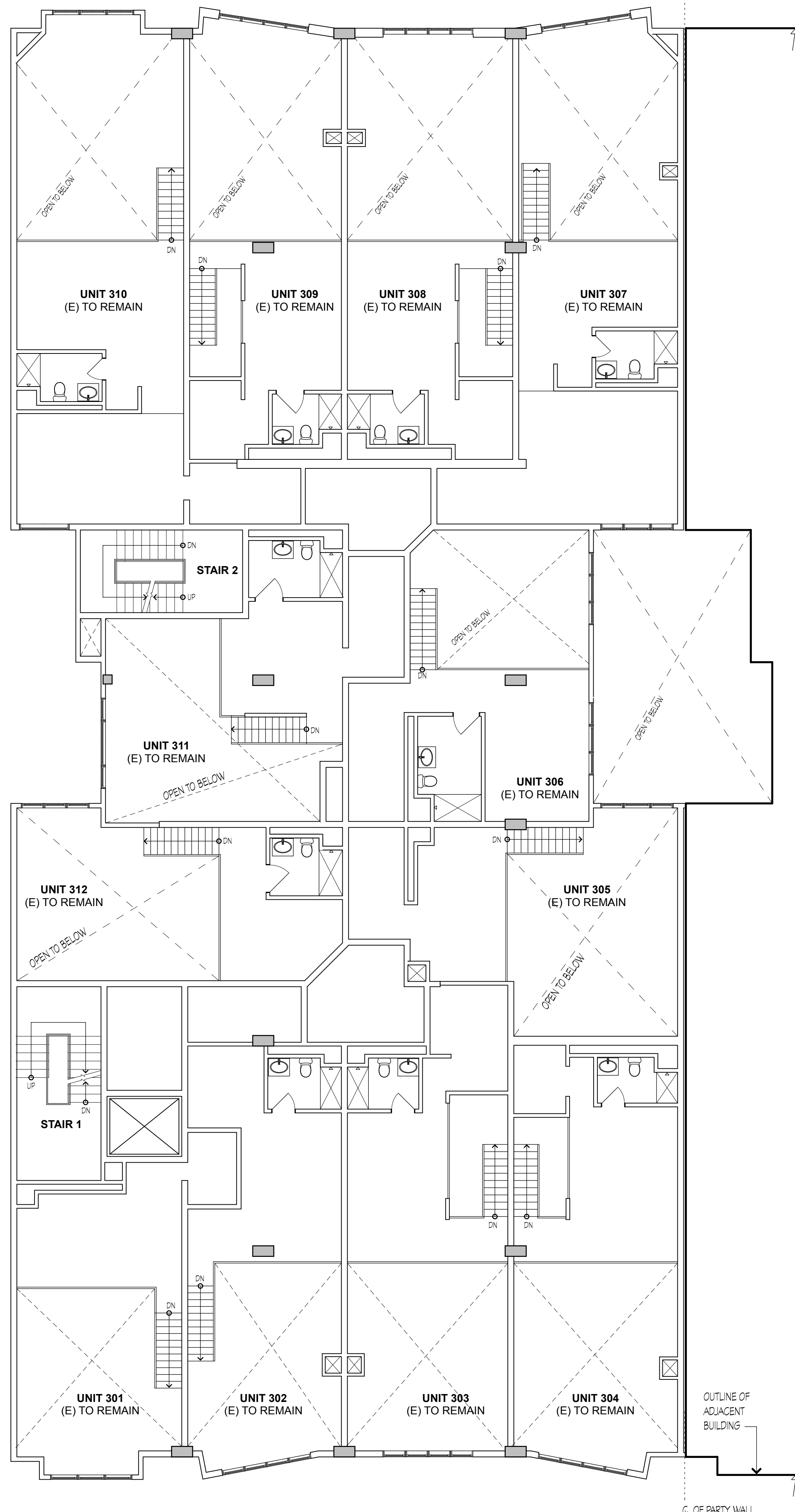


915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph: 650.802.6865
Fax: 650.802.0107
www.jssarchitecture.com





