



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 245 Pixley Street Cross Street(s): Steiner St. / Fillmore St. Block /Lot No.: 0515 / 013 Zoning District(s): RH-2 / 40-X Area Plan: N/A	Case No.: 2014.0738V Building Permit: 2014.04.30.4546 Applicant (agent): Michael Connell Telephone: (415) 640-4905 E-Mail: mike@mikeconnellarchitect.com

PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition (approximately 26 feet 9 inches wide by 24 feet deep) above a two-story, single-family dwelling. The proposed vertical addition will be set back 6 feet 3 inches from the front building wall, and will be partially set back 3 feet from the east property line with a new lightwell. The proposal will also include infilling an existing open area (approximately 13 feet 6 inches wide by 6 feet 6 inches deep) at the first story to align with the proposed rear building wall of the floor above, new front and rear roof decks, replacing the front and rear stairs, reconfiguring some of the existing rooms in the building, and facade modifications. The stair and facade modifications are not subject to this variance.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 15 feet. The proposed ground floor infill addition will extend approximately 6 feet 6 inches, and the proposed vertical addition will extend 2 feet 6 inches into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0738V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

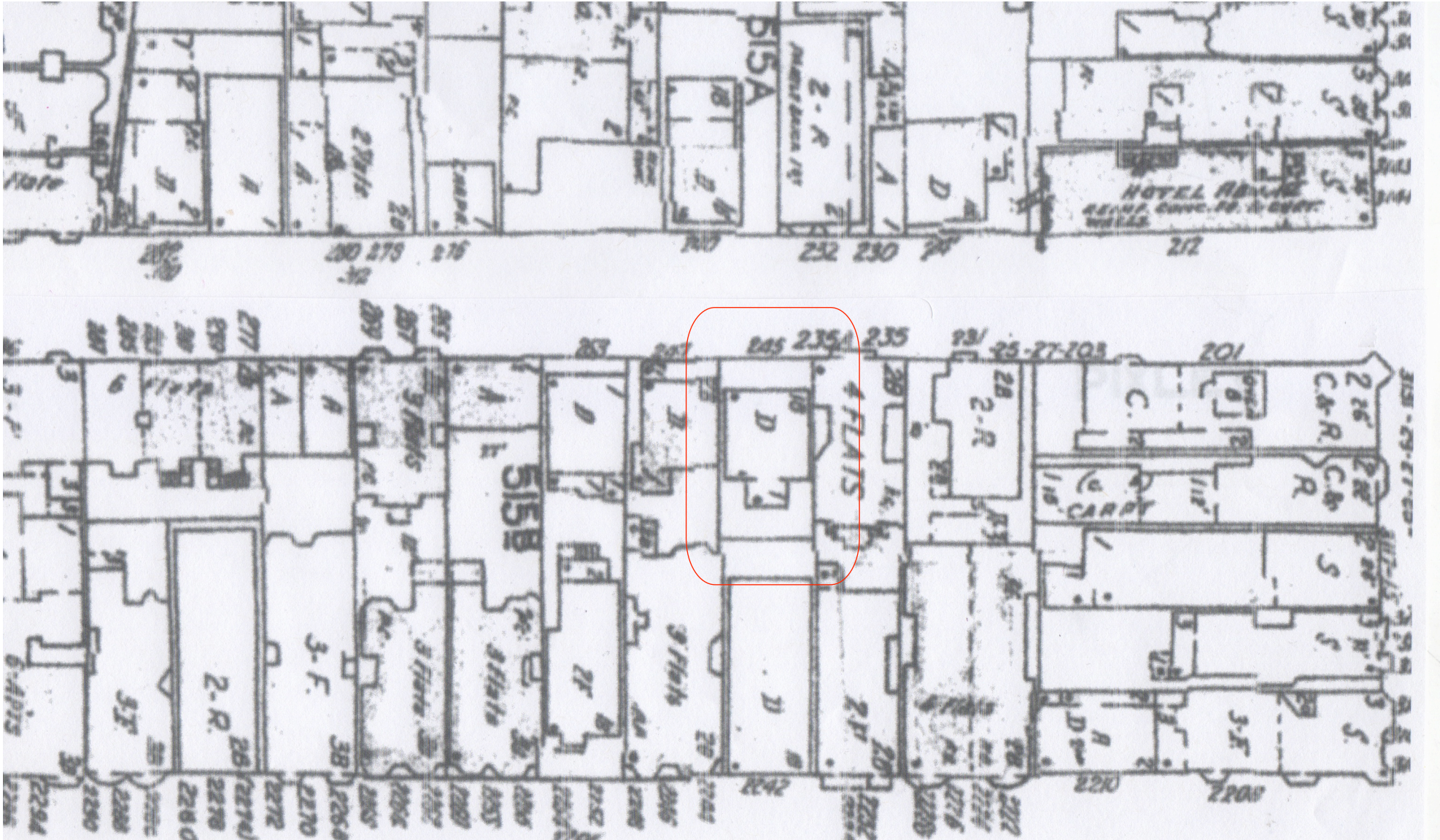
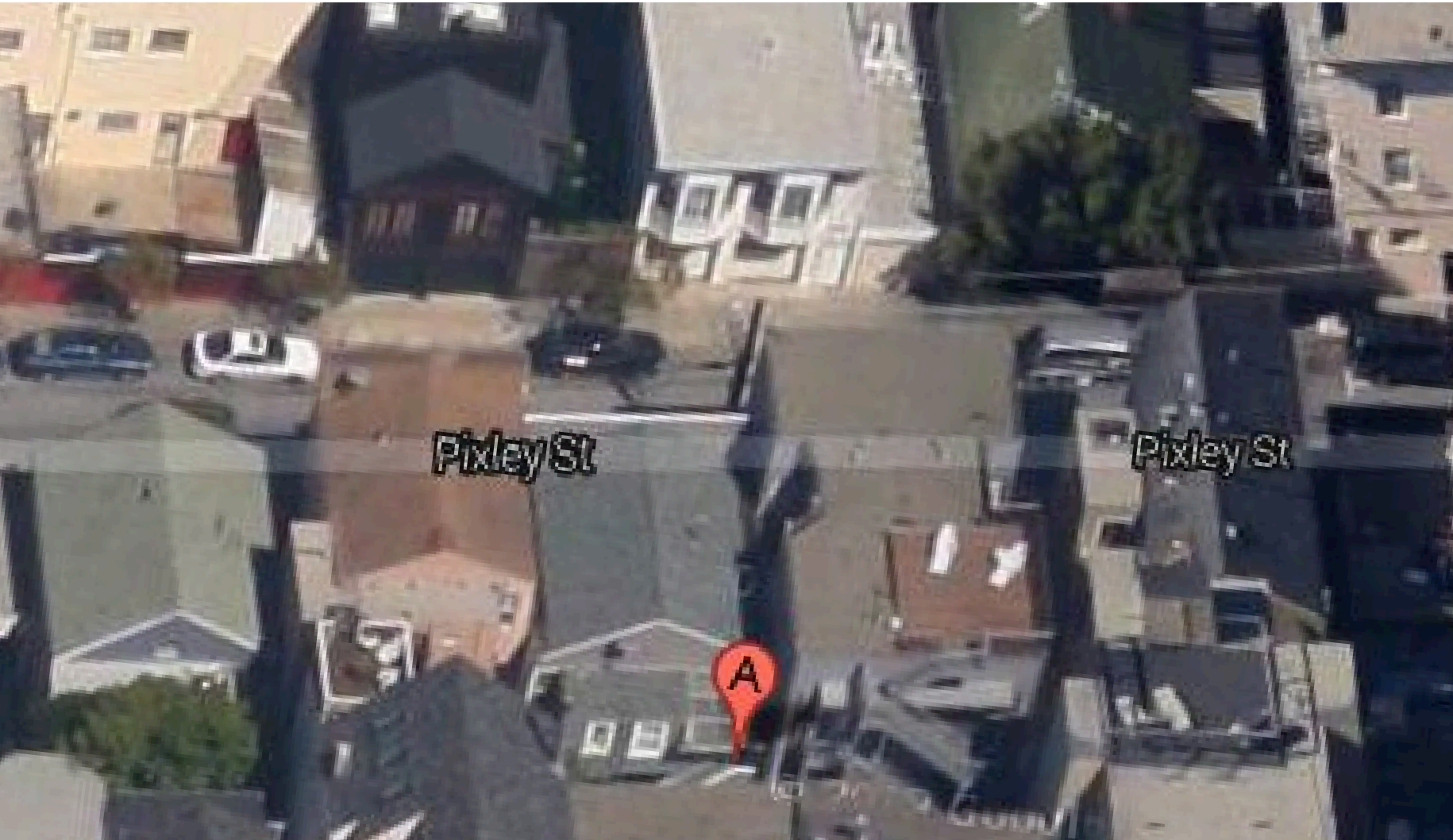
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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CODES

