



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	542 - 546 Central Ave	Case No.:	2014.0961V
Cross Street(s):	Grove & Hayes Street	Building Permit:	N/A
Block / Lot No.:	1198/025	Applicant/Agent:	Karen Curtiss
Zoning District(s):	RH-3 / 40-X	Telephone:	415 515-0614
Area Plan:	N/A	E-Mail:	kcurtiss@reddotstudio.com

PROJECT DESCRIPTION

The proposal is to demolish and reconstruct an existing three-story laundry porch at the rear of the three-story, three-unit building and to expand the ground floor 3 feet-2 inches to the west, providing a deck at the second story. The existing and proposed depth of the porch is approximately 10 feet from the rear building wall. The proposal includes reconstructing the egress stairs at the rear, which would encroach an additional 6 feet into the required rear yard from the third story.

Per Section 134 of the Planning Code the subject property is required to maintain a rear yard of 23 feet 1 inches. The proposed addition would encroach approximately 11 feet 6 inches into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

Per Section 140 of the Planning Code, the subject property is required to have windows of each unit face directly on an open area. Since the rear yard of the subject property is not code compliant, the ground floor unit does not meet the exposure requirements. As such, the unit requires a variance from the exposure requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Alexandra Kirby** Telephone: **415-575-9133** Mail: Alexandra.Kirby@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0961V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

VICINITY MAP



PROJECT INFO

Block and Lot: 6727/036
Construction Type: V-B
Height & Bulk District: 40-X
Zoning: RH-1
Scope of Work:
Voluntary demolition of existing porch structure in rear yard set back. Reconstruction of porch structure in same location. Porch to be 3'-2" wider at first story. No change to size at second and third story. Rear Yard and Exposure Variance Requested.

CODES

2013 California Codes
2013 California Building Code
2013 California Residential Code
2013 California Electrical Code
2013 California Mechanical Code
2013 California Plumbing Code
(& amendments adopted by Ordinance 1856.2010)
2013 Green Building Code
2013 California Energy Code

DRAWING INDEX

A0.00 COVER SHEET
A0.01 EXISTING SITE/ROOF PLAN
A0.02 PROPOSED SITE/ROOF PLAN
A1.01 EXISTING FLOOR PLANS
A1.02 PROPOSED FLOOR PLANS
A2.01 EXISTING EXTERIOR ELEVATIONS
A2.02 PROPOSED EXTERIOR ELEVATIONS

SYMBOLS

X

XX.XX

DWG #
SHEET #

Elevation

X

XX.XX

DIRECTION

X

XX.XX

DWG #
SHEET #

Detail/Section

X

XX.XX

NOTE #

Key Note

X

XX.XX

TITLE

SCALE/NOTE

X

XX.XX

Window Type

XX

XX.XX

Door Type

X

XX.XX

PartitionType

X

XX.XX

Hose Bib

X

XX.XX

New Wall

ABBREVIATIONS

ADJ.	Adjustable, Adjacent	OPP.	Opposite
AFF	Above Finished Floor	OS	Occupancy Sensor
D	Dryer	PTD.	Painted
DIM.	Dimension	QTY.	Quantity
DN.	Down	R	Riser
DWG.	Drawing	REQ.	Required
CH	Ceiling Height	RWL	Rain Water Leader
(E)	Existing	S	South
EA.	Each	SF	Square Feet
EQ.	Equal	SIM.	Similar
EX.	Existing	SQ.	Square
FAU	Forced Air Unit	SS	Stainless Steel
FL.	Flourescent	SSD	See Structural Drawings
GLS.	Glass	T	Tread
GYP.	Gypsum Wall Board	THK.	Thick
HB	Hose Bibb	TYP.	Typical
HT.	Height	UON	Unless Otherwise Noted
MAX.	Maximum	VIF	Verify In Field
MIN.	Minimum	W	West or Width or Washer
N	North	W/	With
(N)	New	W/O	Without
NTS	Not To Scale	WD.	Wood
OC	On Center	WO	Where Occurs
OFCI	Owner Furnished	&	And
	Contractor Installed	@	At
OP.	Operable	#	Number, Pound

