



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 24, 2016**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 161 De Soto St	Case No.: 2014.0670V
Cross Street(s): Urbano Dr	Building Permit: 201403059991
Block / Lot No.: 6920/006	Applicant/Agent: John Lau
Zoning District(s): RH-1(D) / 40-X	Telephone: 415 831-7180
Area Plan: Click here to enter text.	E-Mail: designconsultants18881@gmail.com

PROJECT DESCRIPTION

The proposal seeks to demolish an existing 10'x20' one-car garage in the rear yard, accessed by a driveway from the street. The plans are to rebuild a 25'x25' two-car garage within the rear yard, with no change in the existing driveway or main residence.

PLANNING CODE SECTION 134 requires a rear yard depth of 29 feet 9 inches for the subject property. Work proposed to construct a new garage will be entirely within the required rear yard; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Marcelle Boudreaux** Telephone: **415-575-9140** Mail: Marcelle.Boudreaux@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0670V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On July 25, 2014, the Department issued the required Section 311 notification for this project (expires August 24, 2014).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

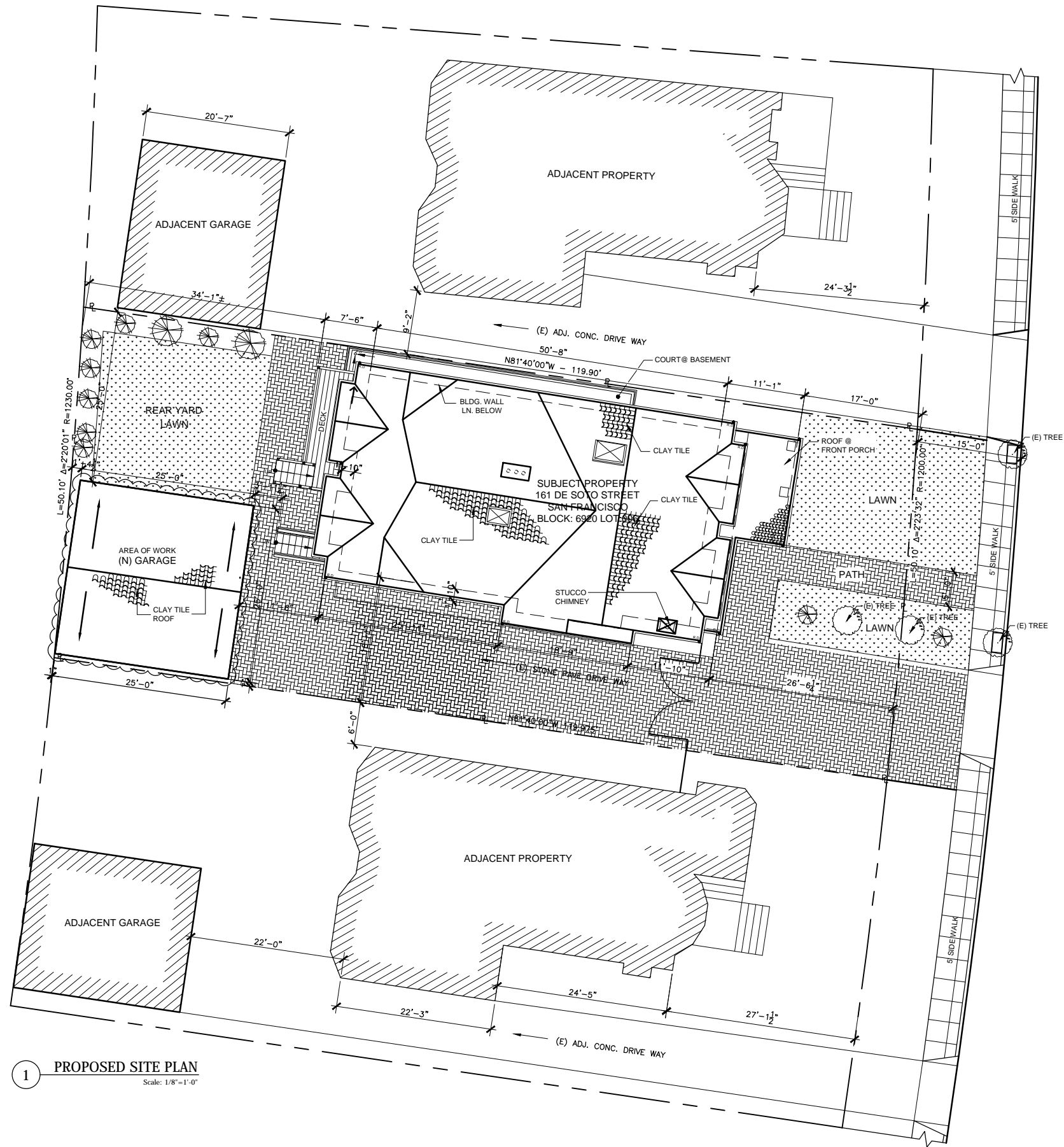
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