THE PLANS TO COMPLY WITH:
2013 CALIFORNIA BUILDING CODE,
2013 CALIFORNIA ELECTRICAL CODE,
2013 CALIFORNIA PLUMBING CODE,
2013 CALIFORNIA MECHANICAL CODE,
SAN FRANCISCO HOUSING CODE, & ALL
SAN FRANCISCO CODE AMENDMENTS

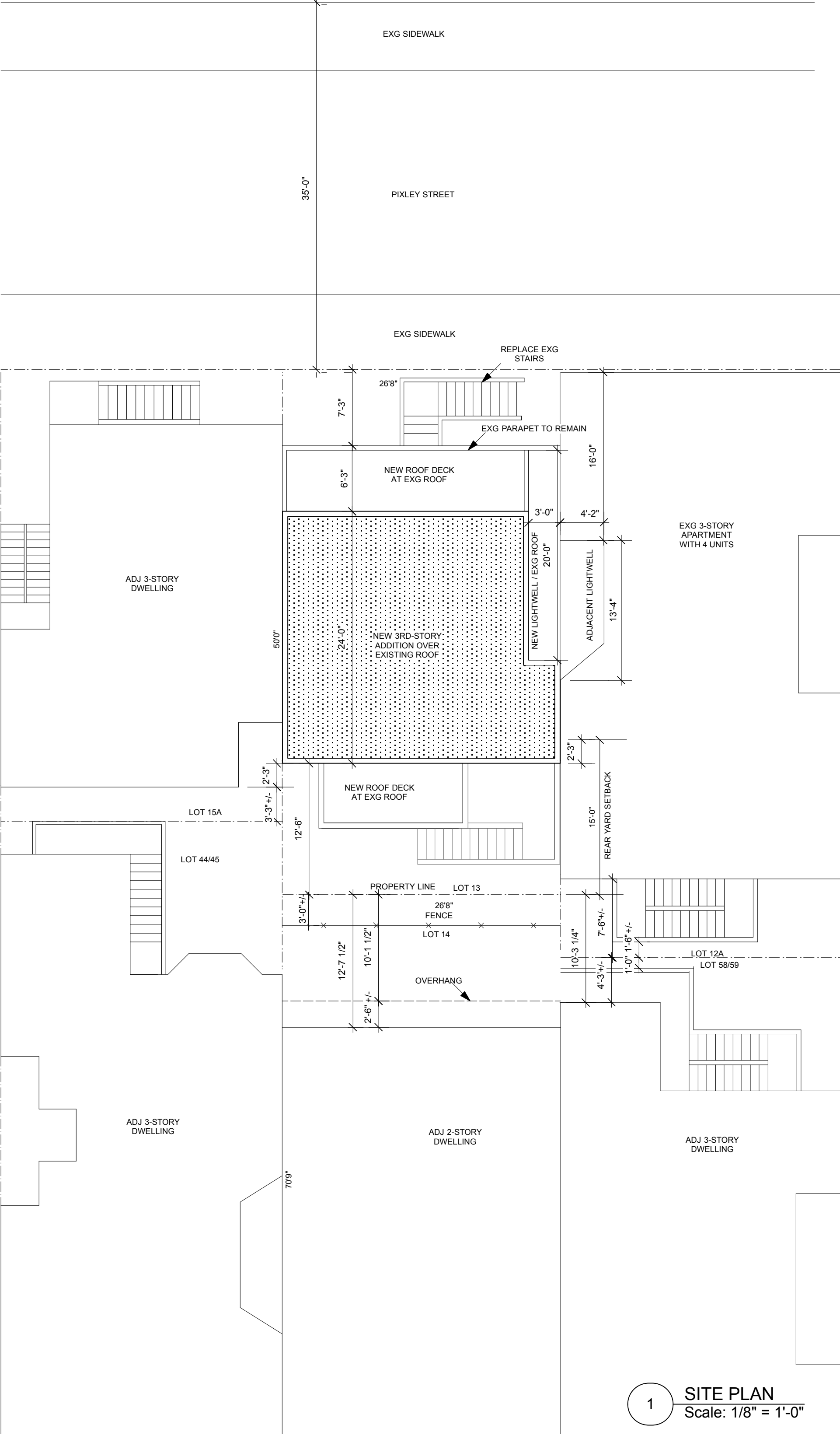
ARCHITECTURAL INDEX

- 0.1 SITE PLAN & INDEX
- 1.1 EXISTING FLOOR PLANS
- 2.1 NEW FLOOR PLANS
- 3.1 SECTION
- 4.1 FRONT ELEVATIONS
- 4.2 REAR ELEVATIONS
- 4.3 SIDE (EAST) ELEVATIONS
- 4.4 SIDE (WEST) ELEVATIONS