GENERAL NOTES

- Verify all dimensions before proceeding with the work. Notify the architect immediately of any discrepancy or variation. Do not proceed with affected work until the variation or discrepancy is resolved.
- Do not scale drawings. If unable to locate dimensions for any item of work, consult architect for direction before proceeding.
- Dimensions are to:
face of interior finished wall
face of exterior finished wall
center line of column grid
face of door
- Heights shown or noted AFF are to be measured from top of finish floor material. If drawing is less than 24" x 36" it has been scaled from the original size.
- Details shown on drawings shall be incorporated into the project at all appropriate locations whether specifically referenced at each location or not.
- Install necessary blocking, backing, framing, hangers, and other support for fixtures, equipment, shelving and casework.
- The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes, or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.
- It shall be the responsibility of the contractor to provide all supports, anchors, clips, fasteners, braces, and reinforcements for all assemblies, systems, fixed equipment, accessories, and so forth, that are a part of the structural system, have been shown, specified, or sized or are reasonably required to complete the work in conformance with the contract documents. The contractor shall also provide calculations for all such items as required by the authority having jurisdiction.
- If a discrepancy exists between drawings, between drawings and specifications or within the specifications, such discrepancy shall be brought to the attention of the architect prior to installation of said work. Do not proceed with affected work until the variation or discrepancy is resolved.
- The contractor shall not fabricate or install any work where they have reasonable knowledge that the contract documents may be in conflict with applicable codes or interpretation of the authority having jurisdiction. Any such information shall be immediately brought to the attention of the architect who shall issue a resolution of the conflict.
- Electrical, mechanical and plumbing systems are shown for intent only. These systems shall be engineered by others and the contractor shall be responsible for proper installation to all applicable state and local codes.
- Relocate plumbing vents, hose bibs and electrical conduit as required for new construction.
- Provide smoke/CO2 alarms as required by code.
- Compliance with the San Francisco Construction & Demolition Debris Ordinance 27-05.
- Pest protection at exterior walls as per DBI guidelines.
- Moisture content shall be verified in compliance with CalGreen 4.505.3.
- HVAC qualified installer per CalGreen 702.1
- Cover duct openings & protect mechanical equipment during construction.
- Composite wood products per CalGreen Table 4.504.5.
- Low-VOC aerosol paints and coatings at habitable space.
- Low VOC Caulks, Construction adhesives, and Sealants at new habitable space as per CalGreen 4.504.2.1.

