



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1945 Eddy St</b>	Case No.:	<b>2014.0658V</b>
Cross Street(s):	<b>Divisadero &amp; Broderick</b>	Building Permit:	<b>None filed</b>
Block / Lot No.:	<b>1129/025</b>	Applicant/Agent:	<b>Kelton Finney</b>
Zoning District(s):	<b>RM-3 / 40-X</b>	Telephone:	<b>415-516-3569</b>
Area Plan:	<b>Not applicable</b>	E-Mail:	<b>kelton@bonzaengineering.com</b>

### PROJECT DESCRIPTION

The proposal is to legalize a non-conforming second story deck and stairs constructed without permits at the rear of the two-story, two-family dwelling. A 42 inch firewall/guardrail will be added to the deck and stairs along the west property line.

**Section 134 of the Planning Code** requires a minimum rear yard depth of 34 feet 5 inches. The deck and stairs proposed to be legalized are completely within the required rear yard. The bottom of the stairs is approximately 13 feet from the rear property line.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Laura Ajello** Telephone: **415-575-9134** Mail: [Laura.Ajello@sfgov.org](mailto:Laura.Ajello@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0658V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



CONTACT INFORMATION

OWNER:	JEREMY AVNET SOREN GOODMAN 1945-1947 EDDY STREET SAN FRANCISCO, CA 415-290-8828
STRUCTURAL ENGINEER:	BONZA ENGINEERING, INC. 42 OTIS STREET, SUITE 4 SAN FRANCISCO, CALIFORNIA 94103 415.516.3569

PROJECT DATA

BLOCK/LOT:	1129/025
ZONING:	RM-3
ALLOWABLE HEIGHT:	40'-X
LOT AREA:	3436 SQ. FT.
BUILDING AREA:	3150 SQ. FT.
OCCUPANCY/USE:	RESIDENTIAL/R3
CONSTRUCTION TYPE:	V

SCOPE OF WORK

VARIANCE APPLICATION TO LEGALIZE EXISTING REAR DECK AND STAIR TO COMPLY WITH PHYSICAL INSPECTION REPORT CC-7039 ISSUED BY DBI. NO CHANGES TO INTERIOR SPACES.

APPLICABLE CODES

BUILDING CODE:	2013 CALIFORNIA BUILDING CODE W/SFBC AMENDMENTS
ELECTRICAL CODE:	2013 CALIFORNIA ELECTRICAL CODE W/SFBC AMENDMENTS
MECHANICAL CODE:	2013 CALIFORNIA MECHANICAL CODE W/SFBC AMENDMENTS
PLUMBING CODE:	2013 CALIFORNIA PLUMBING CODE W/SFBC AMENDMENTS
GREEN BUILDING:	2013 GREEN BUILDING CODE W/SFBC AMENDMENTS
HOUSING CODE:	2003 SAN FRANCISCO HOUSING CODE
ENERGY CODE:	2010 CALIFORNIA ENERGY CODE

SHEET INDEX

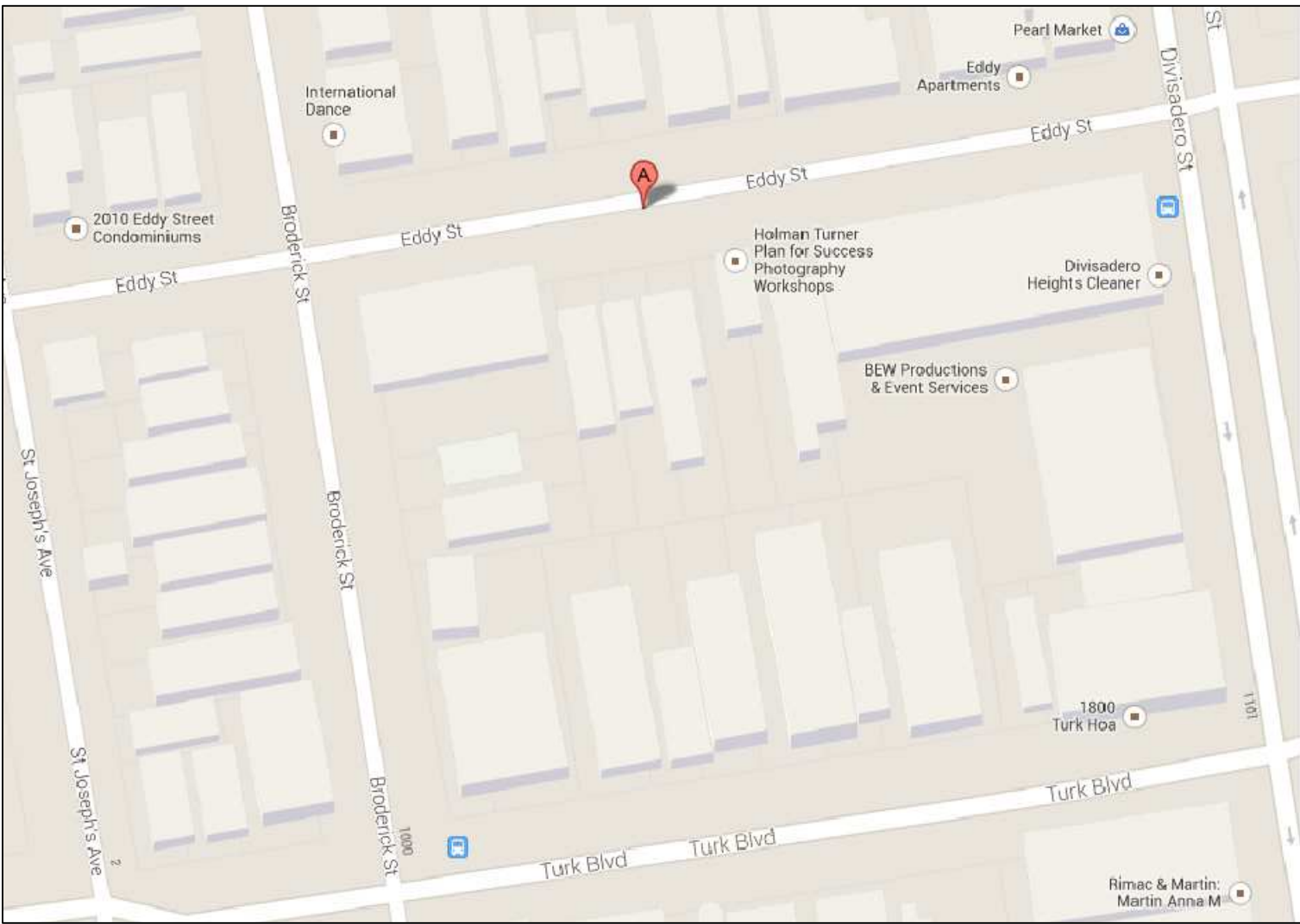
A0	PROJECT INFORMATION, GENERAL NOTES, SYMBOLS, ABBREVIATIONS, VICINITY MAP
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GENERAL NOTES