PROJECT SCOPE

THIRD STORY MASTER SUITE ADDITION
AND INTERIOR RENOVATION

ZONING: RH-2
OCCUPANCY: R-3 / U
BLOCK/LOT: 0510/ LOT 13
LOT SIZE: 50' x 26'8"
CONSTRUCTION: 5-B



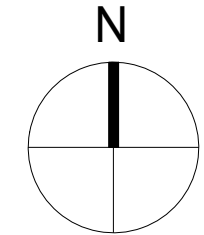
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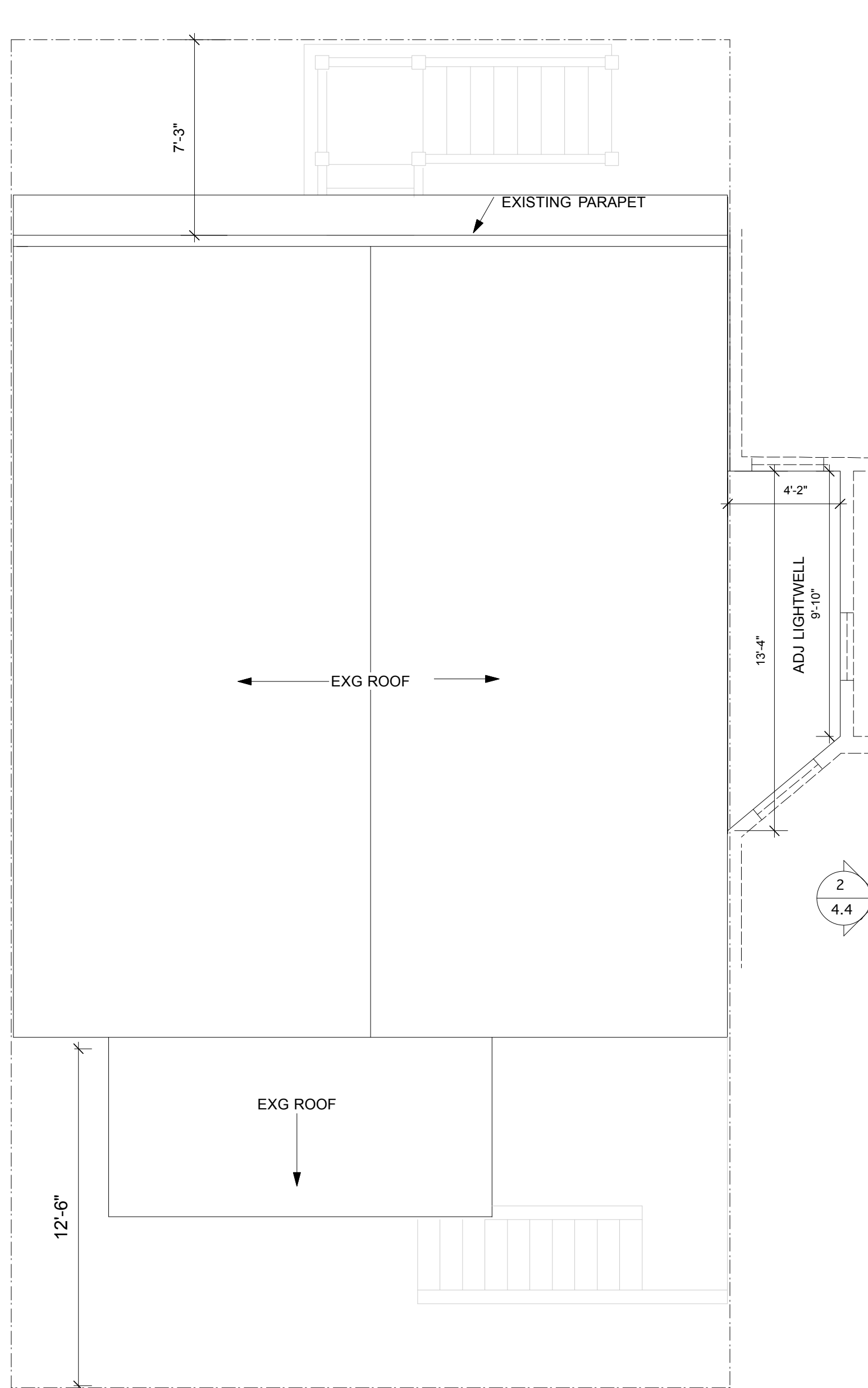
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Site Plan

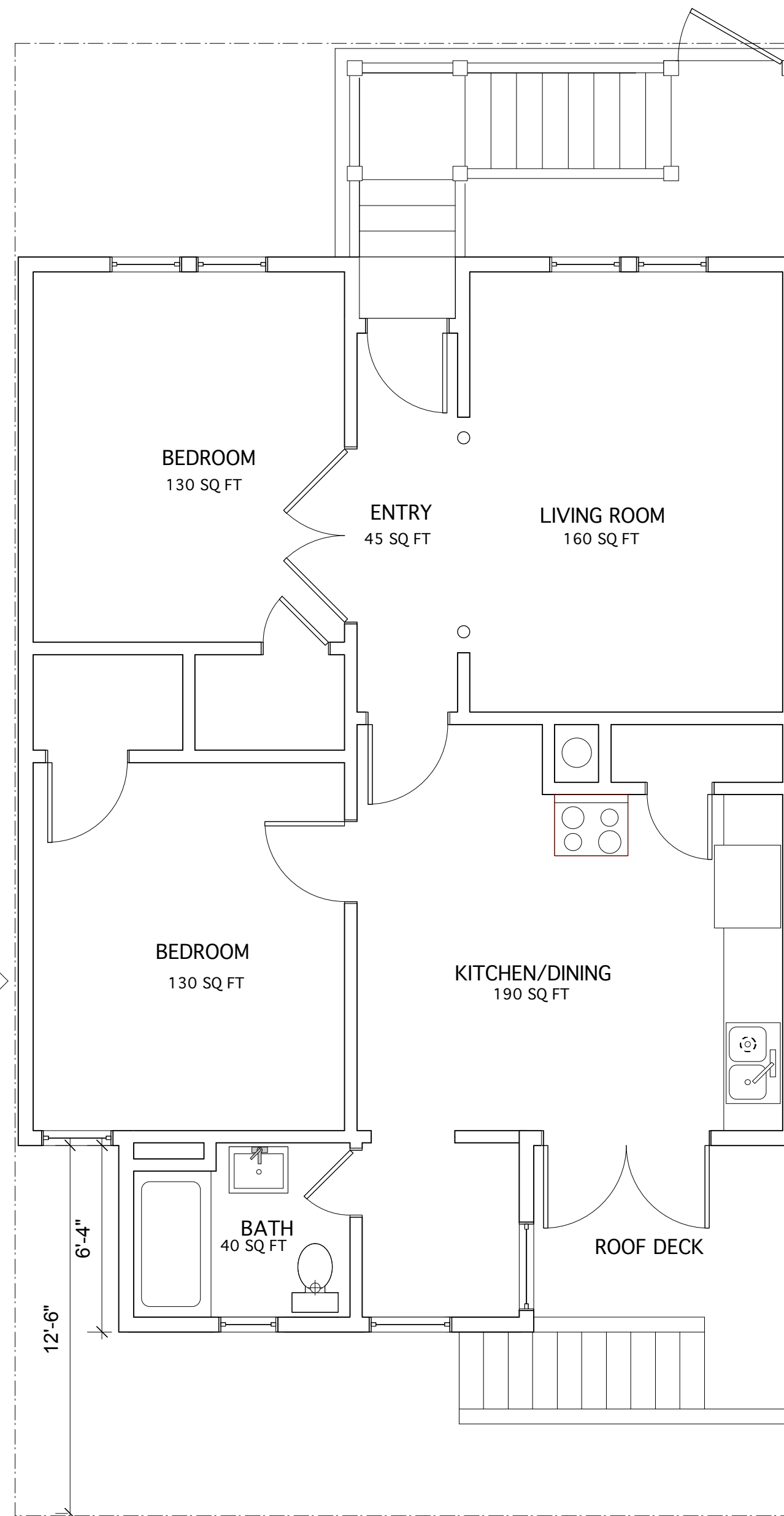
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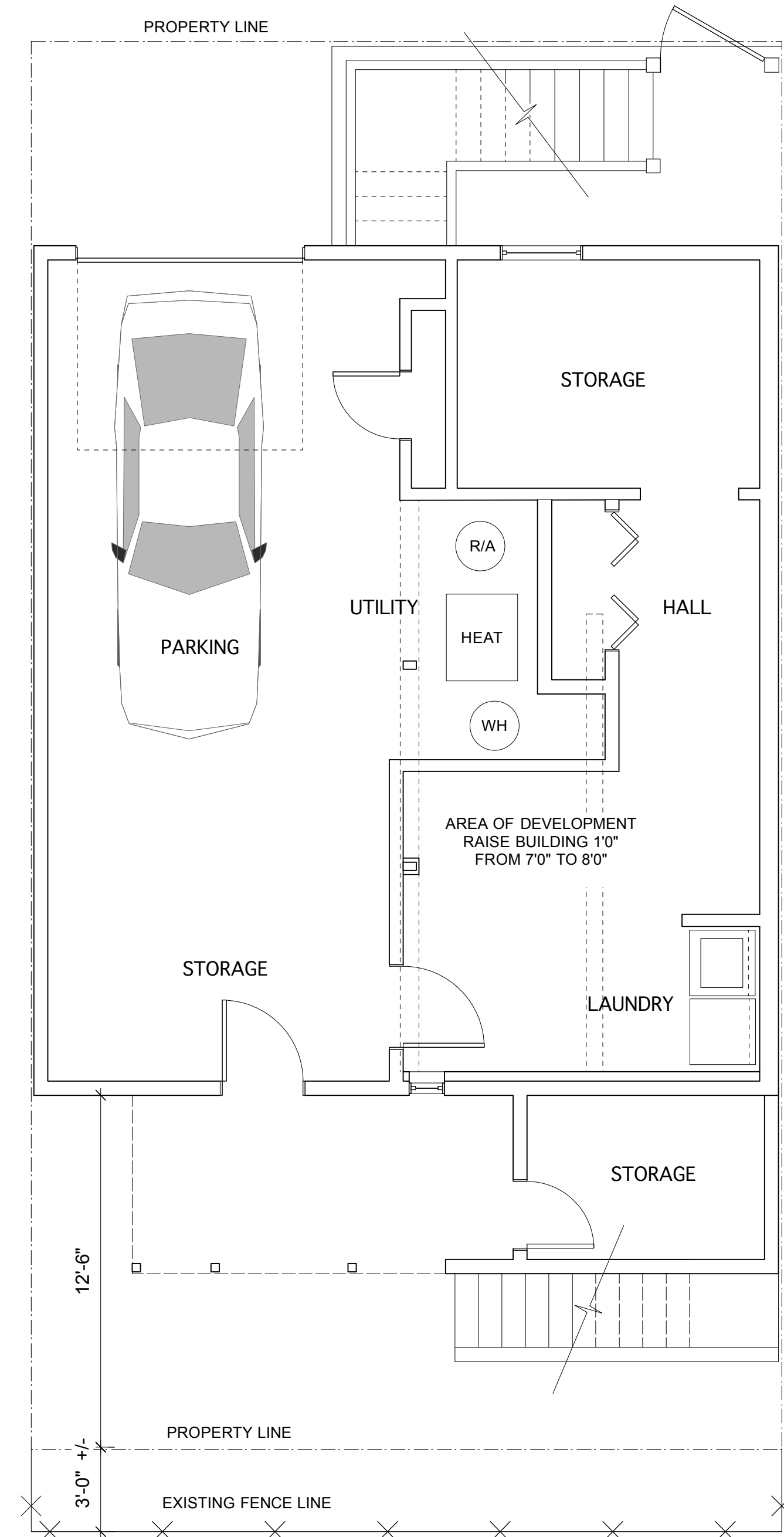
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3 EXG ROOF PLAN
Scale: 1/4" = 1'-0"



