



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 24, 2014**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1516 Masonic Av	Case No.: 2014.0642V
Cross Street(s): Frederick & Upper Terrace	Building Permit: 201312184530
Block / Lot No.: 2616/034	Applicant/Agent: Kasey O'Connell
Zoning District(s): RH-2 / 40-X	Telephone: 415.516.1659
Area Plan: Click here to enter text.	E-Mail: kaseyzoconnell@gmail.com

PROJECT DESCRIPTION

The proposal seeks to reconfigure an existing rear addition, add and enlarge dormers at the rear of the house, demolish the existing deck and stair structures, and conduct minor façade alterations.

PLANNING CODE SECTION 134 requires a rear yard depth of 45 feet for the subject property. The proposed dormer work, which includes enlarging an existing dormer and adding a new dormer, is proposed at a portion of the existing roof that encroaches 3 feet into the required rear yard. Additionally, the project proposes a two-story, rear horizontal addition extending 12 feet from the main wall of the existing building into the required rear yard. Both the proposed dormer windows and rear horizontal addition require variances.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Marcelle Boudreaux** Telephone: **415-575-9140** Mail: Marcelle.Boudreaux@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0642V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

& # # # #	AND DIAMETER NUMBER OR POUND CENTERLINE PROPERTY LINE	MAT. MATERIAL MAX. M.B. M.C. M.D.O. M.E. M.F. MFR. MIN. MISC. MOUNTED MTL.	M MATERIAL MAXIMUM MACHINE BOLT MEDICINE CABINET MEDIUM DENSITY OVERLAY MECHANICAL MEMBRANE MANUFACTURER MINIMUM MISCELLANEOUS MOUNTED METAL
A.C. ACOUST. A.C.T. A.D. ADD'L ADJ. AGGR. AFF A.H.U. ALT. ALUM. APPROX. ARCH. ASPH.	A ASPHALTIC CONCRETE ACOUSTICAL ACOUSTICAL TILE AREA DRAIN ADDITIONAL ADJUSTABLE or ADJACENT AGGREGATE ABOVE FINISH FLOOR AIR HANDLING UNIT ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL ASPHALT	(N) N. N.C. N.O. NOM. N.T.S.	N NEW NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
BD. BITUM. BLDG. BLKG. BM. B.O. BOT. BR. BTWN.	B BOARD BITUMINOUS BUILDING BLOCKING BEAM BOTTOM OF BOTTOM BEDROOM BETWEEN	O.C. O.D. OPNG. OPP.	O ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE
CAB. CEM. CER. C.J. CL. CLG. CLR. C.M.U. CTR. COL. CONC. CONSTR. CONT. CONTR. CPT. C.T. CTR.	C CABINET CEMENT CERAMIC CONTROL JOINT CLOSET CEILING CLEAR CONC MASONRY UNIT COUNTER or CENTER COLUMN CONCRETE CONSTRUCTION CONTINUOUS CONTRACTOR CARPET CERAMIC TILE CENTER	PART. PERIM. PL. P.LAM. PLAS. PLYWOOD PNL. PANT. PREF. PT. PT. P.T.D.	P PARTITION PERIMETER PLATE PLASTIC LAMINATE PLASTER PLYWOOD PANEL PAINT PREFINISHED POINT PRESSURE TREATED PAINTED PAPER TOWEL DISPENSER