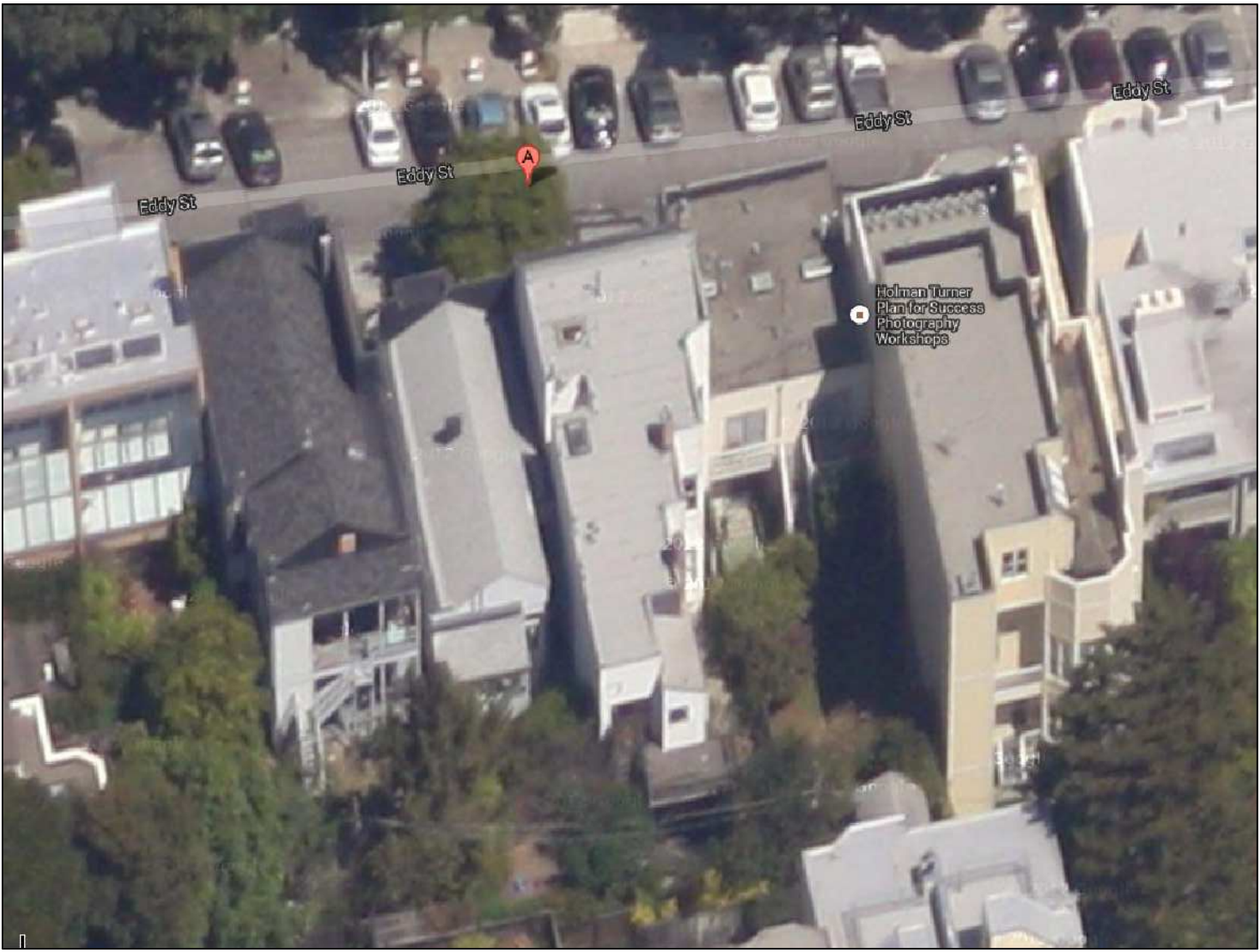
- COMPLIANCE WITH CODES:** ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, INCLUDING COMPLIANCE WITH ANY ADDITIONAL RULES AND REGULATIONS GOVERNING CONSTRUCTION AND USE OF FACILITIES MANDATED BY ANY AND ALL AGENCIES HAVING JURISDICTION.
- PERMITS AND INSPECTIONS:** THE GC IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FOR SCHEDULING ALL REQUIRED INSPECTIONS NECESSARY FOR COMPLETION THE PROJECT IN A TIMELY MANOR.
- DIMENSIONS AND LAYOUT:** DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FINISH FACE OF STUD CASEWORK, OR CONCRETE, OR CENTERLINE OF STEEL. DIMENSIONS MARKED "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS MARKED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EXISTING CONDITIONS:** PRIOR TO THE COMMENCEMENT OF WORK, THE GC, WITH SUB CONTRACTORS AND TRADESPEOPLE AS REQUIRED, SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AFFECTING THE WORK AT THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE GC AND SUBCONTRACTORS TO INSPECT CONDITIONS OF PRIOR WORK BY OTHER TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT WORK SHALL BE REPAIRED OR REPLACED PRIOR TO STARTING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF EXISTING CONDITIONS OR PRIOR WORK.
- LAYOUT OF WORK:** THE GC SHALL LAYOUT THE WORK FROM THE DIMENSIONS AND ALIGNMENTS SHOWN ON THE DRAWINGS. THE GC SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS IN THE FIELD AND FOR THE ACCURACY, FIT, AND STABILITY OF WORK.
- INCONSISTENCIES AND MISSING INFORMATION:** THE GC IS TO STUDY THE DRAWINGS, SPECIFICATIONS, NOTES AND OTHER INSTRUCTIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQUIRED FOR THE FABRICATION OR INSTALLATION OF THE WORK. THE GC SHALL REQUEST INSTRUCTION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. IN THE CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY, UNLESS OTHERWISE STATED BY THE ARCHITECT.