2 EXG MAIN FLOOR
Scale: 1/4" = 1'-0" 885 sq ft



1 EXG GROUND FLOOR
Scale: 1/4" = 1'-0" 525 sq ft parking/utility
340 sq ft laundry/finished storage

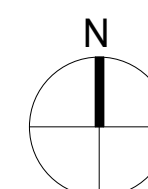
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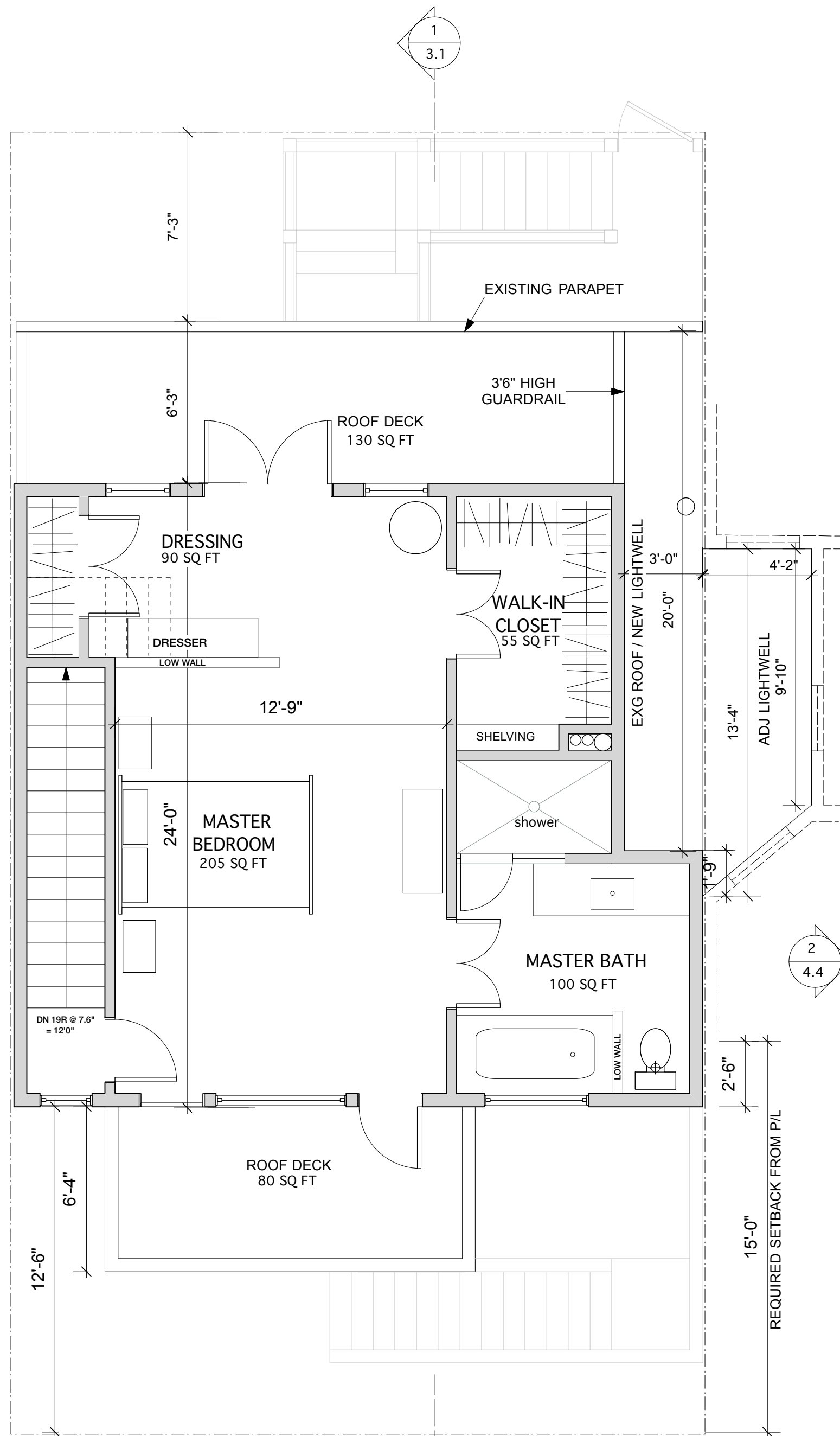
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Existing Floor Plans

