



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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**415.558.6409**

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**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 27, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>3652 22nd St</b>	Case No.:	<b>2014.0571V</b>
Cross Street(s):	<b>Sanchez/Church</b>	Building Permit:	<b>201401317505</b>
Block / Lot No.:	<b>3620/015</b>	Applicant/Agent:	<b>Sarah Willmer</b>
Zoning District(s):	<b>RH-1 / 40-X</b>	Telephone:	<b>415-642-1166</b>
Area Plan:	<b>Click here to enter text.</b>	E-Mail:	<b>swillmer@studio-sw.com</b>
PROJECT DESCRIPTION			
<p>The proposal seeks to modify a portion of the roof on an existing single-family dwelling. In the rear of the dwelling at the breakfast room, a shed roof currently exists and the proposal seeks to create a flat roof that will raise the height approximately 2 feet 10 inches. The breakfast room sits partially within the required rear yard.</p> <p><b>PLANNING CODE SECTION 241 requires a rear yard depth of 51 feet 4 inches</b> for the subject property. The breakfast room projects approximately 5 feet into the required rear yard. Work proposed to modify the roof will increase the building envelope within the required rear yard, and therefore requires a variance.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Marcelle Boudreaux</b> Telephone: <b>415-575-9140</b> Mail: <a href="mailto:Marcelle.Boudreaux@sfgov.org">Marcelle.Boudreaux@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2014.0571V.pdf">http://sf-planning.org/ftp/files/notice/2014.0571V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On June 4, 2014, the Department issued the required Section 311 notification for this project (expires July 5, 2014).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

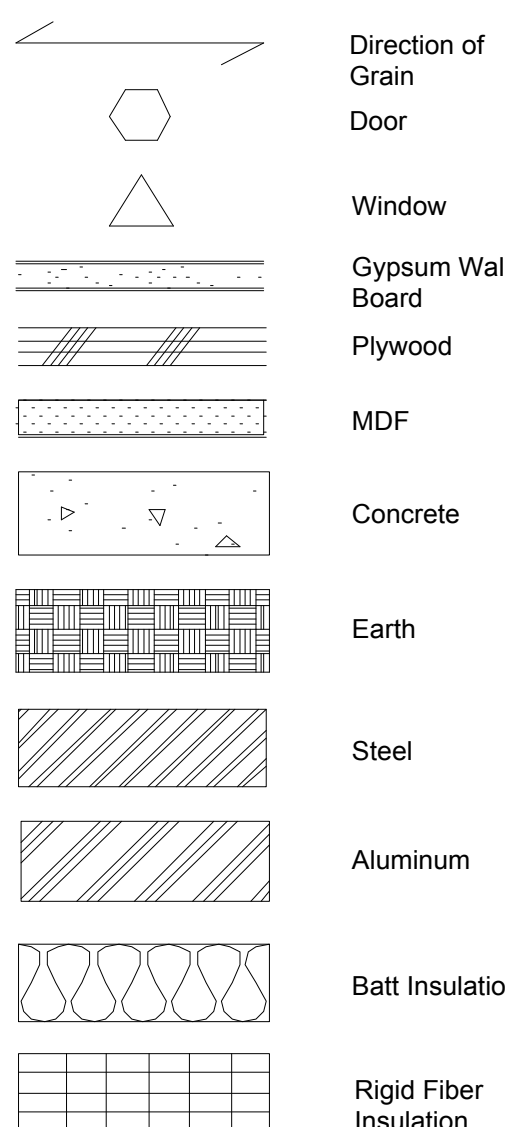
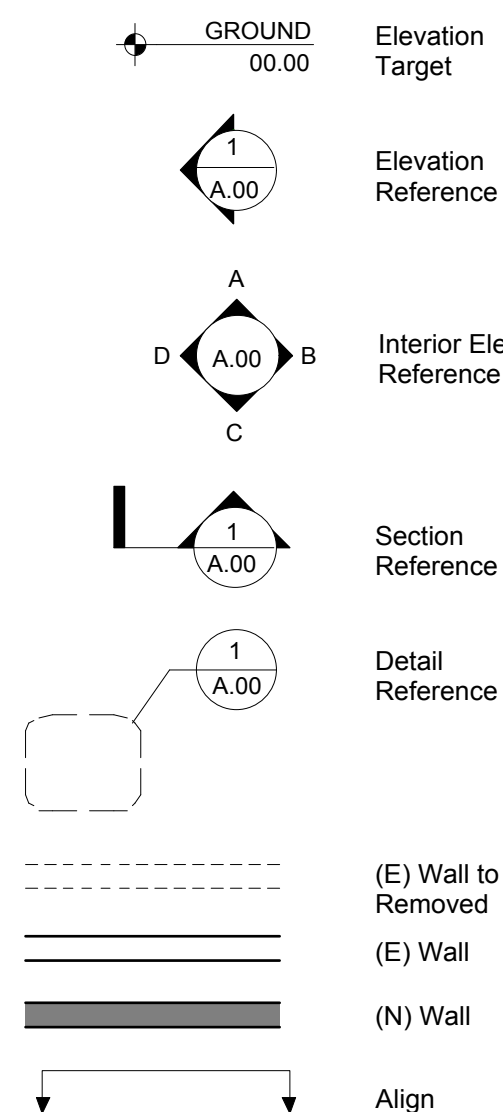
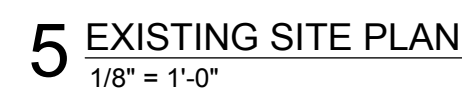
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