- MEANS AND METHODS:** THE GC SHALL SUPERVISE ALL WORK. THE GC SHALL HAVE CONTROL OVER, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- SEQUENCE AND COORDINATION:** THE GC SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK. THE GC SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.
- NOTIFICATIONS:** THE GC SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS, IN ACCORDANCE WITH THE PROVISIONS OF LAW, OF IMPENDING WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMISSION FROM ADJACENT PROPERTY OWNERS FOR ANY AND ALL USE OF THEIR PROPERTY DURING EXECUTION OF THE WORK.
- INSURANCE:** THE GC SHALL PROVIDE PROOF OF WORKERS COMPENSATION INSURANCE AND DISABILITY COVERAGE, AS REQUIRED BY STATE LAW, PRIOR TO THE COMMENCEMENT OF WORK. PROOF OF LIABILITY, PROPERTY DAMAGE AND OTHER INSURANCE SHALL BE PROVIDED IN THE AMOUNTS STATED IN THE CONTRACT BETWEEN OWNER AND CONTRACTOR. ALL SUBCONTRACTORS SHALL ALSO PROVIDE PROOF OF WORKERS COMPENSATION INSURANCE AND DISABILITY COVERAGE, AS REQUIRED BY STATE LAW, PRIOR TO THE COMMENCEMENT OF WORK. PROOF OF LIABILITY, PROPERTY DAMAGE AND OTHER INSURANCE SHALL BE PROVIDED IN THE AMOUNTS STATED IN THE CONTRACT BETWEEN THE GC AND THE SUBCONTRACTOR.
- LICENSED TRADESPEOPLE:** GC SHALL PROVIDE EVIDENCE OF STATE LICENSE FOR ALL SUBCONTRACTORS REQUIRED TO PERFORM WORK. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THEIR TRADE.
- SAFETY:** THE GC SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING SAFETY PRECAUTIONS ASSOCIATED WITH ALL WORK AT THE SITE. THE GC SHALL GIVE NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, AND THEIR PROTECTION FROM DAMAGE, INJURY AND LOSS. THE GC SHALL SECURE THE PREMISES AND MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF THE CONSTRUCTION, AND TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORKDAY TO INSURE THAT NO UNAUTHORIZED PERSONS CAN GAIN ACCESS TO THE JOB SITE.
- SHORING AND BRACING:** THE GC SHALL BE RESPONSIBLE FOR THE INTEGRITY, STABILITY, AND SAFETY OF THE EXISTING STRUCTURE, ADJACENT STRUCTURES, AND EXCAVATIONS AT ALL TIMES. THE GC SHALL PROVIDE ANY SHORING OR BRACING NECESSARY TO ENSURE THE INTEGRITY, AND SAFETY OF THE WORK.
- EXISTING UTILITIES:** THE GC SHALL EXERCISE CAUTION SO AS NOT TO DAMAGE OR DISRUPT ANY EXISTING UTILITIES THAT PASS THROUGH THE PROJECT SITE OR ADJACENT PROPERTIES. THE GC WILL BEAR SOLE RESPONSIBILITY OF ANY SUCH DISRUPTIONS OR DAMAGE. ANY REPAIR TO THE UTILITY SYSTEMS MUST BE COMPLETED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- PROTECTION DURING CONSTRUCTION:** THE GC SHALL ERECT TEMPORARY DUST AND SOUND-ATTENUATING BARRIERS AS NEEDED TO MINIMIZE THE IMPACT OF DUST AND NOISE IN SPACES NOT INVOLVED IN THE CONSTRUCTION. THE GC SHALL PROVIDE AND MAINTAIN ALL NECESSARY COVERINGS AND PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF BOTH EXISTING AND NEW CONSTRUCTION, FINISHES, BUILDING ELEMENTS AND LANDSCAPE FEATURES. SUCH PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF WORK. UPON OWNERS ACCEPTANCE, THE GC SHALL REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES.
- DAMAGE TO EXISTING:** ANY DAMAGED CONSTRUCTION OF FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE GC TO THE SATISFACTION OF THE OWNER WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
- CHANGES:** THE GC IS SOLELY RESPONSIBLE FOR ANY CHANGES TO THE PLANS, DETAILS, OR SPECIFICATIONS UNLESS PRIOR WRITTEN AUTHORIZATION IS GIVEN BY THE OWNER OR THE ARCHITECT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- APPROVED MATERIALS:** THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE THE SUITABILITY AND ACCEPTABILITY OF THE SUBSTITUTION REQUESTED BY THE GC. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY. UNLESS OTHERWISE NOTED IN THE DRAWINGS, MANUFACTURERS MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
- NIC, DESIGN / BUILD:** ALL WORK SPECIFIED AS "NOT IN CONTRACT (NIC)," OR "BY OTHERS" SHALL BE PROVIDED BY OWNER UNDER SEPARATE CONTRACT. WORK THAT IS DESIGNATED AS DESIGN / BUILD, OR DEFERRED SUBMITTAL INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL PLANS, PLUMBING PLANS, MECHANICAL PLANS, AND SPRINKLER AND FIRE ALARM PLANS. SUCH DESIGNS SHALL BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW, COORDINATION, AND APPROVAL. FOLLOWING APPROVAL BY THE ARCHITECT AND/OR ENGINEER OF RECORD, THE DESIGN BUILDER IS RESPONSIBLE FOR SUBMITTING STAMPED DRAWINGS AND CALCULATIONS TO THE LOCAL BUILDING AUTHORITY FOR REVIEW AND APPROVAL.
- HAZARDOUS MATERIALS:** THE GC SHALL TAKE ALL APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY THE REMOVAL OF, OR DAMAGE TO, LEAD BASED PAINTS, AND COATINGS, ASBESTOS, OR OTHER MATERIALS ON OR ABOUT THE PROPERTY THAT REPRESENT HAZARDS.
- INSPECTIONS AND SIGN-OFFS.** THE GC IS RESPONSIBLE FOR PROCURING ALL REQUIRED INSPECTIONS OF THE WORK, AS WELL AS ALL REQUIRED TESTING AND SPECIAL INSPECTIONS.
- CUTTING AND PATCHING:** THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED BY THE INSTALLATION OF NEW ELEMENTS, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL STEEL, FRAMING, MASONRY LINTELS, STRUCTURAL DECKING OR SLABS, STAIRS, PLUMBING, PLUMBING FIXTURES AND CONNECTIONS, WIRING, ELECTRICAL AND TELEPHONE, SWITCHES AND OUTLETS, HEATING AND VENTILATION ELEMENTS AND DEVICES. MATERIALS USED IN CUTTING AND PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS UNLESS OTHERWISE NOTED. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, THEN FINISHED WORK SHALL BE EQUAL OR BETTER TO ORIGINAL. PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EXISTING ADJACENT MATERIALS, FINISH, GLOSS AND COLOR. JOINTS SHALL BE DURABLE AND INVISIBLE. CREATE TRUE, EVEN PLANES WITH UNIFORM CONTINUOUS APPEARANCE.

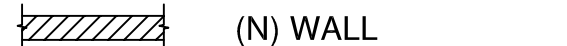
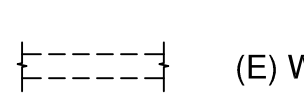
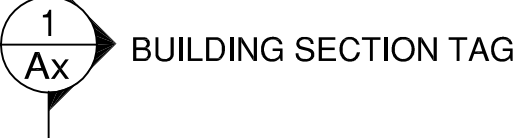
VICINITY MAP



AERIAL VIEW



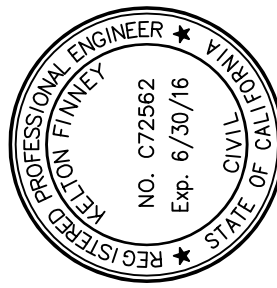
DRAWING SYMBOLS



ABBREVIATIONS

ABV	ABOVE
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BLDG	BUILDING
BLKG	BLOCKING
BOT	BOTTOM
BTWN	BETWEEN
C.C.	CENTER TO CENTER
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEC	ELECTRIC
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
FA	FIRE ALARM
FF	FINISHED FLOOR
FIN	FINISH(ED)
FLR	FLOOR
FO	FACE OF
GA	GAUGE
GALV	GALVANIZED
GEN	GENERAL
GL	GLASS
GND	GROUND
GWB	GYPSUM WALL BOARD
HC	HANDICAPPED
HOWD	HARDWOOD
HORIZ	HORIZONTAL
HT	HEIGHT
HP	HIGH POINT
INS	INSULATION
INT	INTERIOR
JB	JUNCTION BOX
KIT	KITCHEN
LAV	LAVATORY
LP	LOW POINT
LT	LIGHT
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDICINE CABINET
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OPG	OPENING
OPP	OPPOSITE
OVR	OVER
(P)	PROPOSED
PL	PROPERTY LINE
PLYWD	PLYWOOD
PNL	PANEL
PT	POINT
PTD	PAINTED
REQD	REQUIRED
RF	REFRIGERATOR
RM	ROOM
RO	ROUGH OPENING
SC	SOLID CORE
SD	SMOKE DETECTOR
SSD	SEE STRUCTURAL DRAWINGS
SCH	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STOR	STORAGE
STL	STEEL
SYM	SYMETRICAL
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TEMP	TEMPERATURE
TO	TOP OF
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
UNF	UNFINISHED
UTIL	UTILITY
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/D	WASHER AND DREYER
WC	WATERCLOSET
WD	WOOD
WH	WATER HEATER
W/O	WITHOUT

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COMPLY W/INSPECTION RPT CC-7309  
1945-1947 EDDY STREET  
SAN FRANCISCO, CA