PROJECT TEAM

ARCHITECT :
Red Dot Studio

OWNERS :
Liz Nakamoto and Rob Singer
Stewart and Sherry Singer

NAKAMOTO/SINGER
RESIDENCE
542-546 CENTRAL AVE
San Francisco, CA 94117
BLOCK 1198 LOT 025

REVIEW	Date
Variance	04.26.14
Variance Rev.	09.25.14

Scale
AS NOTED

Sheet Title

COVER
SHEET

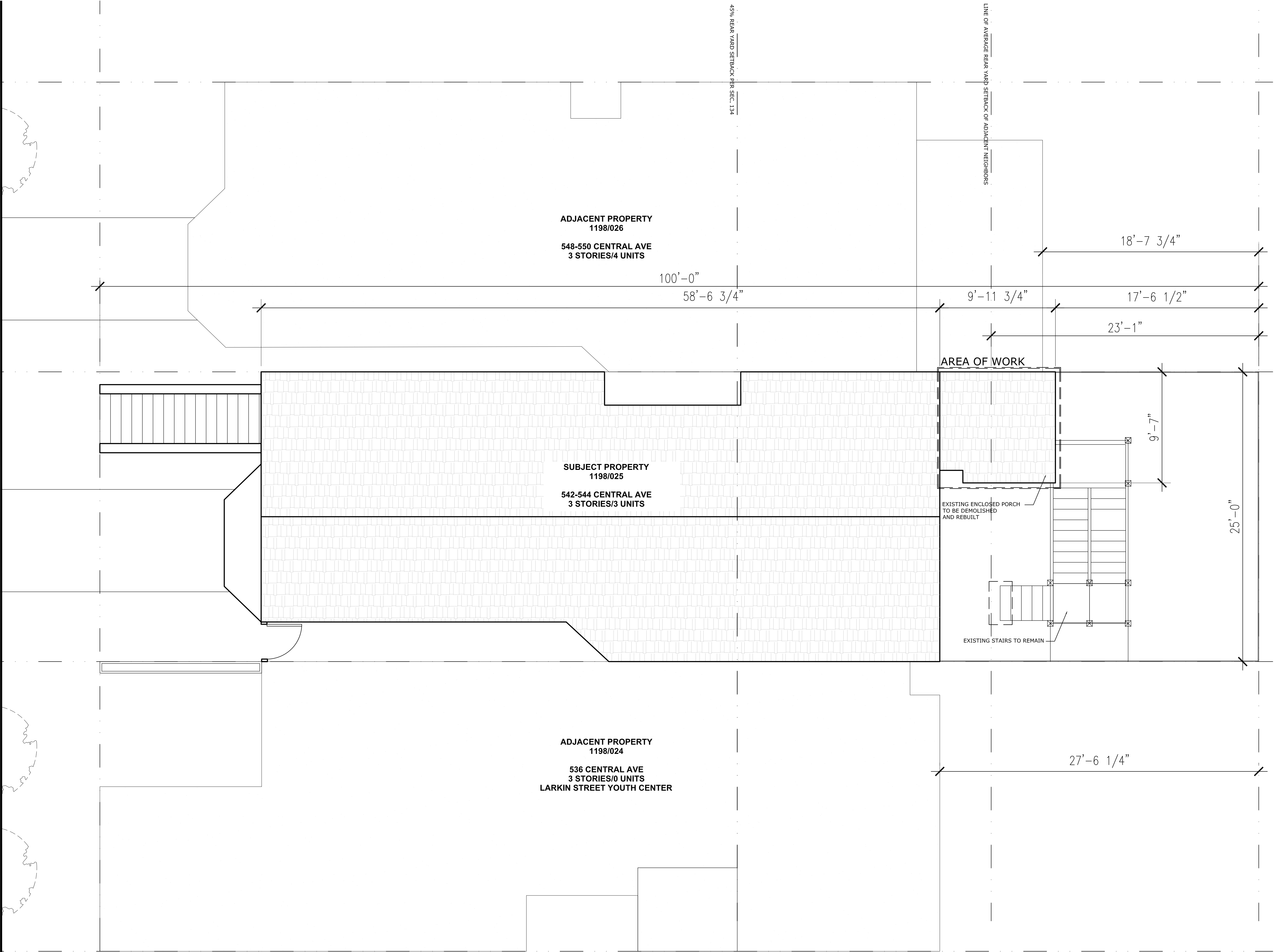
Sheet Number

A0.00

red dot studio

ARCHITECTURE AND DESIGN

1045 17th St. Suite 202
San Francisco, CA 94107



NAKAMOTO/SINGER
RESIDENCE