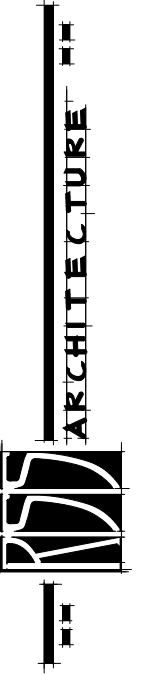
3 TYPICAL THIRD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



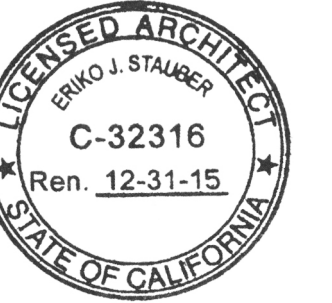
4 TYPICAL THIRD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph: 650.802.6865
Fax: 650.802.0107
www.jssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

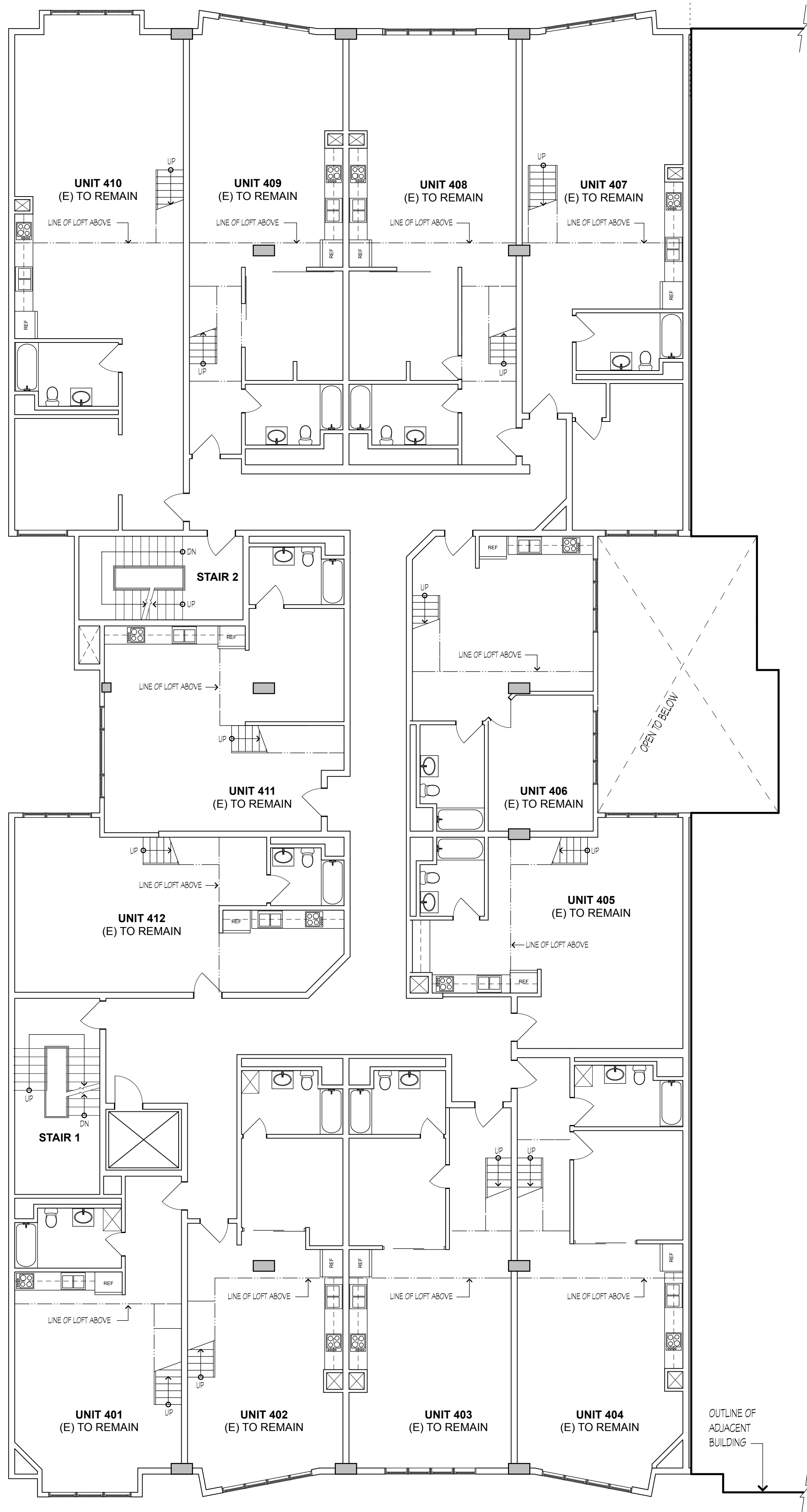
REVISIONS

1. 07-08-2013

PROPOSED BUILDING PLAN

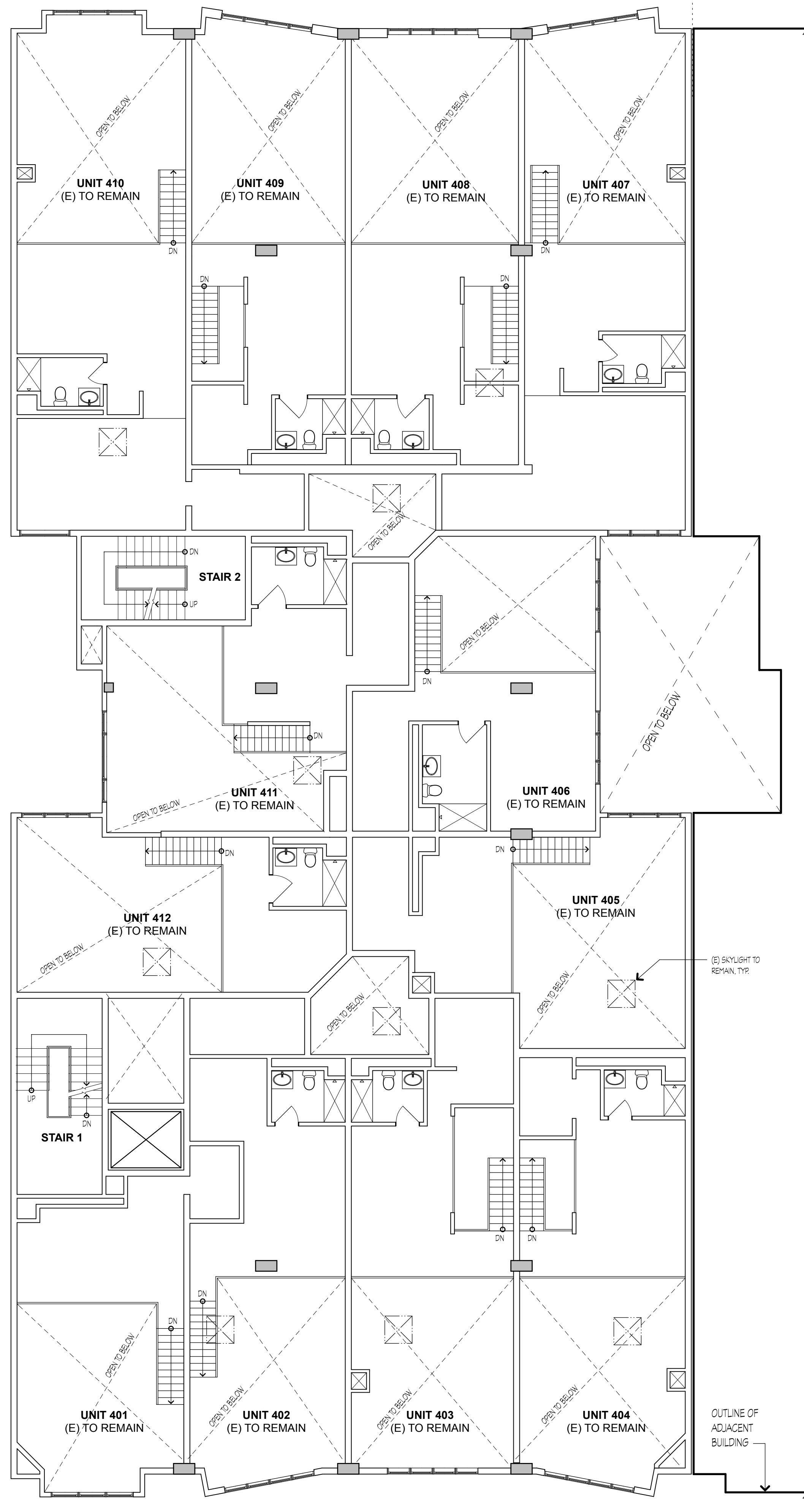
JOB:	DRAWN
1303	PI
SHEET NO.	