PROJECT INFORMATION  
GENERAL NOTES  
SYMBOLS & ABBREVIATIONS  
VICINITY MAP

9-25-14

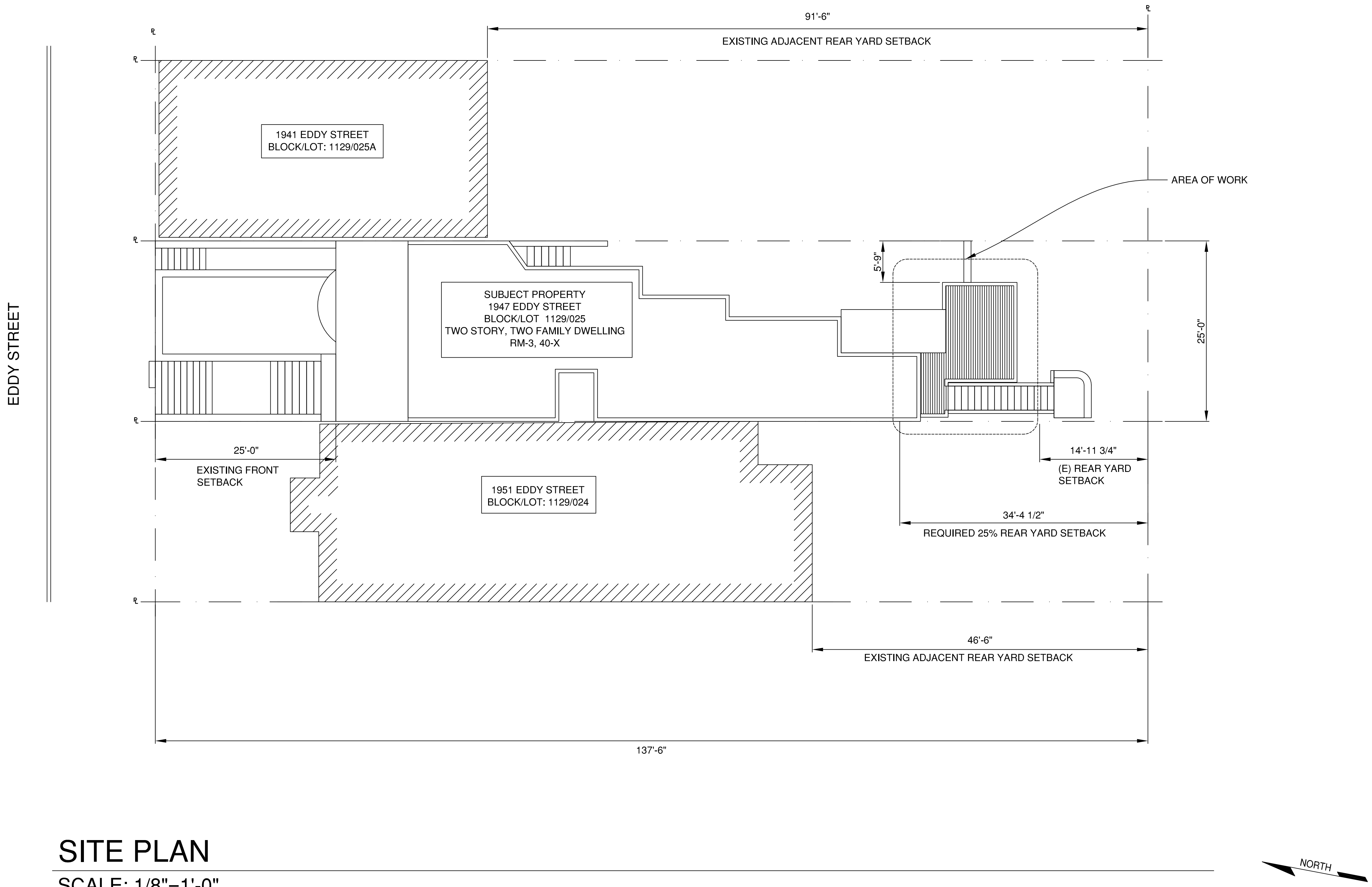
PERMIT SUBMITTAL

JOB NO: 0085

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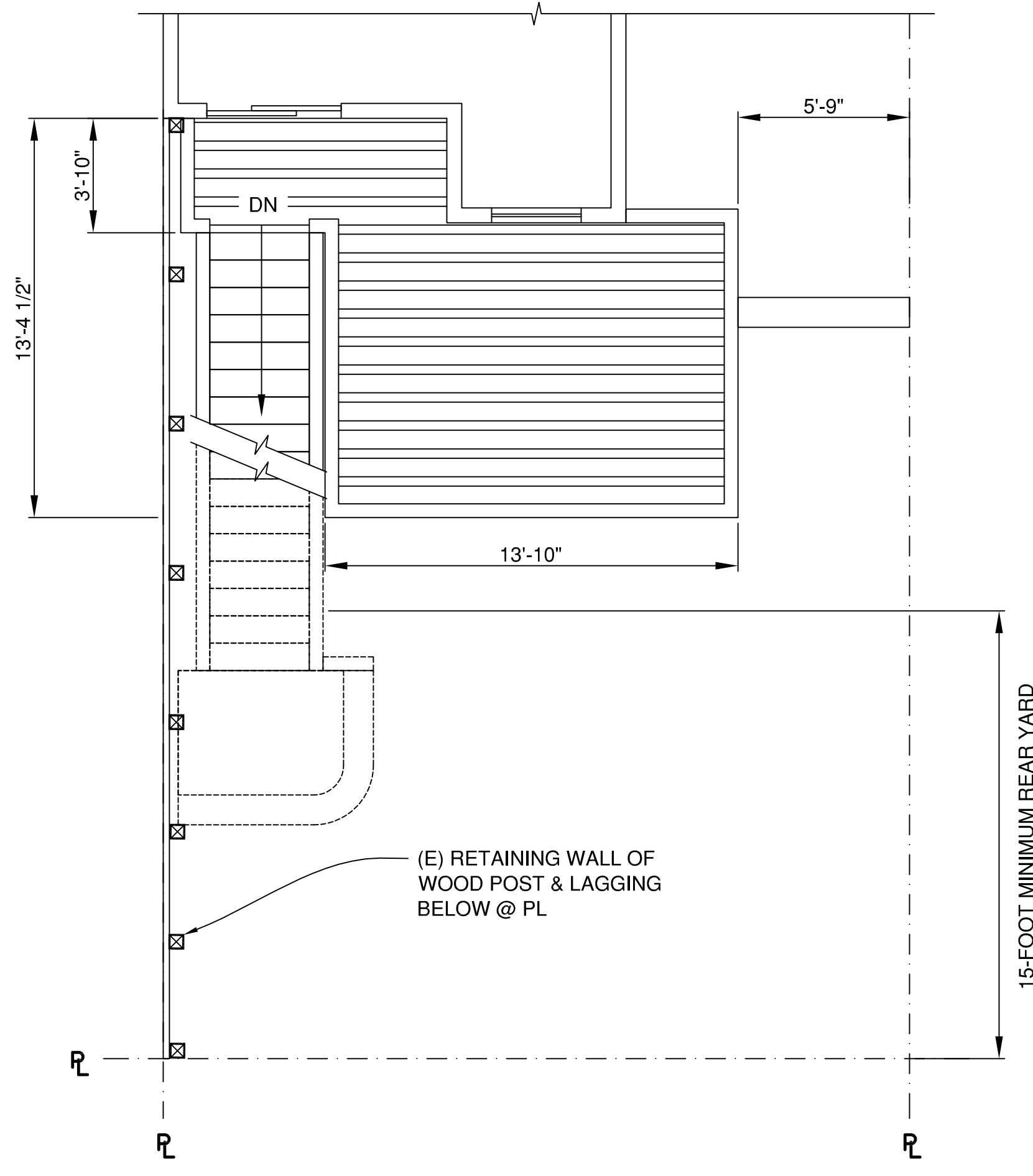


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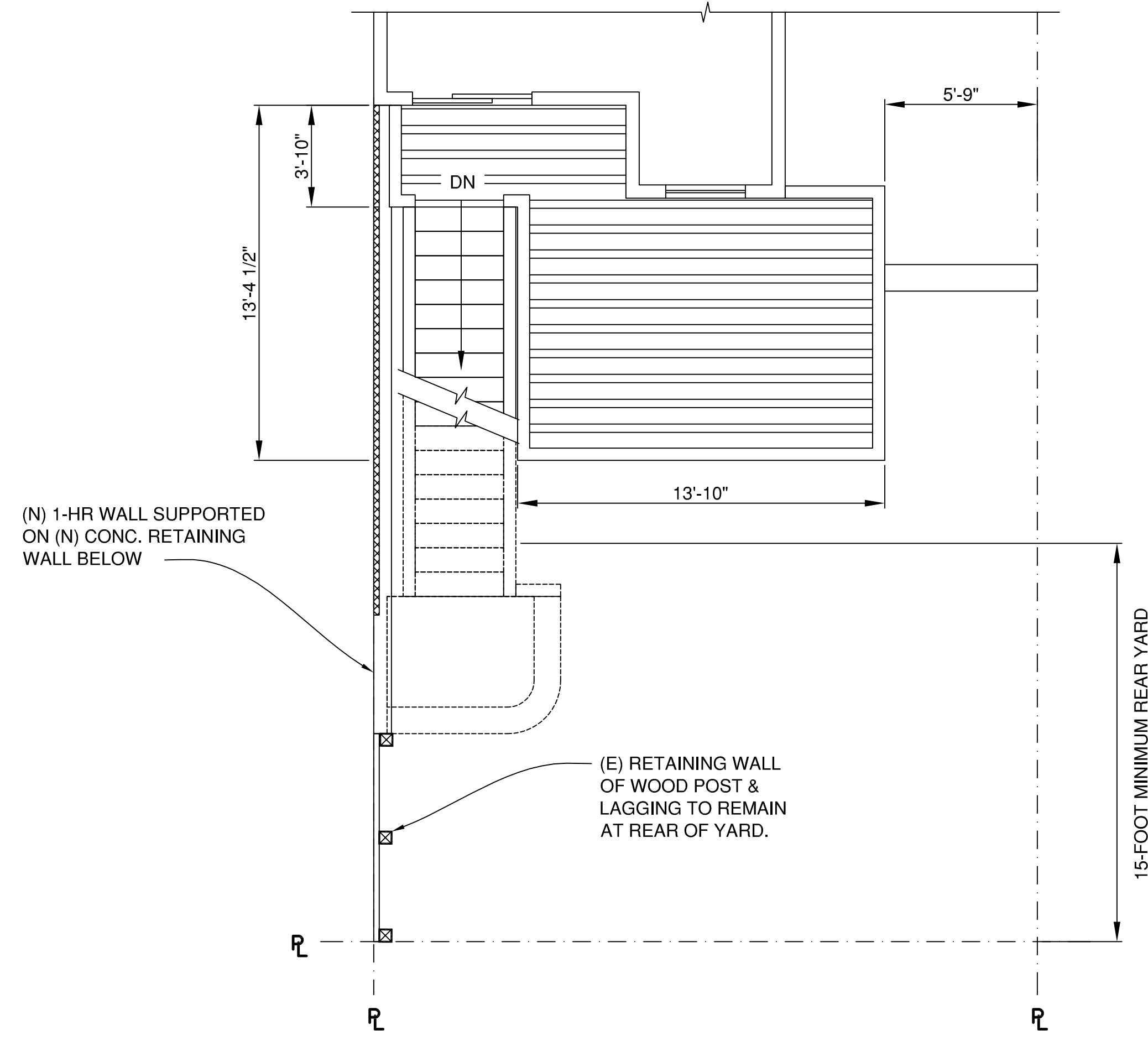