542-546 CENTRAL AVE
San Francisco, CA 94117
BLOCK 1198 LOT 025

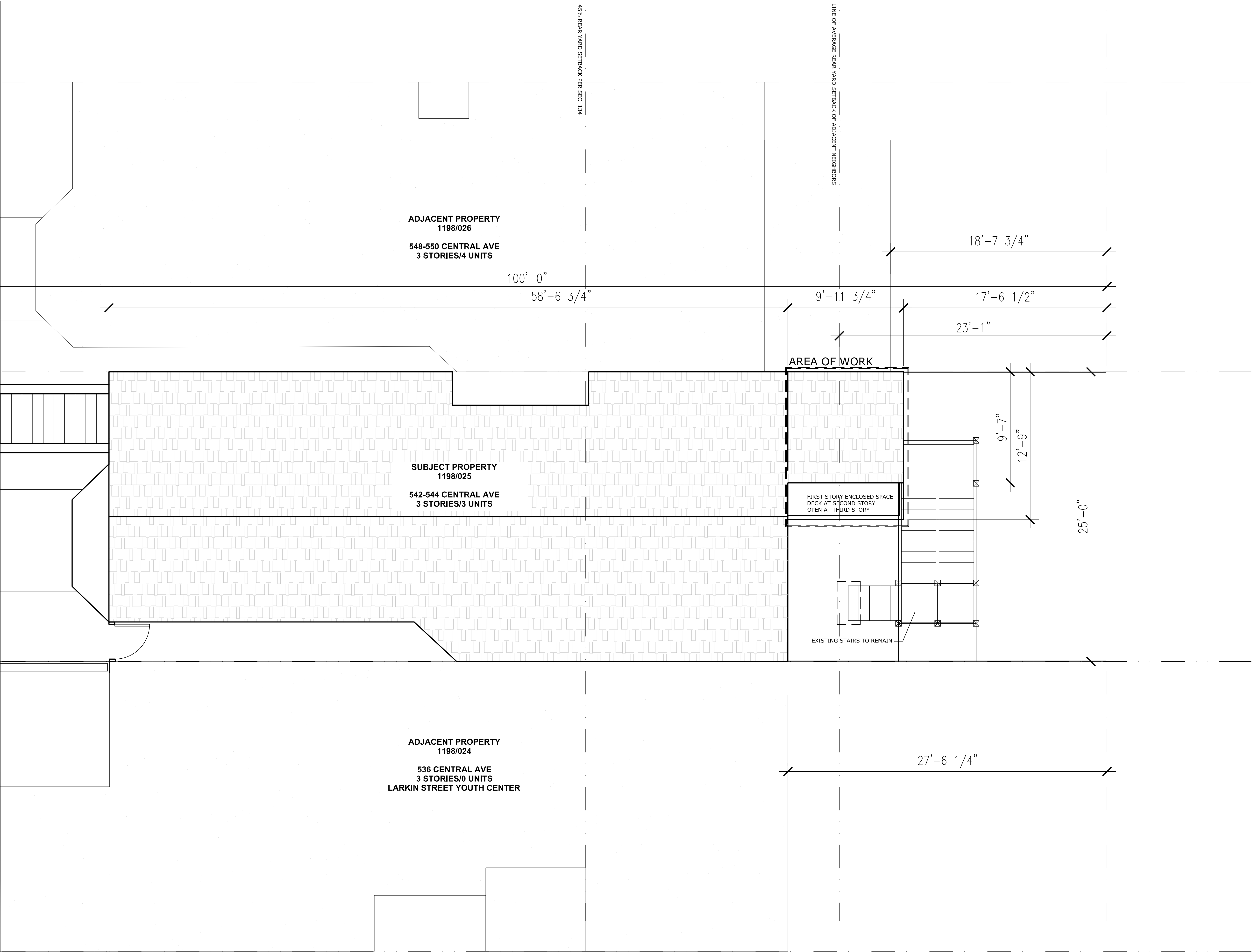
REVIEW	Date
Pre-Application	03.28.14
Variance	04.28.14
Variance Rev.	09.25.14

Scale
AS NOTED

Sheet Title
EXISTING
SITE/ROOF
PLAN

Sheet Number

A0.01



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542-546 CENTRAL AVE
San Francisco, CA 94117
BLOCK 1198 LOT 025

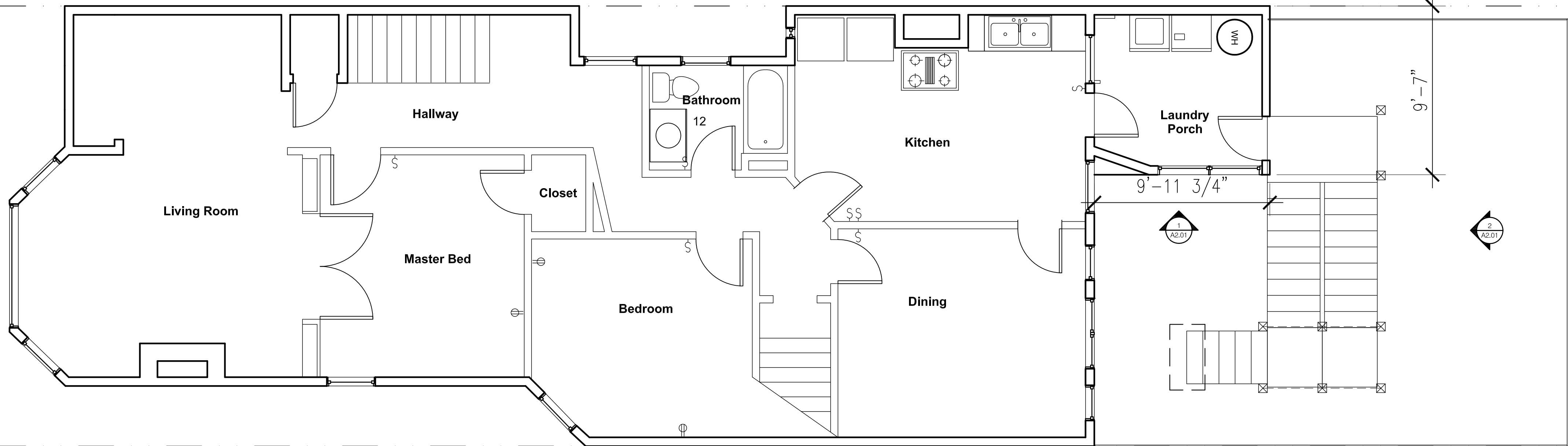
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AS NOTED