A2.4



5 TYPICAL FOURTH FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"

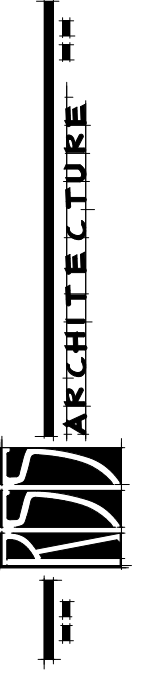


6 TYPICAL FOURTH FLOOR MEZZANINE BUILDING PLAN

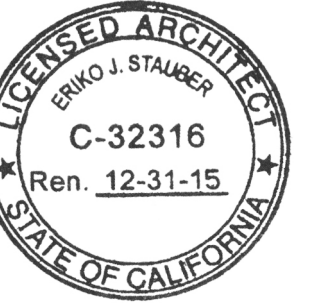
SCALE: 1/8" = 1'-0"

NOTES

- SEE SHEET A2.0 FOR BUILDING PLAN LEGEND AND NOTES NOT SHOWN.



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA - 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

PROPOSED BUILDING PLAN

JOB:	DRAWN
1303	PI
SHEET NO.	

A2.5



STREET VIEW OF BENNETT LOFTS



STREET VIEW OF BENNETT LOFTS



LIGHTWELL



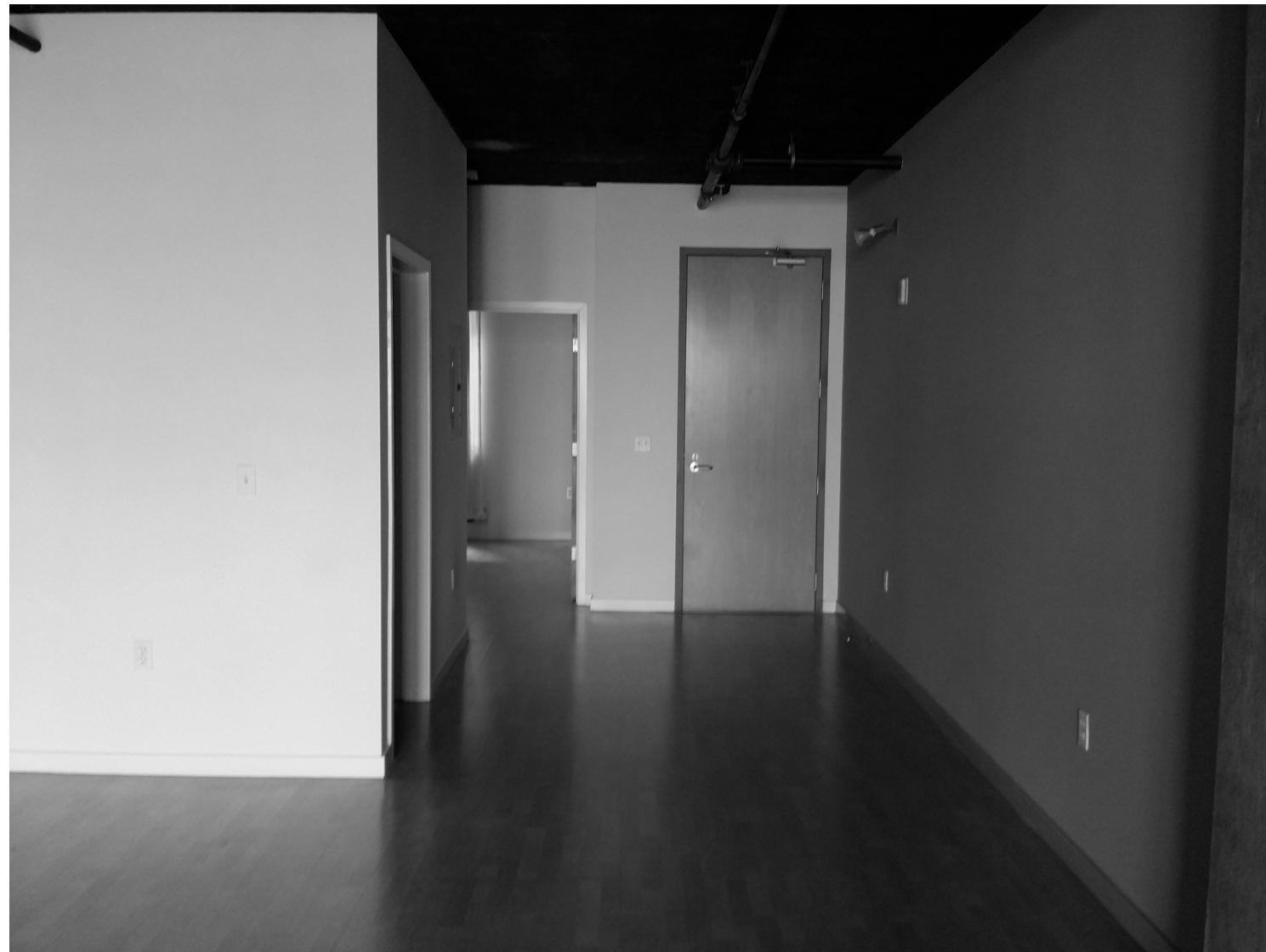
TYPICAL UNIT ENTRY HALL



TYPICAL PARTITION WALL
BETWEEN UNITS



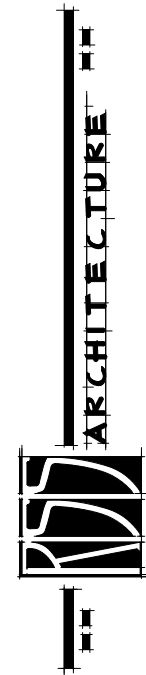
TYPICAL KITCHEN AREA



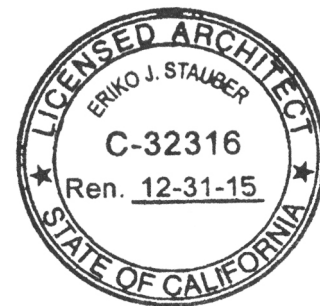
TYPICAL UNIT ENTRY



TYPICAL SLEEPING AREA



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rsdarchitecture.com



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS

548 BRANNAN STREET
SAN FRANCISCO, CA 94107

REVISIONS

EXISTING PHOTOS

JOB: 1303	DRAWN PI
SHEET NO. A3.0	

530

542

548



915 TERMINAL WAY, SUITE C
SAN CARLOS, CA., 94070
Ph. 650.802.6865
Fax 650.802.0107
www.rssarchitecture.com

NUTEK ENGINEERING
171 EASY STREET
ALAMO, CA 94507
(925) 408-3741



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

BENNETT LOFTS
548 BRANNAN STREET
SAN FRANCISCO, CA 94107

GARAGE PLAN
548
BRANNAN ST.

DRAWN
PI

SHEET NO.

E1.0