**SITE PLAN**  
SCALE: 1/8"=1'-0"

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(E) PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

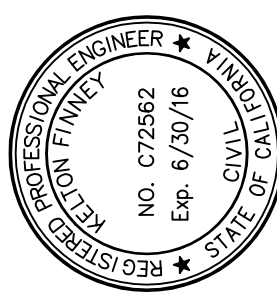


(P) PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

PERMIT SUBMITTAL 9-25-14

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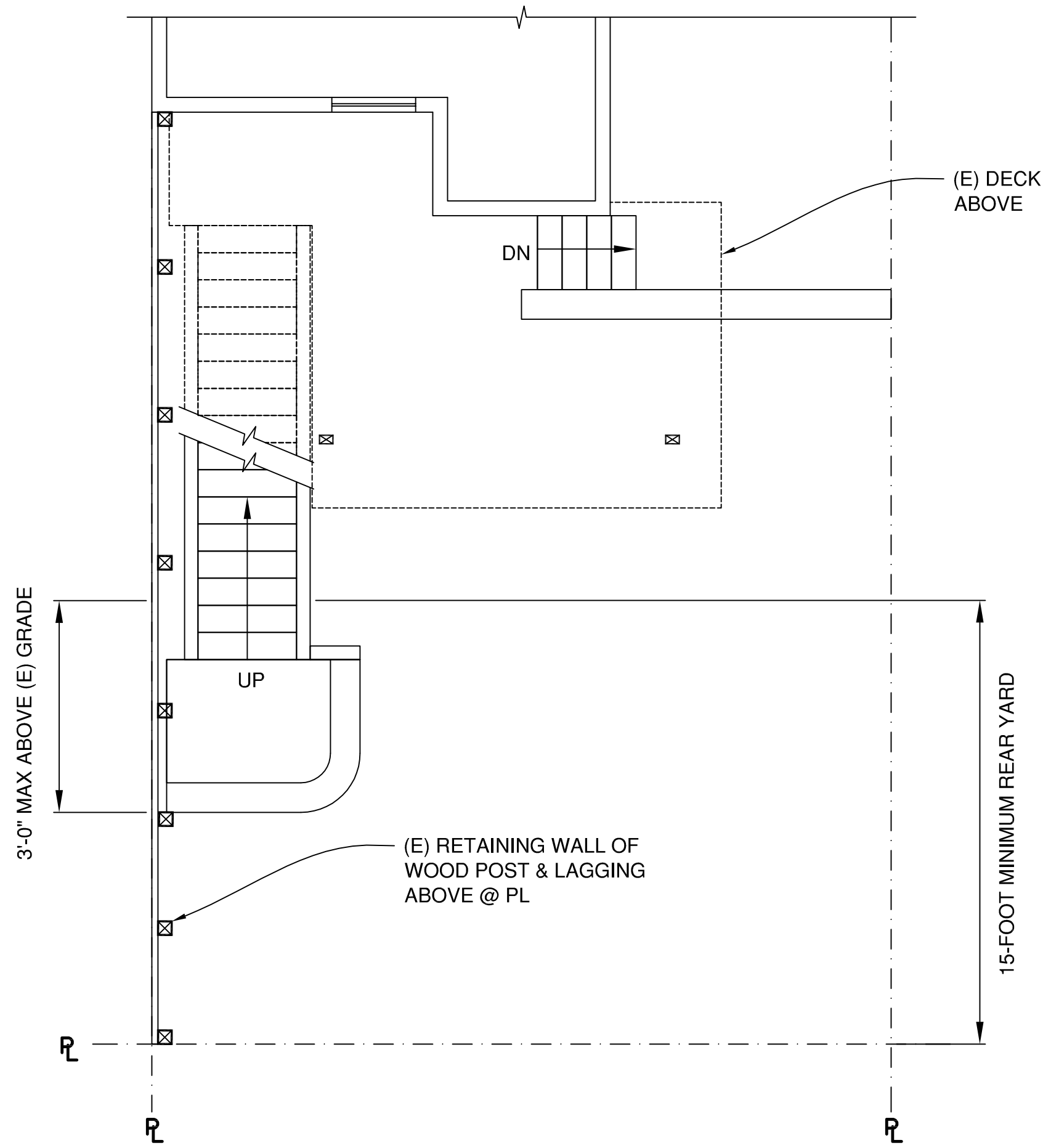
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1945-1947 EDDY STREET  
SAN FRANCISCO, CA