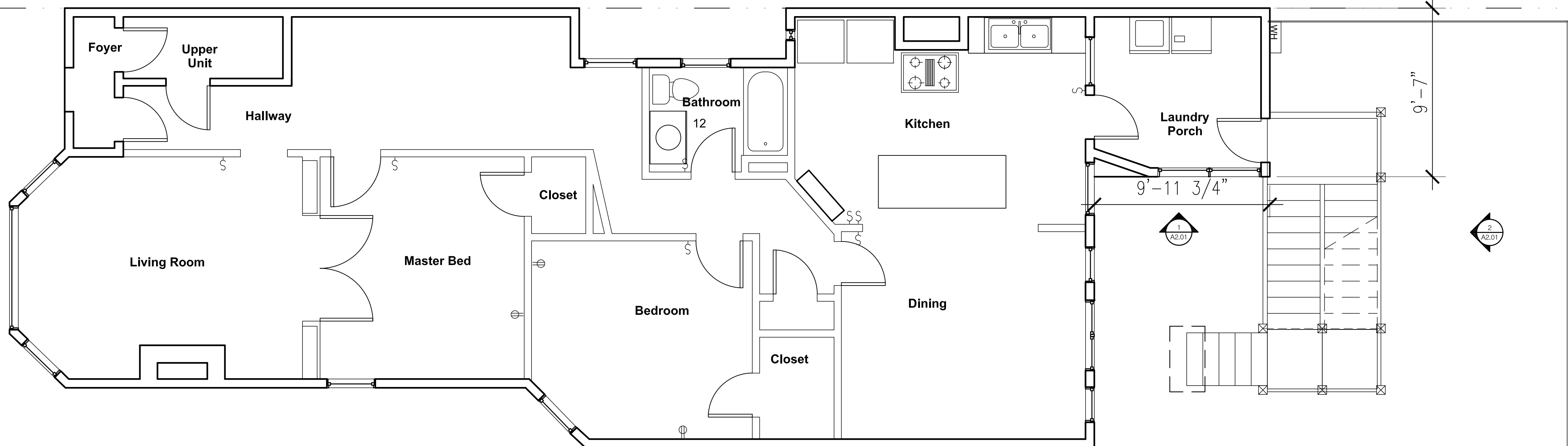
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PROPOSED
SITE/ROOF
PLAN