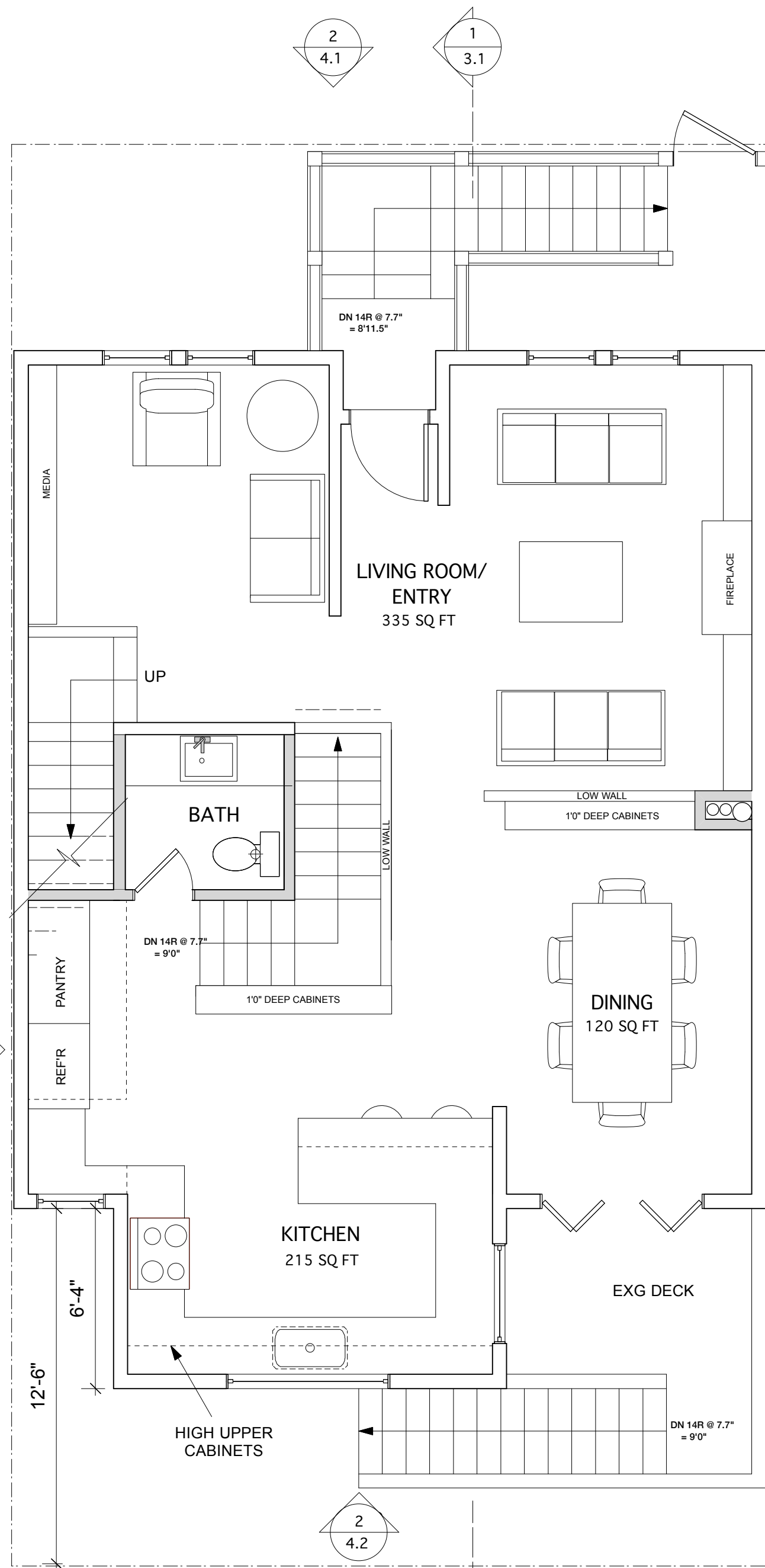
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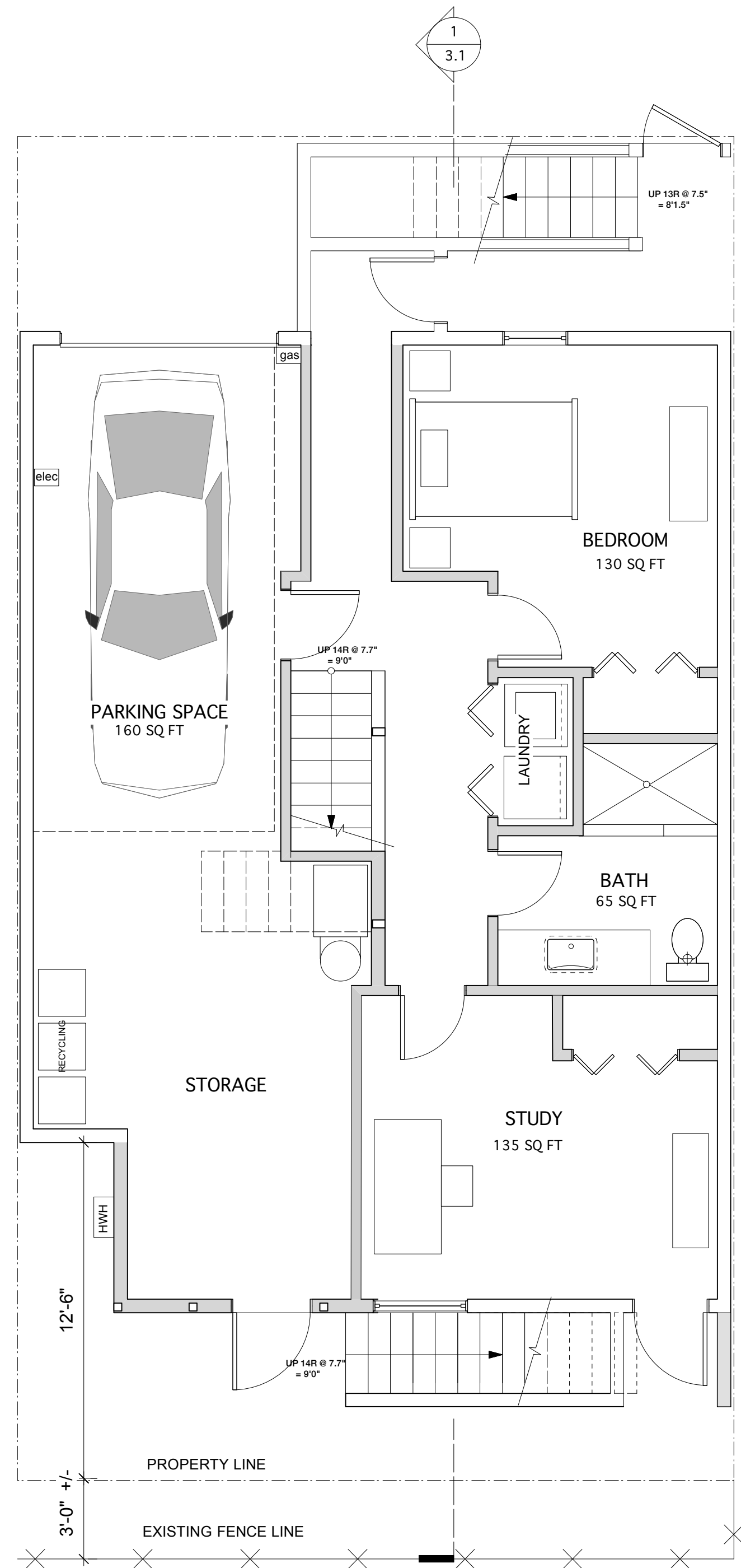
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3 **NEW UPPER FLOOR**
Scale: 1/4" = 1'-0" 590 sq ft



2 **NEW MAIN FLOOR**
Scale: 1/4" = 1'-0" 885 sq ft



1 **NEW GROUND FLOOR**
Scale: 1/4" = 1'-0" 575 sq ft study/bedroom/bath/hall
400 sq ft parking/storage/utility