D. DBL. DET. DIA. DIM. DN. DR. D.S. DTL. DWG. DWR.	D DRYER DOUBLE DETAIL DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DETAIL DRAWING DRAWER	R. R.A. RAD. REC. REF. REFL. REG. REINFC. REQ'D. RESIL. RET. REV. RM. R.O. R.O.W. RWD.	R RISER OR REFRIGERATOR RETURN AIR RADIUS RECESSED REFERENCE REFLECTED REGISTER REINFORCED REQUIRED RESILIENT RETAINING REVISION or REVERSED ROUGH ROUGH OPENING RIGHT OF WAY REDWOOD
EA. EL. ELEC. EMER. EQ. EQUIP. EXP. EXT.	E EACH EXISTING ELEVATION ELECTRICAL EMERGENCY EQUAL EQUIPMENT EXPANSION EXTERIOR	S. S.C. S.C.D. S.D.	S SOUTH SOLID CORE SEE CIVIL DWGS STORM DRAIN OR SOAP DISPENSER/DISH SCHEDULE SEALANT SECTION SEE ELECTRICAL DWGS SEPARATION SQUARE FEET SEMI-GLOSS SHOWER SHEET SHT. SHTG. SHT.
FA.U. F.D. F.E.C. FIN. FIXT. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FR. FT. FTG.	F FORCED AIR UNIT FLOOR DRAIN FIRE EXTINGUISHER F. E. CABINET FINISH FIXTURE FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUD FRAME FOOT OR FEET FOOTING	SCH.D. S.E.D. SEP. S.F. S.G. SHR. SHT. SHTG. SHT. SL. S.L.D. S.M.D. S.P.D. SPEC. SQ. S.S. S.S.D. S.T.C.	S SOUTH SOLID CORE SEE CIVIL DWGS STORM DRAIN OR SOAP DISPENSER/DISH SCHEDULE SEALANT SECTION SEE ELECTRICAL DWGS SEPARATION SQUARE FEET SEMI-GLOSS SHOWER SHEET SHT. SHTG. SHT. SL. S.L.D. S.M.D. S.P.D. SPEC. SQ. S.S. S.S.D. S.T.C.
G. GA. GALV. G.D. GEN. G.F.I.	G GAS OUTLET GAUGE GALVANIZED GARBAGE DISPOSAL GENERAL GROUND FAULT INTERRUPT OUTLET GLASS GAS METERS GRADE GALVANIZED SHEET METAL GYPSUM	T. T&G T.B. T.C. TEL. TEMP. THK. T.O.C. T.O.P. T.O.P.LY. T.O.W. TYP. TPH	T TREAD TONGUE AND GROOVE TOWEL BAR TOP OF CURB TELEPHONE TEMPERED THICKNESS TOP OF CONCRETE TOP OF PLATE TOP OF PLYWOOD TOP OF WALL TYPICAL TOILET PAPER HOLDER
H.B. H.C. HD. HDR. HDW. H.M. HORIZ. HR. H.R. HT.	H HOSE BIBB HOLLOW CORE HEAD HEADER HARDWARE HOLLOW METAL HORIZONTAL HOUR HANDRAIL HEIGHT	U.B.C. UNEXC. UNF. U.O.N.	U UNIFORM BUILDING CODE UNEXCAVATED UNFINISHED UNLESS OTHERWISE NOTED
ID. IN. INSUL. INT.	I INSIDE DIAMETER INCH INSULATION INTERIOR	VAR. V.C.T. VERT. V.G.D.F. VOL.	V VARIES VINYL COMPOSITION TILE VERTICAL VERTICAL GRAIN DOUGLAS FIR VOLUME
JST. JT.	J JOIST JOINT	W. W. W.C. W.D. W.H. WIND. W/O W.P.	W WEST OR WASHER WITH WATER CLOSET WOOD WATER HEATER WINDOW WITHOUT WORK POINT OR WATERPROOFING WAINSCOT WET STANDPIPE WEIGHT WATER RESISTANT
LAM. LAV. LB. LIN. LN. LT.	L LAMINATE LAVATORY POUND LINEAR OR LINEN CLOSET LINE LIGHT	WSCT. W.S.P. WT. W.R.	