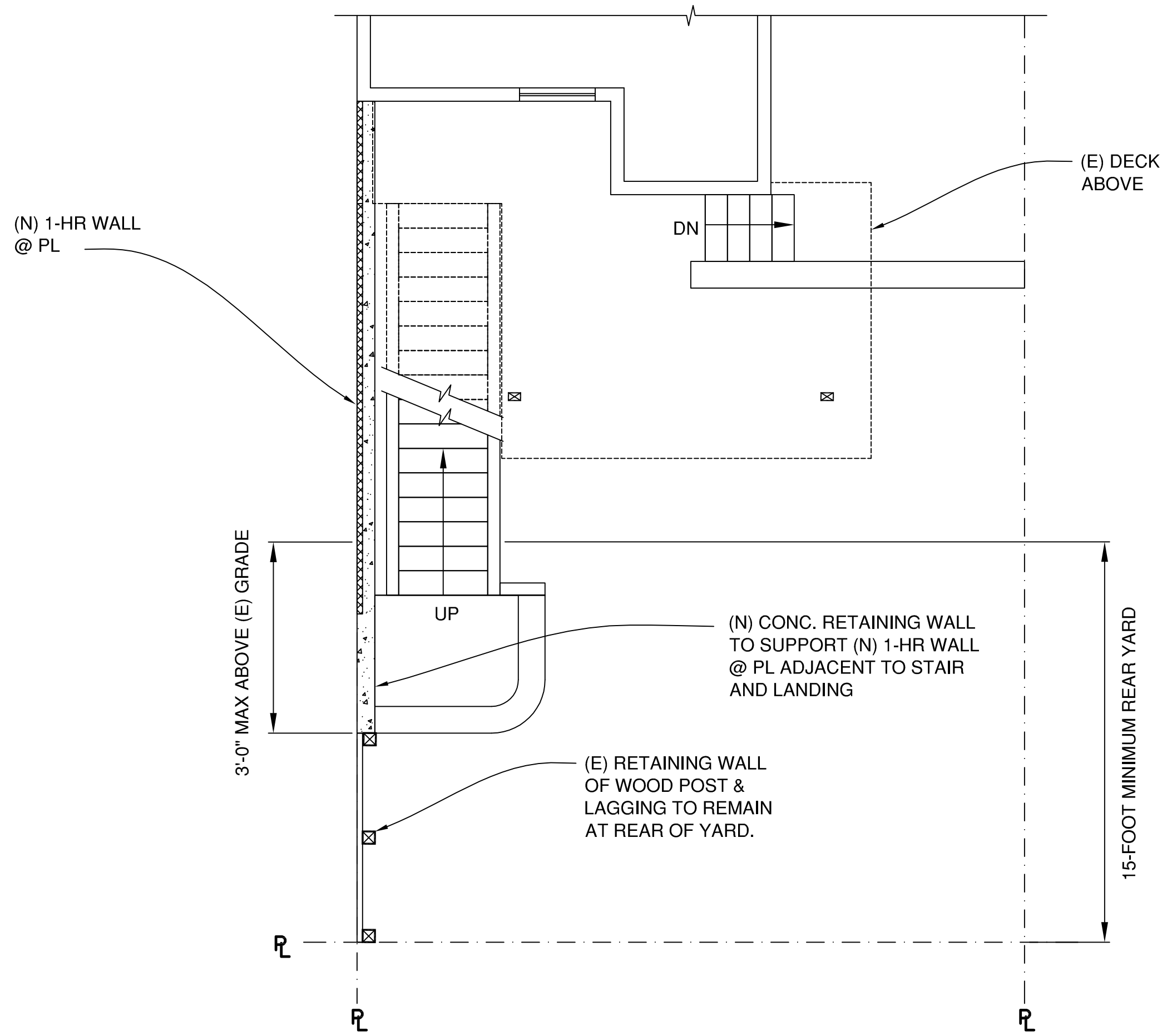
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(E) PARTIAL FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

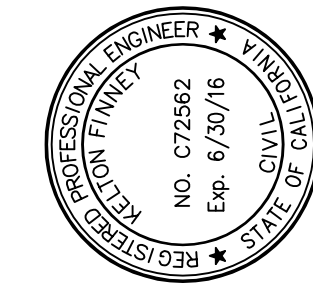


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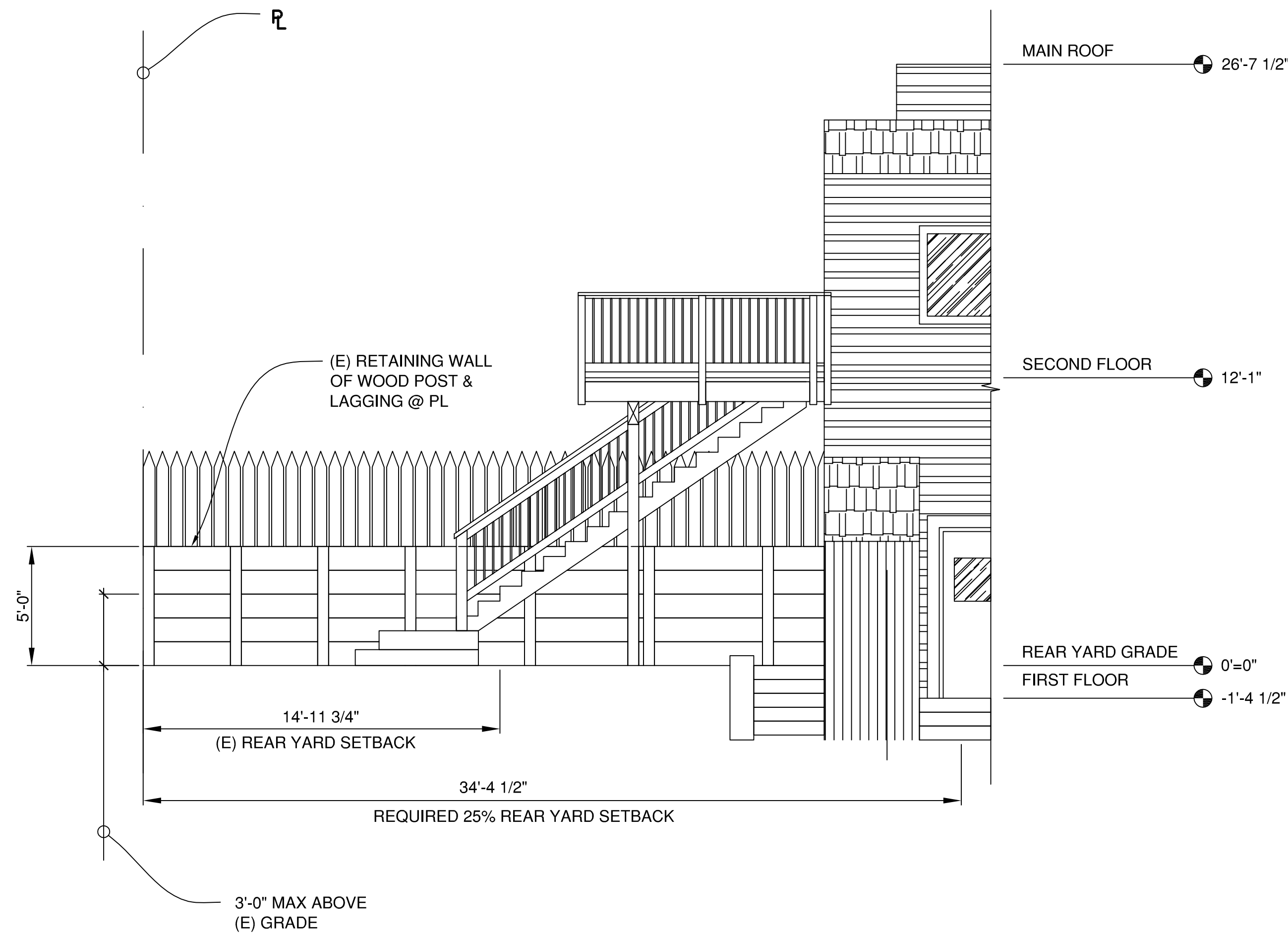
(E) PARTIAL FIRST FLOOR PLAN  
(P) PARTIAL FIRST FLOOR PLAN