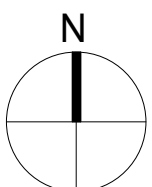
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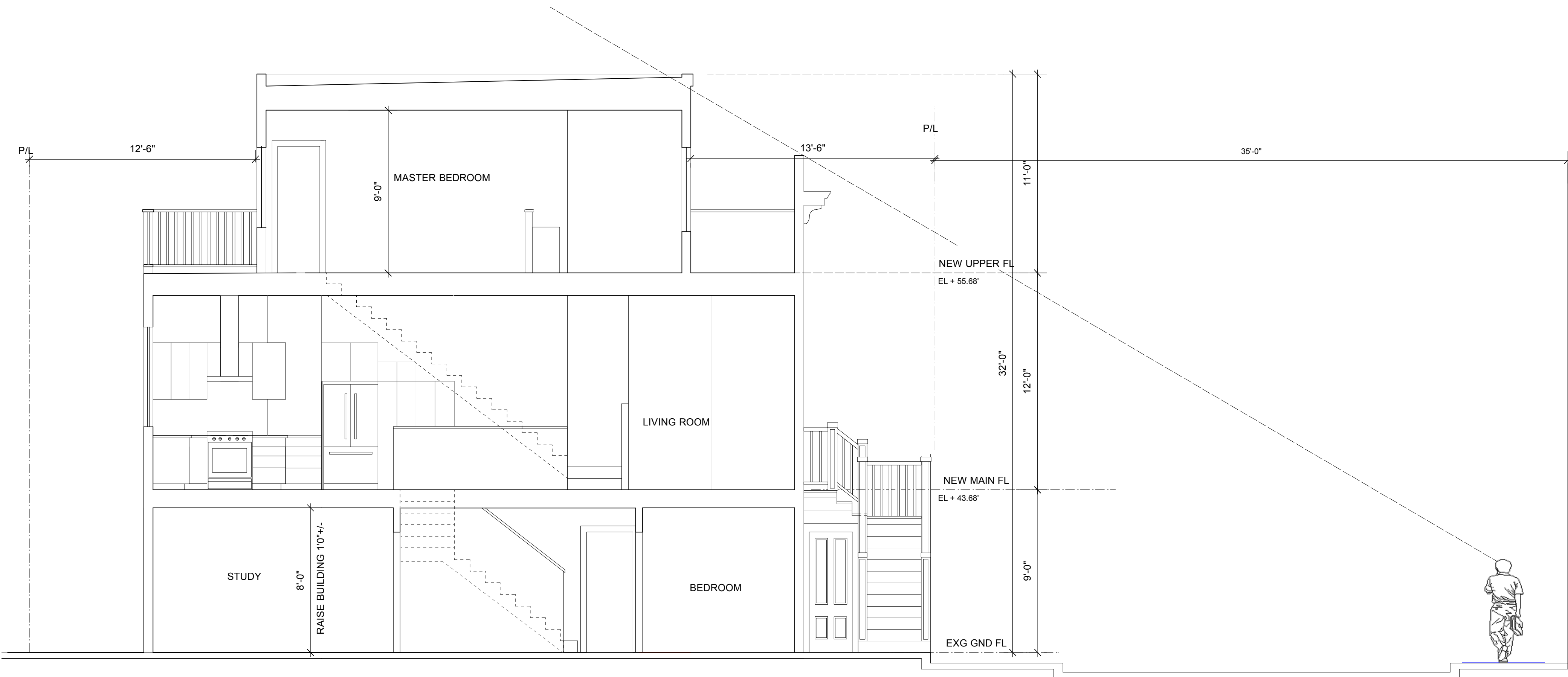
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New Floor Plans

Scale: 1/4" = 1'-0"



2.1
4 25 14



1 SITE SECTION

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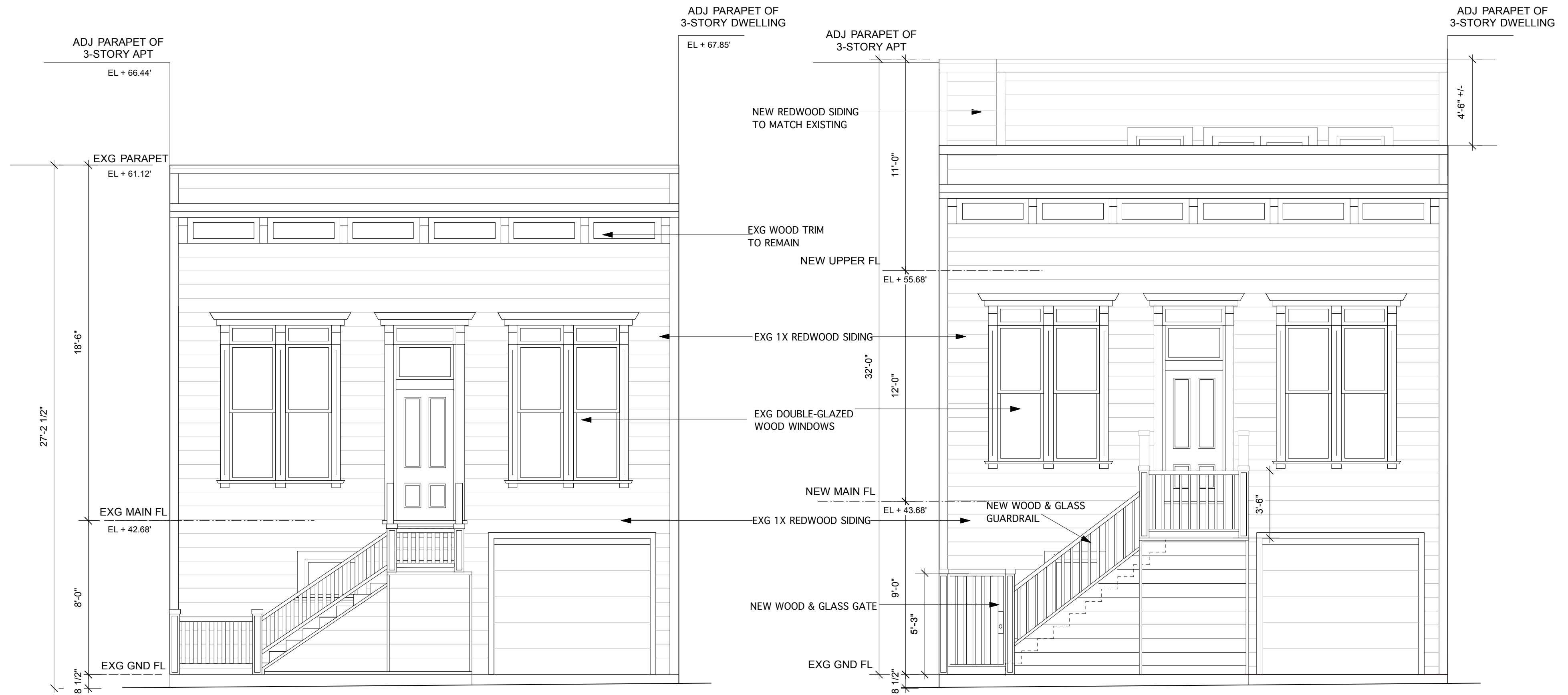
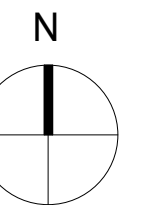
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Site Section