Abbreviation	Description
A.F.F.	above finish floor
ADD.	addition
ADJ.	adjacent, adjustable
ALT.	alternate
ALUM.	aluminum
A.B.	anchor bolt
BSMT.	basement
BLK.	blocking
B.O.	bottom
B.O.W.	bottom of wall
BLDG.	building
CEM.	cement
C.	center line
CL.	clear
COL.	column
CONC.	concrete
CONC. U.	concrete masonry unit
CONSTR.	construction
CONT.	continuous
COORD.	coordinate
DET.	detail
DIA.	diameter
DIM.	dimension
D.W.	dish washer
DBL.	double
DOWN.	down
DWG.	drawing
EA.	each
EX.	existing
ELEC.	electrical
EL.	elevation
EQ.	equal
EXP. JT.	expansion joint
EXT.	exterior
F.F.	finish floor
FL.	floor
FT.	foot or feet
FOLD.	folding
FDN.	foundation
F.O.F.	face of finish
G.	gauge
GA.	galvanized
GALV.	glass
L.B.	glu lam beam
GR.	grade
G.W.B.	gypsum wall board
HANDRL.	handrail
HDWD.	hardwood
HT.	height
HORIZ.	horizontal
H.B.	hose bibb
INCL.	including
INSUL.	insulation
INT.	interior
JT.	joint
JAM.	joint
LAM.	laminated
K.D.	kiln dried
MAX.	maximum

Abbreviation	Description
MECH.	mechanical
M.D.F.	medium density fiberboard
MTL.	metal
MIN.	minimum
(N.)	near
N.I.C.	not in contact
N.T.S.	not to scale
O.C.	on center
OPNG.	opening
OPP. H.	opposite hand
O.S.B.	oriented strand board
P.E.N.	plywood edge nailing
P.	property line
P.LAM.	plastic laminate
PLWD.	plow
P+M.	patch and match
PNT.	paint
PR.	pair
P.T.	pressure treated
Q.T.Y.	quantity
FRIG.	refrigerator
R.	radius
R.F.	reinforcing
REQD.	required
REV.	revised
R.	riser
RFG.	roofing
R.C.C.	resilient channel
R.C.P.	reflective ceiling plan
R.O.	rough opening
R.W.L.	rain water leader
SCHED.	schedule
SECT.	section
S.C.	see call drawings
S.L.D.	see landscape drawings
S.S.D.	see structural drawings
SIM.	similar
S.F.	square foot/feet
S.S.	stainless steel
STN.	steel
STN. STL.	stainless steel
STOR.	storage
STRUCT.	structural
T.	tread
T.G.	tempered glass
T&G.	toggle and groove
T.O.W.	top of
T.W.	top of wall
TYP.	typical
U.O.N.	unless otherwise noted
V.F.	vertical field
VERT.	vertical
W.C.	wood closet
W.D.	wood
WH.	water heater
W.P.	water proofing



This project involves a roof change at the existing rear yard extension from a shed roof to a flat roof. Additionally, the floor will be raised in this area and new windows and doors added.

**Building Data:**  
Occupancy: R3  
Construction Type: VN  
  
Zoning: RH-1  
Height limit: 40-X

EXISTING GROSS SQ. FT. (NO CHANGE)	
EXISTING GARAGE:	603.7 SQ. FT.
EXISTING 1ST FLOOR:	1,232.6 SQ. FT.
EXISTING 2ND FLOOR:	1,272.4 SQ. FT.
EXISTING 3RD FLOOR:	650.4 SQ. FT.
<b>TOTAL EXISTING GROSS AREA:</b> (including garage)	<b>3,759.1 SQ. FT.</b>