COMPLY W/INSPECTION RPT CC-7309  
1945-1947 EDDY STREET  
SAN FRANCISCO, CA

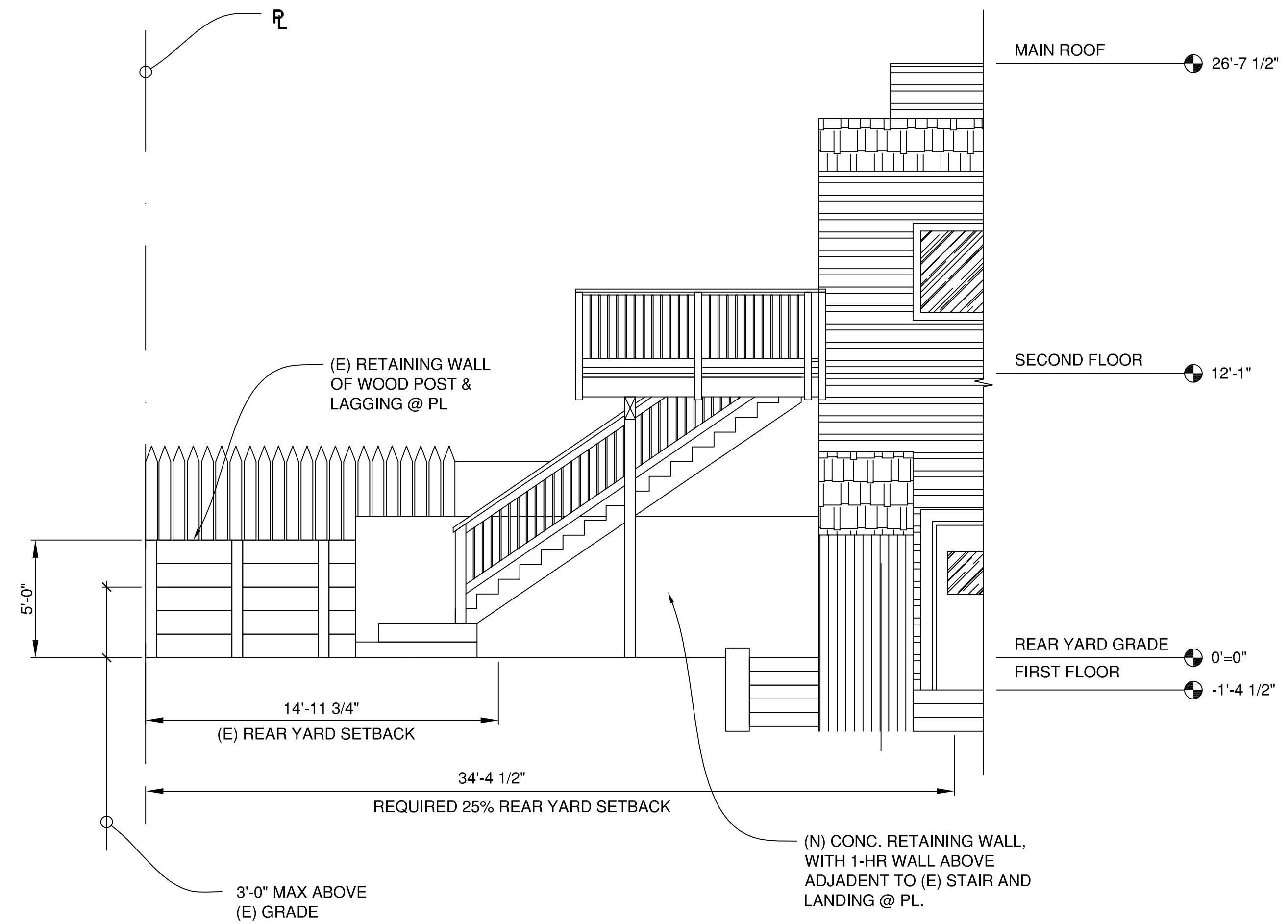


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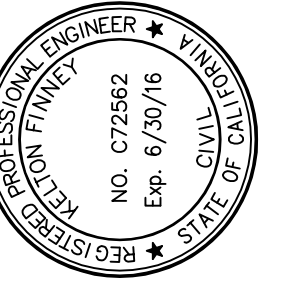
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(E) PARTIAL EAST ELEVATION  
SCALE: 1/4"=1'-0"



(P) PARTIAL EAST ELEVATION  
SCALE: 1/4"=1'-0"



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(E) PARTIAL EAST ELEVATION  
(P) PARTIAL EAST ELEVATION

9-25-14

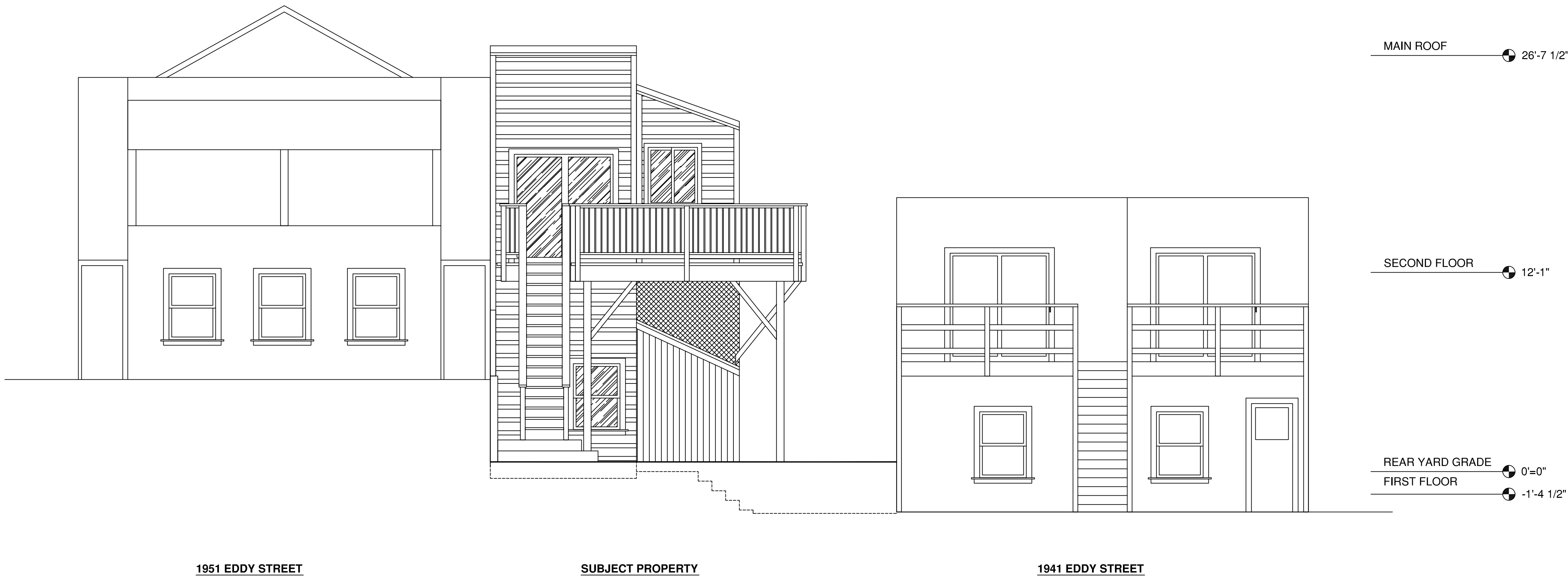
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JOB NO: 0085

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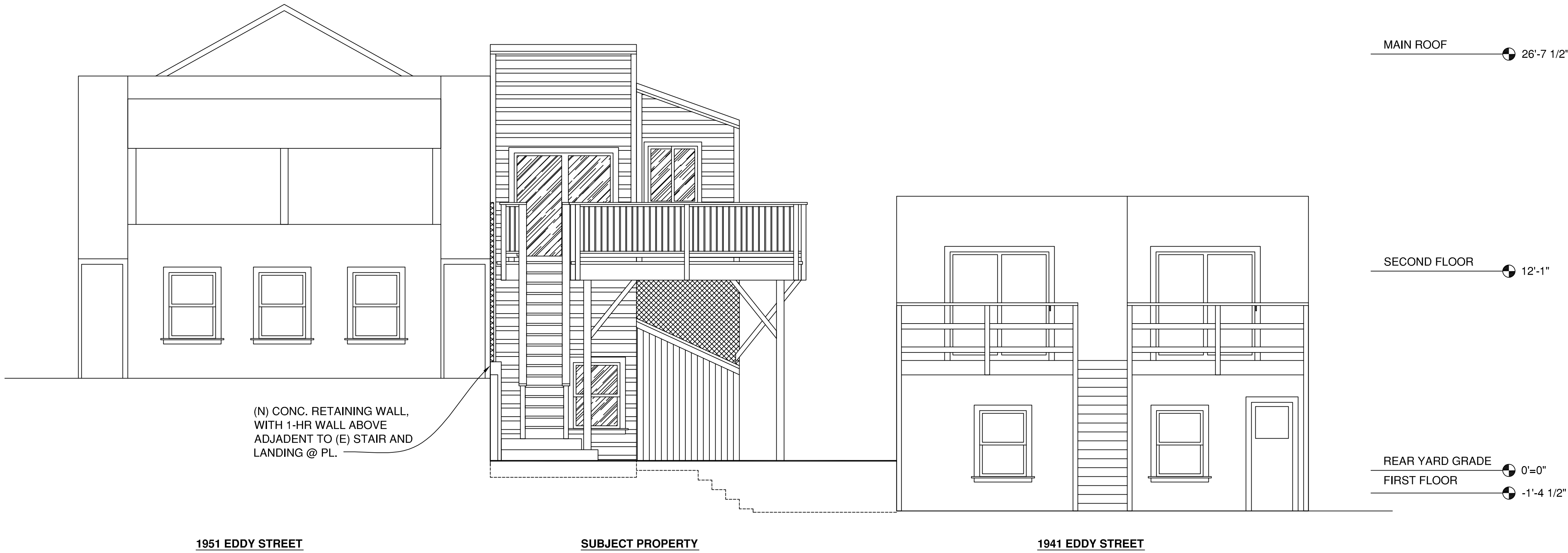