1 PROPOSED SITE PLAN
Scale: 1/8"=1'-0"

REVISIONS	BY
DESIGN CONSULTANTS GROUP 3900 Geary Blvd, Suite 201 San Francisco, Ca 94118 Phone: (415) 831-7180 Fax: (415) 831-7181	
REGISTERED PROFESSIONAL ENGINEER JOHN W. LAU No. 18881 Exp. 6/30/2015 CIVIL ENGINEER STATE OF CALIFORNIA	
PROPOSED SITE PLAN	
RESIDENCE BLOCK:6920, LOT:006 161 DE SOTO ST. SAN FRANCISCO, CA	
DATE	02.19.14
SCALE	AS SHOWN
DRAWN	JH
JOB	
A-1.1	
OF	SHEETS

GENERAL NOTES

Verify all dimensions of the lot, easement, and soil conditions including excavation, underpinning, drainage and utility lines at this property, as well as, at adjacent properties. All construction work shall conform to local building code.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in every detail although every necessary item involved is not particularly mentioned. The contractor will be held responsible to provide all the materials and labor necessary for the entire completion of the work intended to be described and shall not avail himself manifestly of any unintentional error or omission should such exists.

Should any error or inconsistency appears or occurs in the drawing, the contractor shall notify the owner and Architect/Engineer for proper adjustment before proceeding with the work, and in no case, shall proceed with the work in uncertainty.

Work included:
Except as otherwise specifically stated, the contractor shall provide and pay all materials, labor, tools, equipment, and building permits including encroachment and hauling permits.

Alterations:
If alterations of design or plan are made without the written consent of the Architect/Engineer, the Architect/Engineer shall not be responsible for such alterations made by or agreed upon between owner and contractor.

Information confidential
All plans, drawings, specifications and/or information furnished herewith are and shall remain the property of the Architect/Engineer & be held confidential and not be used for any purposes other than those for which they have been supplied and prepared. These drawings are not to be copied or duplicated without the Architect's/Engineer's written permission.

- Note 1:
Roofing (Typical)
- Mission clay tile over 1-ply fiber glass base sheet over 1/2" w.p. plywood sheathing. Install R-30 insulation with vapor barrier between roof joists.
 - Roofing installation shall be as per approved practice and MFR's spec. and recommendations. Roofing contractor shall submit a notarized affidavit of installation to Building Inspector.
 - All roof penetrations, such as roof drains, skyline, chimneys, exhaust fans, vent stacks, etc.. shall be properly flashed to assure water tightness.
 - Provide roof overflow drainage as per sect. 3207C of UBC. Roofing Material to be Class "B" fire rated roof assembly or better

- Note 2:
Built-Up roofing (Typical)
- Modified bitumen w/granule app 180 by firestone company or equivalent over fiberglass base over 3/4" CDX plywood sheathing.
 - Install R-30 insulation with vapor barrier between roof joists.
 - Slope roof 1/4" per foot to drain (draining to sewer line).

PROJECT DATA

JOB ADDRESS: 161 DE SOTO ST.
SAN FRANCISCO, CA
BLOCK: 6920
LOT: 006
ZONING: RH-1D
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3

DRAWING INDEX:

A-1: GENERAL NOTE, EXISTING SITE PLAN
A-1.1: PROPOSED SITE PLAN
A-2: PROPOSED GARAGE FLOOR PLANS & ELEVATION DETAILS

SCOPE OF WORK:

ENLARGE DETACHED GARAGE AT REAR YARD.

APPLICABLE CODES:

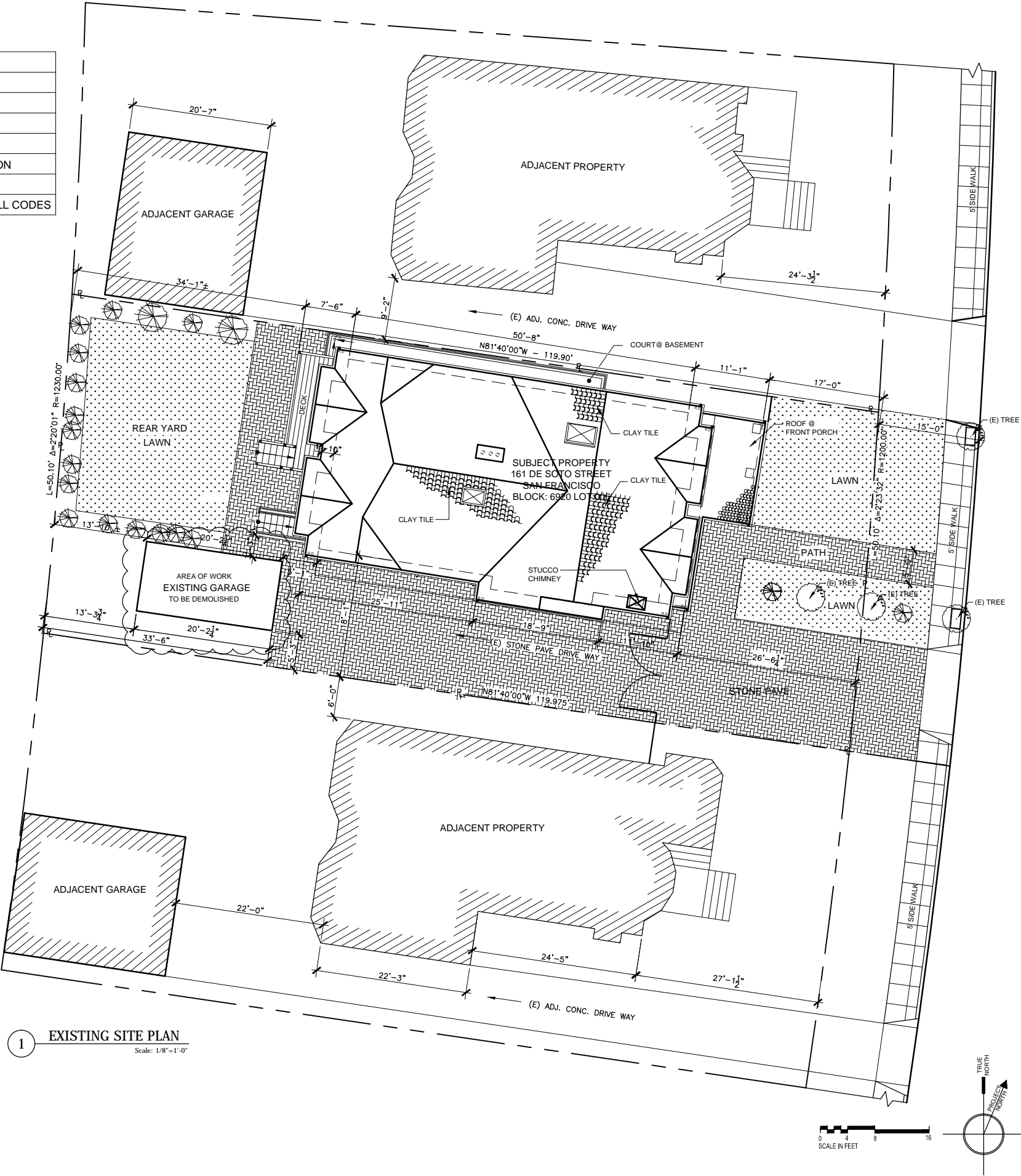
CURRENT SAN FRANCISCO ZONING ORDINATES
CALIFORNIA BUILDING CODE,2013 EDITION
CALIFORNIA MECHANICAL CODE,2013 EDITION
CALIFORNIA PLUMBING CODE,2013 EDITION
CALIFORNIA ELECTRIC CODE,2013 EDITION
THE SAN FRANCISCO HOUSING CODE,2013 EDITION
CALIFORNIA ENERGY CODE,2013 EDITION
CURRENT SAN FRANCISCO AMENDMENTS FOR ALL CODES

ELECTRICAL LEGEND:

SYMBOLS	
	Fluorescent (Ceiling Mount)
	Wall Duplex 110V w/ Ground Fault Circuit Interrupter
	Single Pole Switch w/ Occupancy sensor

LEGEND

SYMBOL	DESCRIPTION
	DEMOLITION
	REMAIN WALL
	NEW WALL
	LEVEL CHANGE
	ELEVATION
	DETAIL
	REVISION



REVISIONS

BY

DESIGN CONSULTANTS GROUP

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REGISTERED PROFESSIONAL ENGINEER

JOHN W. LAU
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GENERAL NOTES

EXISTING SITE PLAN

RESIDENCE

BLOCK:6920, LOT:006
161 DE SOTO ST.
SAN FRANCISCO,CA

DATE

02.19.14

SCALE

1/8"=1'0"

DRAWN

JH

JOB

A-1

OF SHEETS