Sheet Number

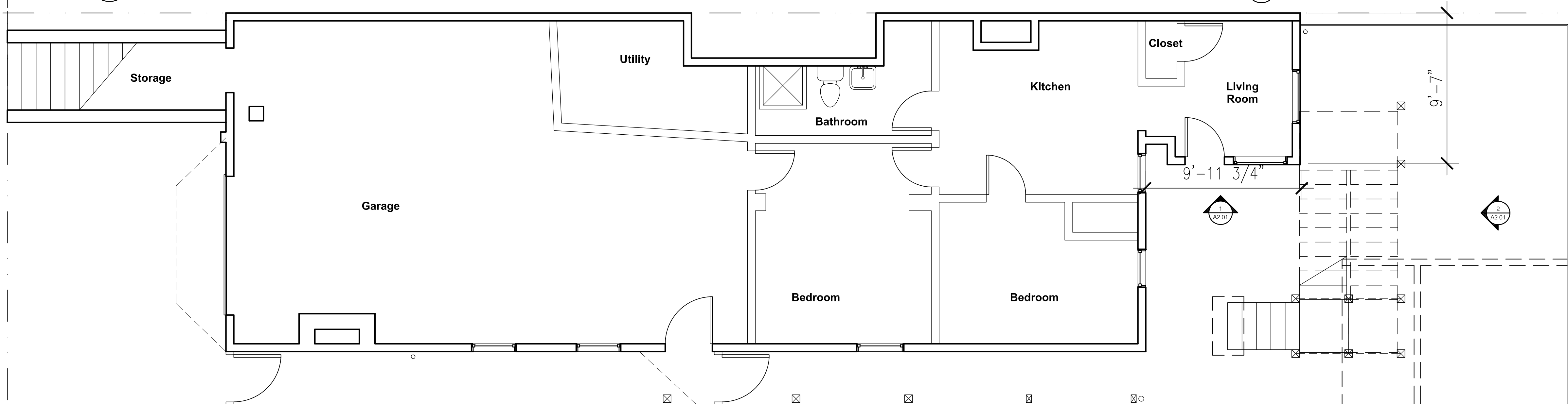
A0.02



3 EXISTING THIRD STORY 546 CENTRAL AVE
A1.01 1/4" = 1'-0"



2 EXISTING SECOND STORY 544 CENTRAL AVE
A1.01 1/4" = 1'-0"



1 EXISTING GROUND FLOOR 542 CENTRAL AVE
A1.01 1/4" = 1'-0"

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RESIDENCE
542-546 CENTRAL AVE
San Francisco, CA 94117
BLOCK 1198 LOT 025

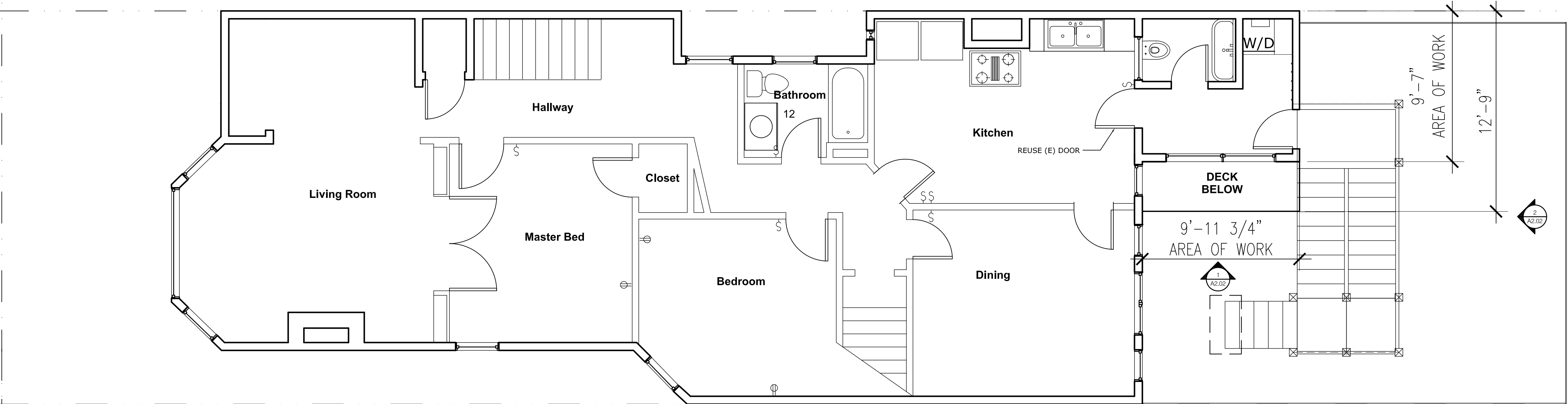
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Scale
AS NOTED