SYMBOLS

MATERIAL CONVENTIONS AND SYMBOLS

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	WINDOW
	POURED-IN-PLACE CONCRETE
	MASONRY
	CERAMIC TILE
	EARTH
	GRAVEL, ROCK
	SAND
	CEMENT PLASTER
	STEEL
	STRUCTURAL WOOD FRAMING
	CONTINUOUS MEMBER
	BLOCKING
	PLYWOOD
	FINISH WOODWORK
	GYPSUM WALLBOARD
	BATT INSULATION
	RIGID INSULATION

DRAWING CONVENTIONS AND SYMBOLS

	WORK POINT, DATUM, CONTROL POINT
	CENTER LINE
	PROPERTY LINE
	COLUMN LINE, GRID LINE
	ROOM IDENTIFICATION
	DETAIL REFERENCE SYMBOL
	DRAWING NUMBER
	SHEET NUMBER
	DOOR SYMBOLS
	DOOR NUMBER
	HARDWARE GROUP
	WINDOW SYMBOL
	REVISION

ELECTRICAL AND MECHANICAL SYMBOLS

	MAIN ELECTRICAL PANEL		DUPLEX OUTLET
	ELECTRICAL SUBPANEL		FOURPLEX OUTLET
	HOUSE PANEL		30A 240V RECEPTICLE
	EXIT LIGHT - CLG MTD		GROUND FAULT RECEPTICLE (5A)
	EMERGENCY LIGHT - BATT OPERATED		TELEPHONE LINE
	SMOKE DETECTOR - HARD WIRED		CABLE TV OUTLET
	RECESSED DOWNLIGHT (INCAND)		FORCED AIR HEATING UNIT
	RECESSED DOWNLIGHT (FLUORESCENT)		SUPPLY REGISTER
	CEILING MTD (INCAND)		RETURN REGISTER
	CEILING MTD (FLUORESCENT)		THERMOSTAT
	WALL MTD (INCAND)		EXHAUST FAN
	WALL MTD (FLUORESCENT)		
	UNDERCABINET (FLUORESCENT)		
	CEILING (FLUORESCENT)		
	SINGLE POLE WALL SWITCH		
	THREE WAY WALL SWITCH		
	SWITCHED TO DOOR HINGE		
	SWITCHED TO PHOTO CELL		