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(E) REAR ELEVATION

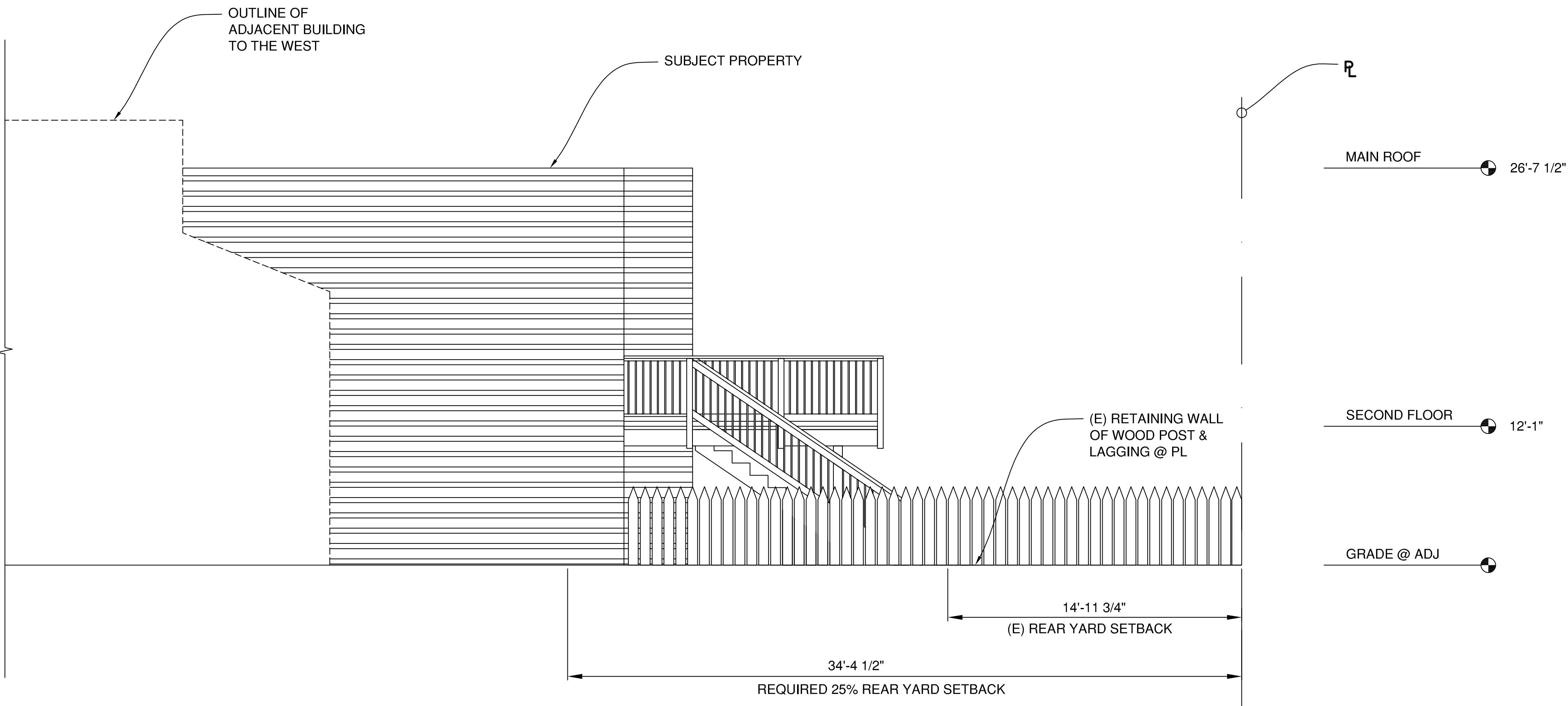
SCALE: 1/4"=1'-0"



(P) REAR ELEVATION

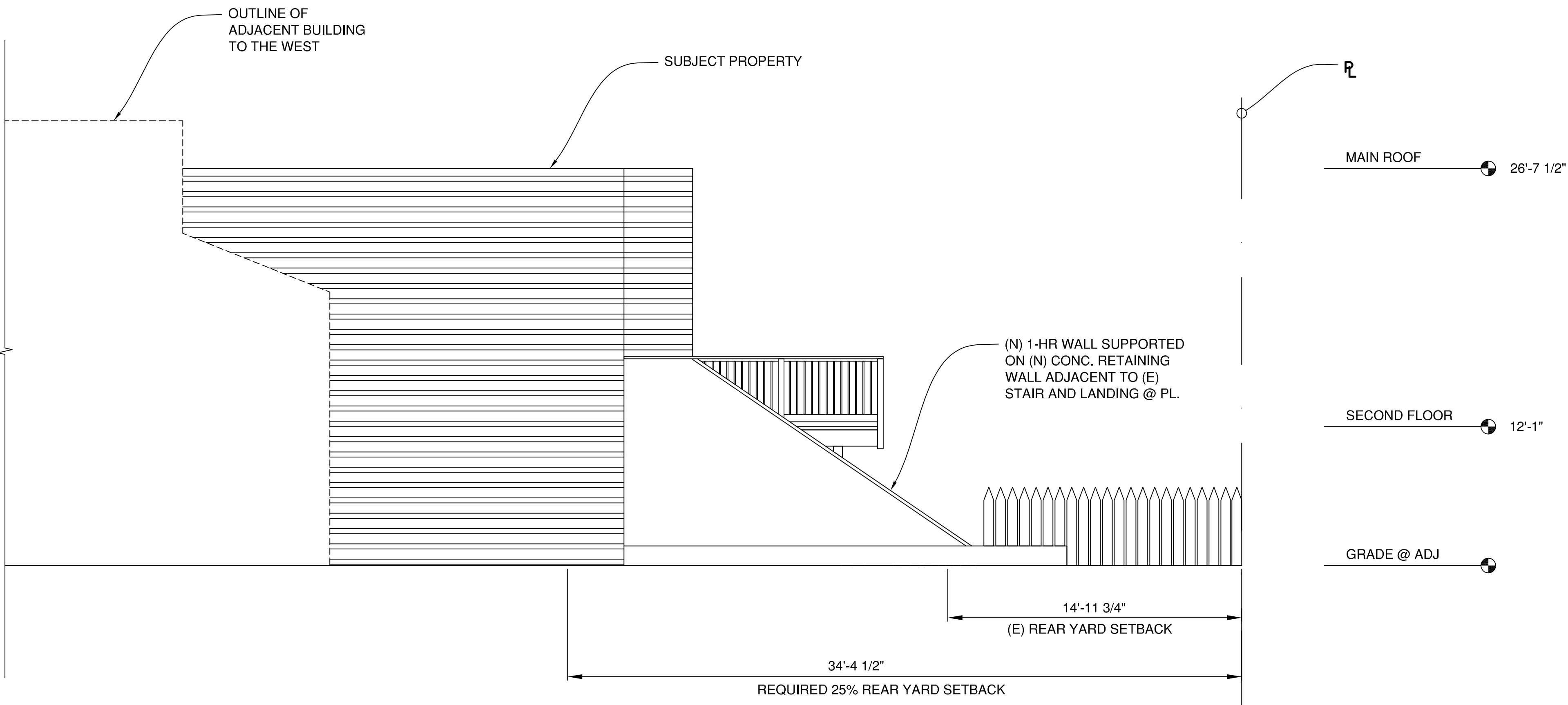
SCALE: 1/4"=1'-0"

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### (E) PARTIAL WEST ELEVATION

SCALE: 1/4"=1'-0"



### (P) PARTIAL WEST ELEVATION

SCALE: 1/4"=1'-0"