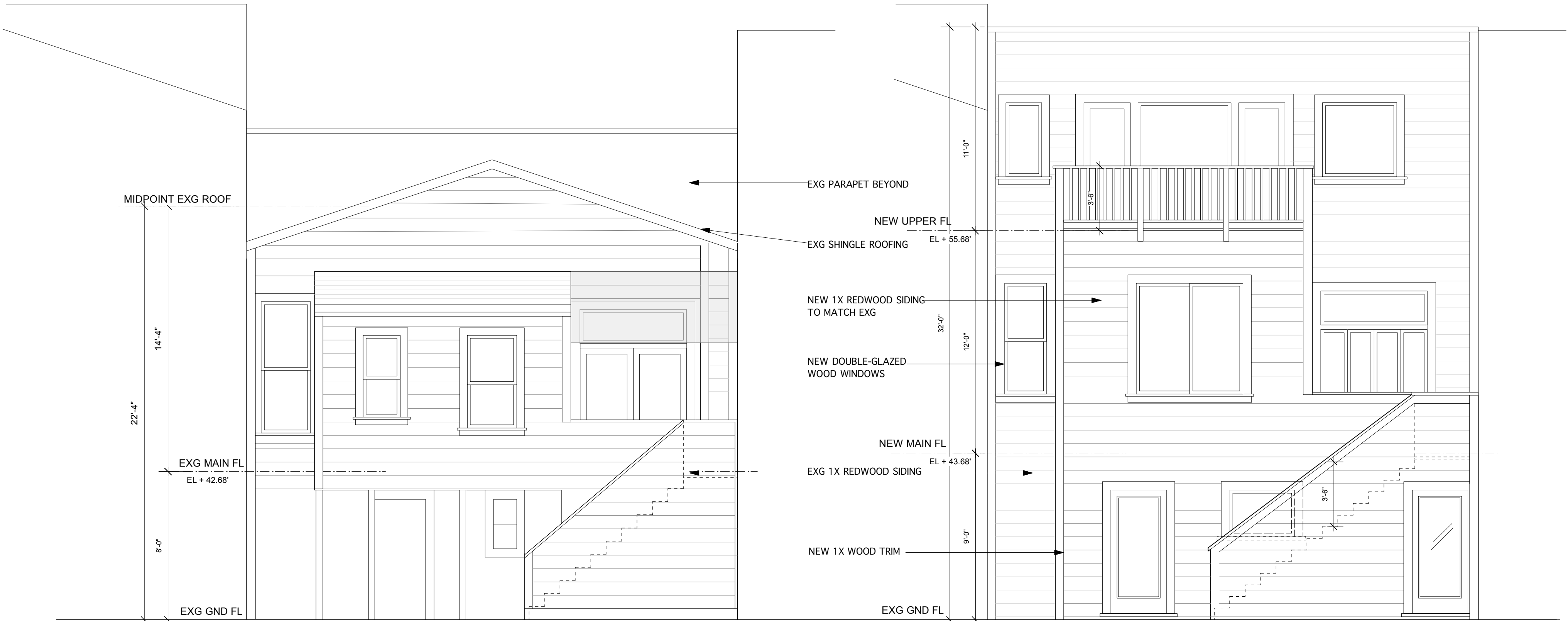
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1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"

2 NEW FRONT ELEVATION
Scale: 1/4" = 1'-0"



1 **EXISTING REAR ELEVATION**
Scale: 1/4" = 1'-0"

2 **NEW REAR ELEVATION**
Scale: 1/4" = 1'-0"

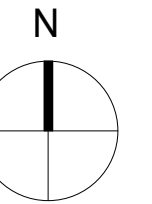
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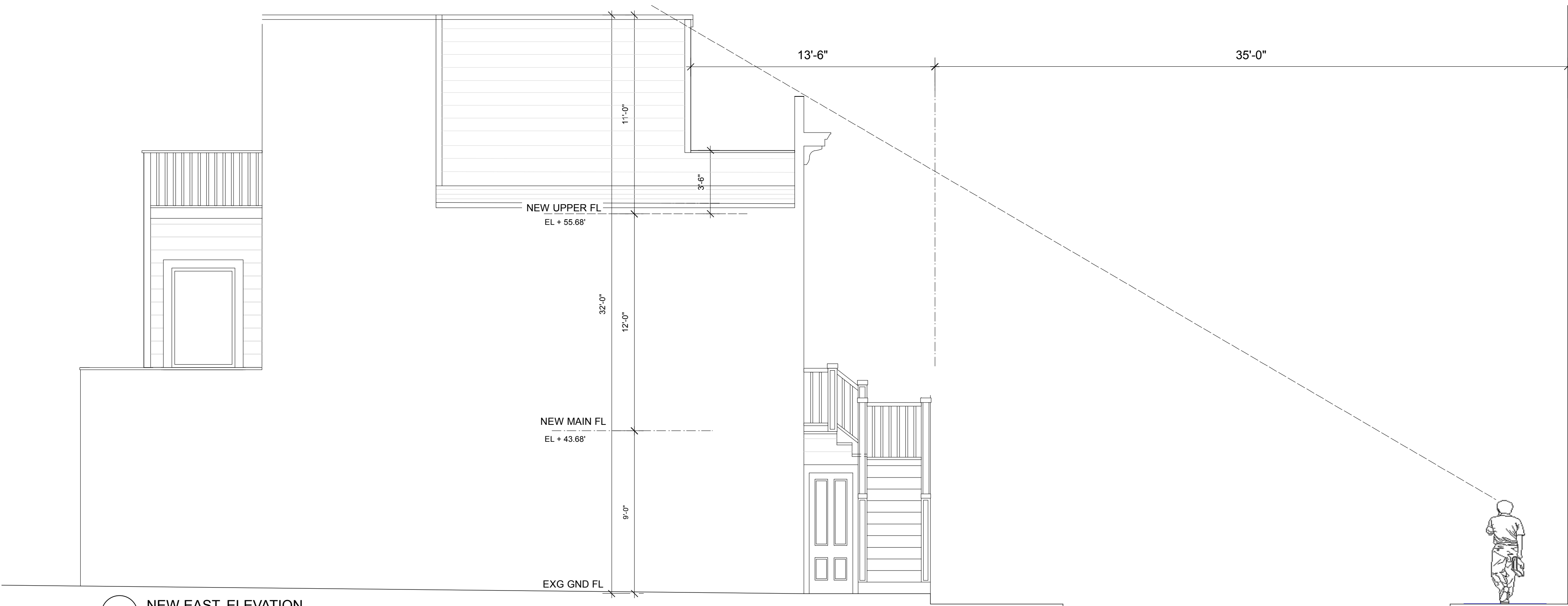
New & Existing Rear Elevation

Scale: 1/4" = 1'-0"