VICINITY MAP



NOTES

- GENERAL NOTES**
- All work is to be constructed to the following Codes and Amendments: the 2010 San Francisco Building Code consists of the 2010 California Building Code, with San Francisco Amendments; the 2010 San Francisco Electrical Code consists of the 2010 California Electrical Code with San Francisco Amendments; the 2010 San Francisco Energy Code consists of the 2010 California Energy Code, which is essentially the same as the 2008 California Energy Code, with no local amendments; the 2007 San Francisco Housing Code consists of the 2007 California Housing Code with San Francisco Amendments; the 2010 San Francisco Mechanical Code consists of the 2010 California Mechanical Code with San Francisco Amendments; the 2010 San Francisco Plumbing Code consists of the 2010 California Plumbing Code with San Francisco Amendments; California Code of Regulations Title 8, Chapter 4, Subchapter 4, Construction Safety Orders (Cal OSHA); California Code of Regulations Title 19 (ADA) Americans With Disabilities Act; City and County of San Francisco Amendments to all of the codes listed above; and San Francisco Department of Public Works Standard Specifications and Details. Nothing in the drawings is to be construed as requiring or permitting work contrary to these rules, regulations and codes.
 - The contractor is responsible for obtaining separate permits for electrical, mechanical, plumbing, grading, or other permits as well as all inspections and approvals, and certificates of local authorities having jurisdiction. Issuance of a building permit based on these drawings does not constitute granting of these separate permits.
 - All information shown on the drawings relative to existing conditions is given as the best present knowledge, but without guarantee of accuracy. Where actual conditions conflict with the drawings, they shall be reported to the Architect so that the proper revisions may be made. Modifications of the details of construction shall not be made without written direction of the Architect.
 - Drawings and specifications are complimentary and what is required by any one shall be binding as if required by all.
 - Drawings indicate general and typical details of construction. Where conditions are not specifically indicated, but are of similar character to details shown, similar details of construction shall be used, subject to review by the Architect.
 - Contractor shall notify the Architect in writing of any proposed deviation from the plans due to unforeseen obstructions or conditions and shall not proceed with any changes without the consent of the Architect.
 - Do not scale drawings. Dimensions are to face of framing or face of concrete unless otherwise noted. Figured dimensions take precedence over scaled dimensions.
 - Unless otherwise noted all new work shall align with and be of the same material, finish and quality as the existing work.
 - All existing work affected by new work shall be made whole and match existing work that remains.
 - Provide weather protection a required to prevent damage. Remove and replace all work damaged due to inadequate protection at General Contractor's expense.
 - Maintain work areas clean and free from undue encumbrances at all times. Remove surplus materials and waste as the Work progresses.
- GENERAL BUILDING**
- Install 5/8" Type X GWB at garage/house walls and ceiling.
 - All interior walls are 2x4 studs except at plumbing walls, behind plumbing fixtures, or unless otherwise noted.
 - Attic access door where applicable to be 24"x30" min. w/ 30" clear headroom at attic above access opening.
 - Glazing in locations subject to human impact, within 18" of floor and 24" of doors including door, shall be of tempered/shatterproof safety glass.
 - Hinged shower doors shall be minimum 24" and shall open outward.
 - Bedrooms shall have an egress window with a sill no higher than 44" above the floor, a net free opening area of 5.7 sf having a minimum clear width of 20" and minimum clear height of 24".
 - All habitable rooms shall have natural light with minimum clear glazed area equal to 8% of room floor area.
 - Install sill pans at all exterior doors and integrate them into the waterproofing system at elevated terraces and decks.
- DEMOLITION**
- Conform to all federal, state and local laws and regulations regarding demolition, disposal and hazardous material removal and abatement. Inform Owner upon finding any hazardous materials.
 - Remove walls, partitions, finishes and appurtenances as required to properly implement the work and design expressed in the drawings.
- PLUMBING**
- DWV: Cast Iron.
 - Water piping, Exterior and Irrigation: Schedule 40 PVC.
 - Water piping, Interior: Type L copper
 - Gas piping: Black Steel, Schedule 40-A-120.
 - Water closets: 1.6 Gallon Low Flush.
 - Provide approved non-removable backflow prevention devices on hose bibs.
 - Shower valves shall be of pressure balanced type.
 - Shower pans shall have waterproofing minimum 4" above floor drain and shower curbs shall be minimum 2" above floor drain.
- ELECTRICAL**
- GFI receptacles to be located at the following: Exterior of building (weatherproof), at or above kitchen or bathroom counters, in unfinished basements, storage or crawl spaces and in garages.
 - Convenience outlets shall be located 12 inches above floor or to match existing unless otherwise noted.
 - Provide Carbon Monoxide devices in accordance with the 2010 California Building Code, Section 420.4, and the 2010 California Residential Code, Section R315. CO devices shall produce a distinct audible alarm.
 - Smoke detectors shall be photoelectric type and shall operate at 120v w/ battery backup. Smoke detectors within a unit shall be inter-connected and hard wired.
 - Confirm location of all light switches, receptacles and light fixtures with Owner prior to starting rough wiring.
 - Recessed ceiling lights shall be IC (insulation cover) rated.
 - Fixed in place appliances shall be on separate branch circuits rated for the appliance. Receptacles for fixed in place appliances shall be accessible, not behind the appliance.
 - Arc-fault circuit interrupter protection shall be installed for all new plug receptacles in bedrooms.
 - Lights in showers or above tubs shall be approved for damp locations.
 - Interior Lighting and Controls:
Kitchen: Maximum 50% of wattage low efficacy
Minimum 50% of wattage high efficacy
Control low and high efficacy systems separately
Bathrooms & Laundry: Low efficacy lights: Manual-on occupancy sensor
High efficacy lights: Dedicated wall switch
Utility & Garage: High efficacy lights or Manual-on occupancy sensor
Exterior Lighting and Controls: No requirement
Lights Mounted on Building: Controlled by motion sensor and photo-control.
Landscape Lighting: No requirement
- MECHANICAL SYSTEMS AND EQUIPMENT**
- Mechanical Contractor responsible for design of new heating system and any modification to existing duct work. Coordinate location of new supply and return air grilles with architect.
 - Provide and install exhaust fans, sized for the room, at all bathrooms with a tub or shower and at laundry room. Vent to exterior.
 - Gas dryer venting: Maximum run of 14 feet with (2) 90 degree elbows.
 - Provide seismic anchorage of all appliances, boilers, and water heaters
 - Verify clearances for boilers, water heaters, and appliances per manufacturer's specifications and install accordingly.
 - Provide exhaust ventilation to the outside from all gas burning appliances.