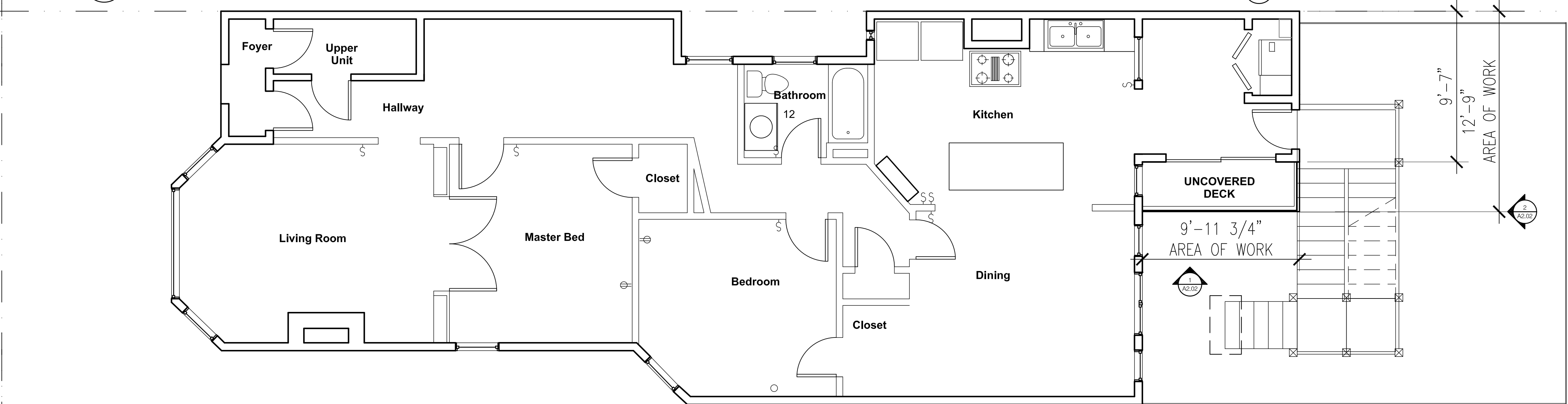
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EXISTING
FLOORPLANS

Sheet Number

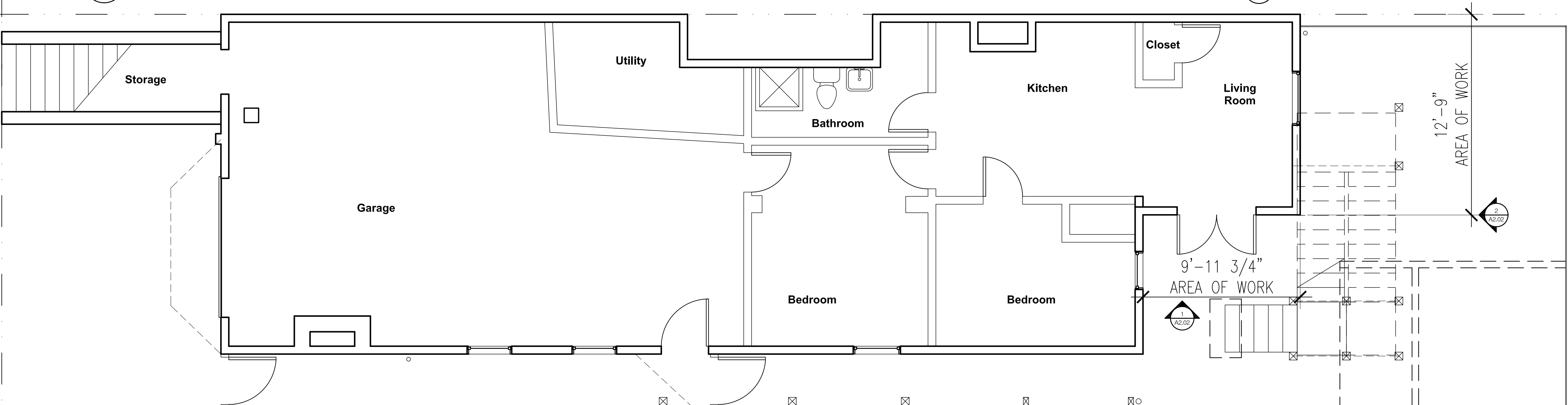
A1.01



3 PROPOSED THIRD STORY 546 CENTRAL AVE
A1.02 1/4" = 1'-0"



2 PROPOSED SECOND STORY 544 CENTRAL AVE
A1.02 1/4" = 1'-0"



1 PROPOSED GROUND FLOOR 542 CENTRAL AVE
A1.01 1/4" = 1'-0"

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BLOCK 1198 LOT 025

REVIEW	Date
Pre-Application	03.26.14
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Scale
AS NOTED

Sheet Title
PROPOSED
FLOORPLANS

Sheet Number

A1.02

A2.01



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RESIDENCE

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San Francisco, CA 94117
BLOCK 1198 LOT 025

REVIEW	Date
Pre-Application	03.28.14
Variance	04.28.14
Variance Rev.	09.25.14

Scale
AS NOTED

Sheet Title
PROPOSED
ELEVATIONS

Sheet Number

A2.02