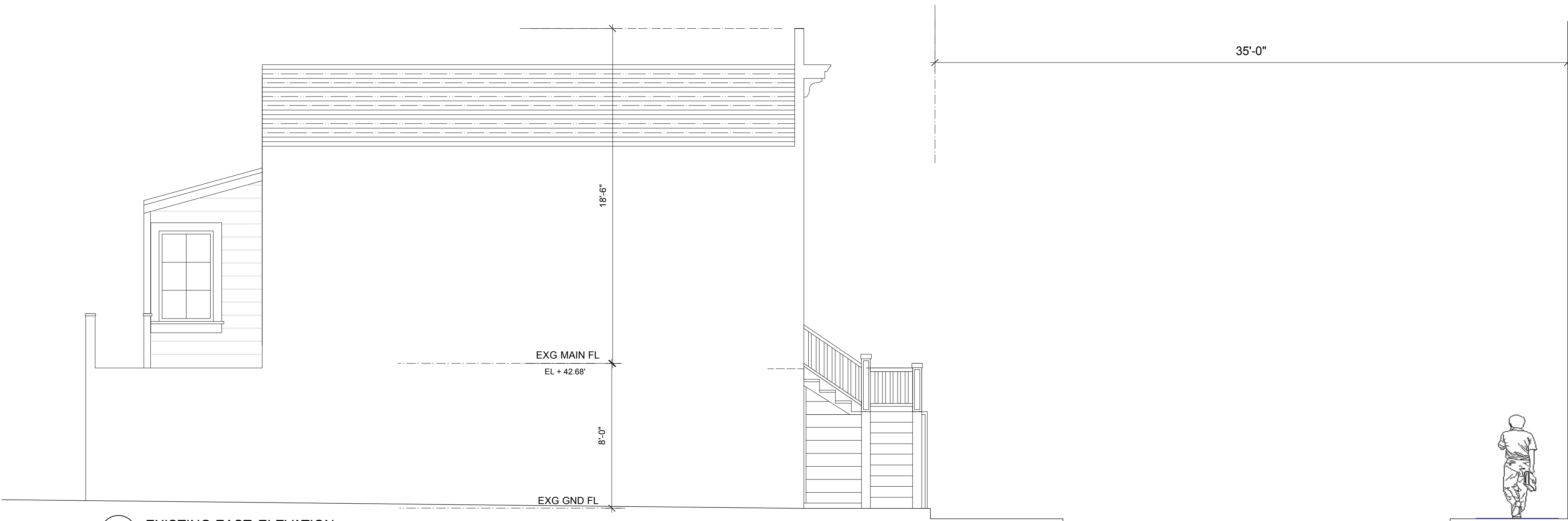


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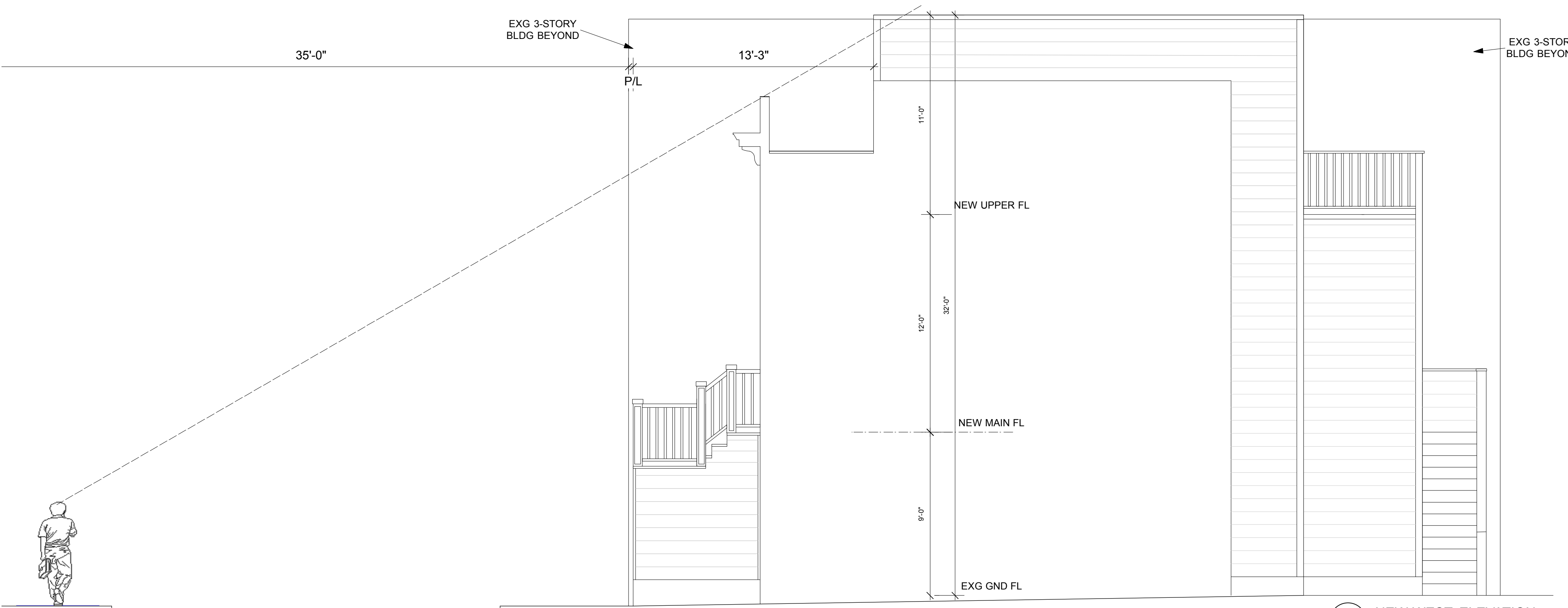


2 NEW EAST ELEVATION

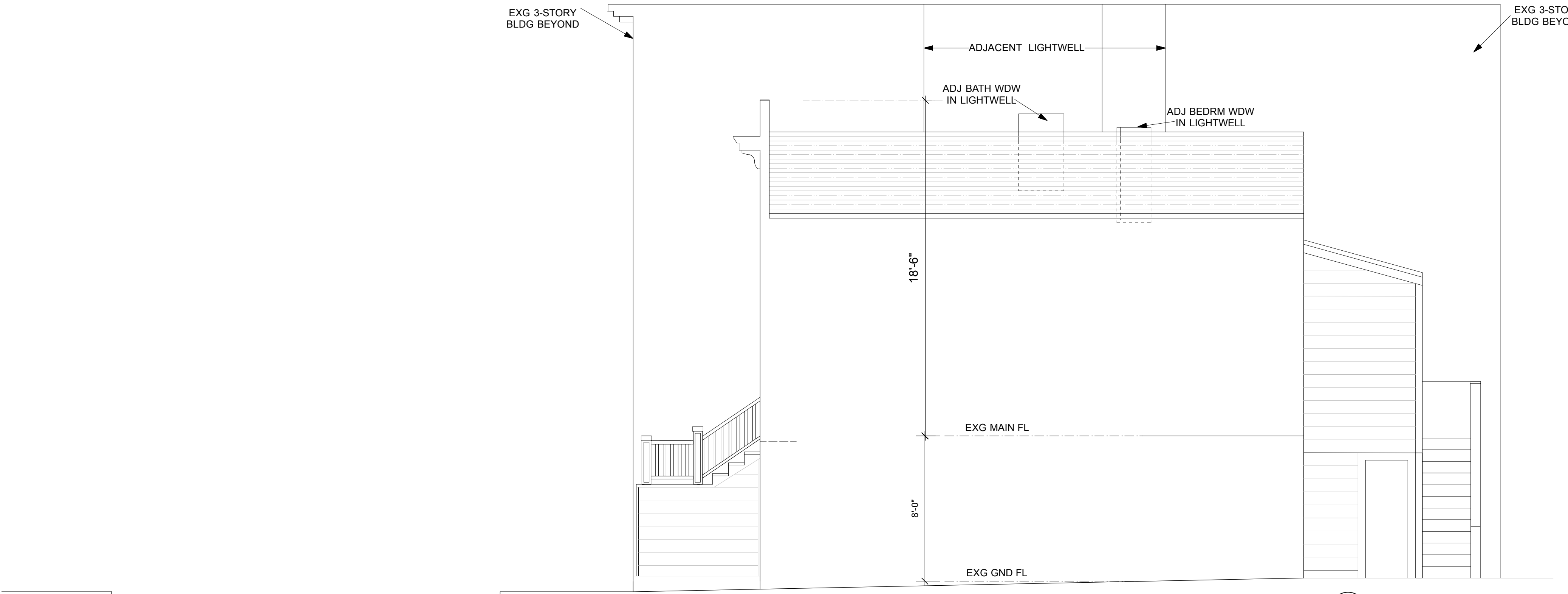


1 EXISTING EAST ELEVATION

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East Elevation
Scale: 1/4" = 1'-0"
4.3 04.25.14



2 NEW WEST ELEVATION



1 EXISTING WEST ELEVATION

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East Elevation	
Scale: 1/4" = 1'-0"	
4.4 04.25.14	