O'CONNELL RESIDENCE REAR ADDITION & REMODEL

1516 MASONIC AVENUE
SAN FRANCISCO, CA 94117
BLOCK 2616 / LOT 034

- SCOPE OF WORK:**
- EXTERIOR:**
REAR YARD 2-STORY HORIZONTAL ADDITION
ADD DORMER AT REAR ATTIC AND ENLARGE EXISTING DORMER (NOT VISIBLE FROM STREET)
FRONT FACADE: MODIFY EXISTING HIPPED ROOF TO GABLE ROOF AT EACH SIDE OF EXISTING DORMER (MAINTAIN EXISTING RIDGE). REPLACE EXISTING SHORT COLUMNS AT PORCH WITH FULL HEIGHT COLUMNS. INCREASE WIDTH OF GARAGE DOOR OPENING.
 - INTERIOR:**
GARAGE LEVEL: NEW MEDIA ROOM, BATHROOM, AND INTERIOR SPIRAL STAIR.
SECOND LEVEL: RECONFIGURE KITCHEN, DINING, AND FAMILY ROOM TO OPEN PLAN. NEW SPIRAL STAIR TO GARAGE LEVEL.
THIRD LEVEL: RECONFIGURE MASTERBEDROOM/MASTERBATH SUITE.
ATTIC LEVEL: RECONFIGURE BATHROOM AND REAR STUDY.

PROJECT DATA

CODE DATA:

ADDRESS: 1516 MASONIC AVENUE
SAN FRANCISCO, CA 94117

A.P.N.: BLOCK 2616 / LOT 034

ZONING DISTRICT: RH-2

OCCUPANCY GROUP: R-3 (SINGLE FAMILY)

TYPE OF CONSTRUCTION: TYPE V-B (NON-RATED)

CODE: 2010 CAL BLDG CODE & SFBC AMENDMENTS

SITE DATA:

SITE AREA: 25.00' X 100.00' = 2,500.00 SQ. FT.

EXISTING PARKING: 1 ON-SITE PARKING

PARKING PROVIDED: 1 (NO CHANGE)

CHARACTERISTICS OF STRUCTURE:

DESCRIPTION: EXISTING STRUCTURE IS FOUR STORIES INCLUDING GARAGE AND ATTIC. DESIGN WILL INCLUDE REAR YARD ADDITION AND NEW DORMER AT ATTIC.

FLOOR AREAS SQ FT	EXISTING			NEW			NET CHANGE
	HABITABLE	NON-HABITABLE	TOTAL	HABITABLE	NON-HABITABLE	TOTAL	
GARAGE LEVEL	714	481	1,195	804	481	1,285	+90
2ND LEVEL	1,174	(NA)	1,174	1,264	(NA)	1,264	+90
3RD LEVEL	1,140	(NA)	1,140	1,140	(NA)	1,140	+0
ATTIC LEVEL	656	(NA)	656	714	(NA)	714	+58
TOTALS	3,684	481	4,165	3,922	481	4,403	+238

BUILDING HEIGHT:

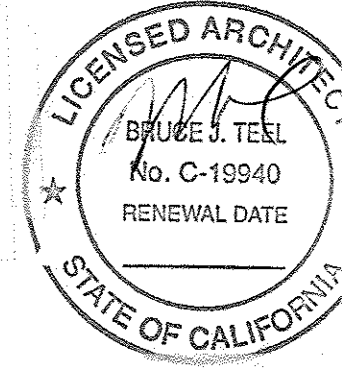
EXISTING BUILDING HEIGHT = 39'- 6" ±

PROPOSED BUILDING HEIGHT = 39'- 6" ±

DRAWING INDEX

ARCHITECTURAL DRAWINGS

SHEET A0.1	GENERAL NOTES, ABBREVIATIONS, SYMBOLS, VICINITY MAP, INDEX
SHEET A1.1	(N) & (E) SITE /PLOT/ROOF PLAN/SECTION
SHEET A2.1	(E) CONDITIONS/DEMOLITION PLANS - GARAGE / 2ND FLR
SHEET A2.2	(E) CONDITIONS/DEMOLITION PLANS - 3RD FLR / ATTIC / ROOF
SHEET A2.3	NEW CONSTRUCTION PLANS - GARAGE / 2ND FLR
SHEET A2.4	NEW CONSTRUCTION PLANS - 3RD FLR / ATTIC / ROOF
SHEET A3.1	(N) & (E) EXTERIOR ELEVATIONS / CONTEXT
SHEET A3.2	(N) & (E) EXTERIOR ELEVATIONS / CONTEXT



BRUCE TEEL
ARCHITECT

ARCHITECTURE
PLANNING
DESIGN

PROJECT
REMODEL
&
REAR
ADDITION

O'CONNELL
RESIDENCE

1516 MASONIC
AVENUE
SAN FRANCISCO
CALIFORNIA

SHEET TITLE
GENERAL
NOTES,
SYMBOLS
VICINITY MAP,
INDEX

SHEET NUMBER
A0.1

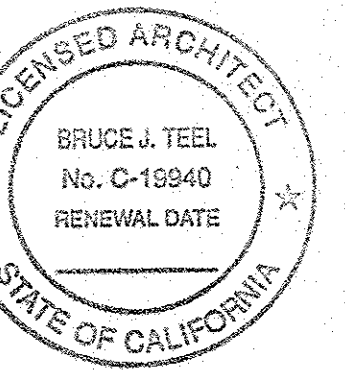
JULY 2013

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BRUCE TEEL
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REMODEL
&
REAR
ADDITION

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RESIDENCE

1516 MASONIC
AVENUE
SAN FRANCISCO
CALIFORNIA

SHEET TITLE

(N) & (E)
SITE / PLOT /
ROOF PLAN /
SECTION

SHEET NUMBER

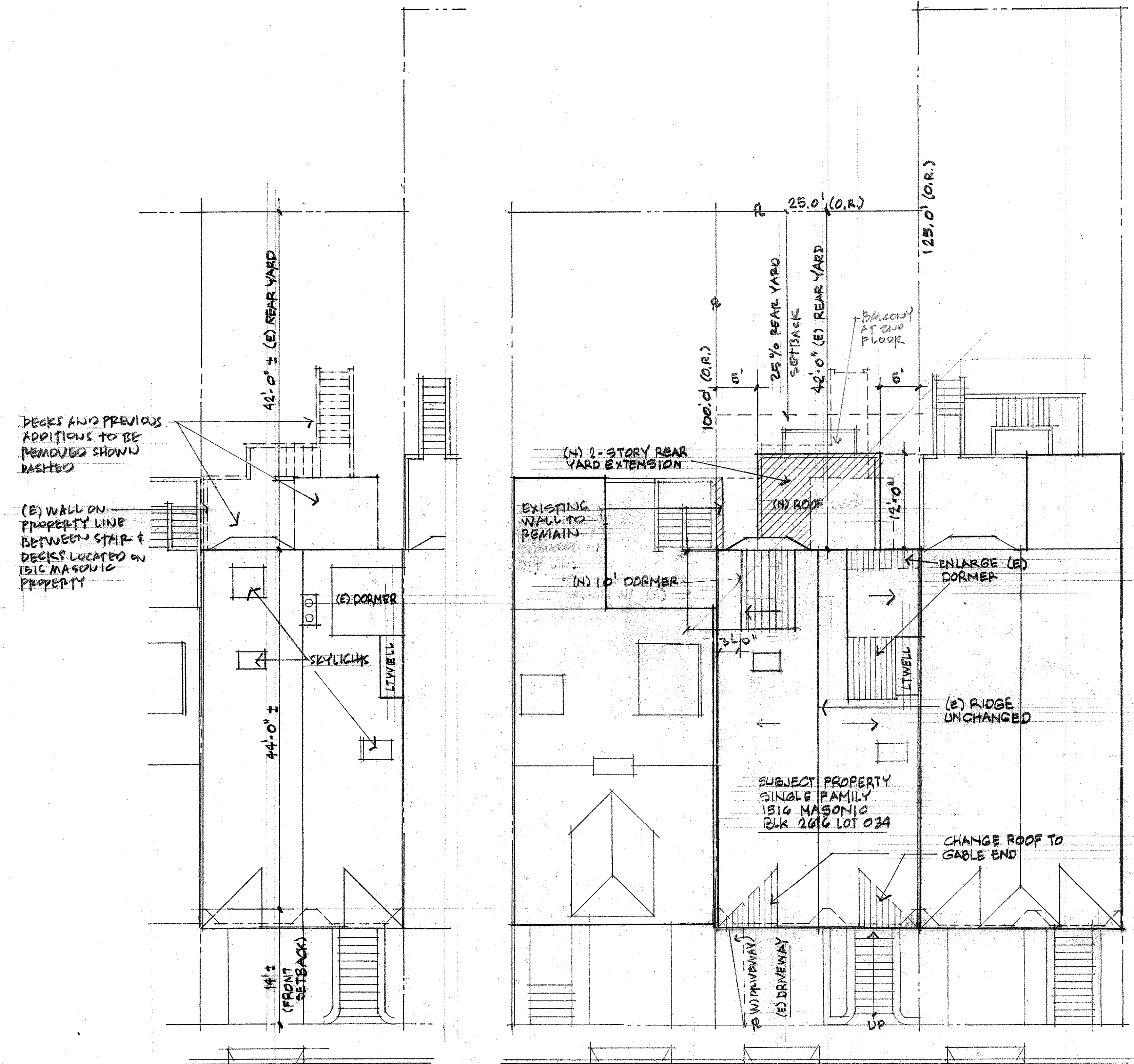
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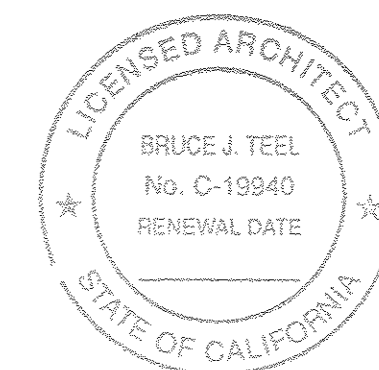


EXIST. SITE PLAN

1/8" = 1'-0"

NEW SITE PLAN / ROOF / PLOT / CONTEXT PLAN

1/8" = 1'-0"



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SHEET TITLE
(N) & (E)
EXTERIOR
ELEVATIONS
CONTEXT

SHEET NUMBER

A3.1

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REVISED
4.25.14



○ SOUTH ELEV. - NEW (PARTIAL)
1/4" = 1'-0"

○ EAST ELEV. - NEW (REAR)
1/4" = 1'-0"

○ NORTH ELEV. - NEW (PARTIAL)
1/4" = 1'-0"

○ EAST ELEV. - EXISTING (REAR)
1/4" = 1'-0"