**Block #** 3620  
**Lot #** 015

**Location:**  
3652 22nd Street  
San Francisco, CA 94114

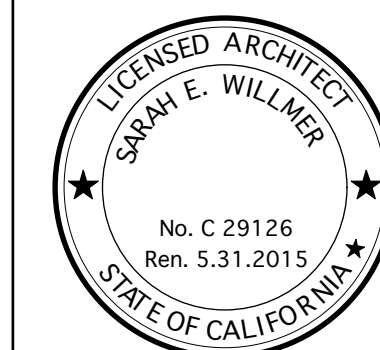
**Owner:**  
Jim and Wendy Lloyd  
3652 22nd Street  
San Francisco, CA 94114

Studio Sarah Willmer  
3850 23rd Street  
San Francisco, CA 94114  
Ph (415) 642-1166  
Fx (415) 642-1188

General Contractor: TBD

## Architectural:

- A0.0 Project Data + Notes,  
Symbols, Existing Site  
Plan, + Location Map
- A0.1 Existing Site  
Photographs
- A1.0 Existing Plans:  
Garage/Basement +  
First Floors
- A1.1 Existing + Proposed  
Plans: Second + Third  
Floor
- A1.2 Existing Elevations
- A3.0 Proposed Elevations
- A3.1 Existing + Proposed  
Building Sections



Lloyd Residence

3652 22nd Street  
San Francisco, CA  
94114

Title  
**PROJECT DATA +  
NOTES, SYMBOLS,  
EXISTING SITE  
PLAN, + LOCATION  
MAP**

Scale AS NOTED

Sheet

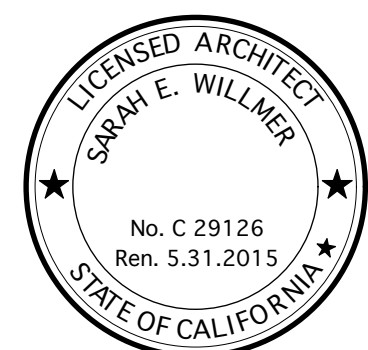
### 3 GRAPHIC STANDARDS

## 1 PROJECT DATA + NOTES



Issue	Date
Site Permit	01.30.14

Revision	Date
1 Variance Revision	03.18.14
2 Variance Revision	05.19.14



Lloyd  
Residence

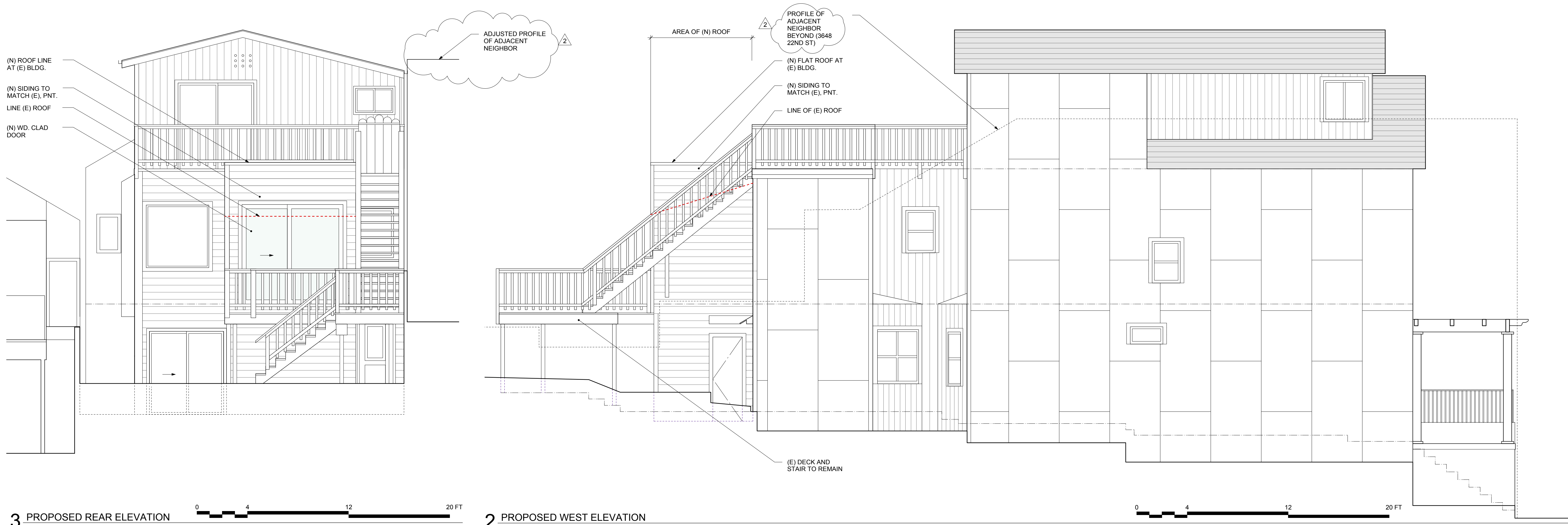
3652 22nd Street,  
San Francisco, CA  
94114

Title

PROPOSED  
ELEVATIONS

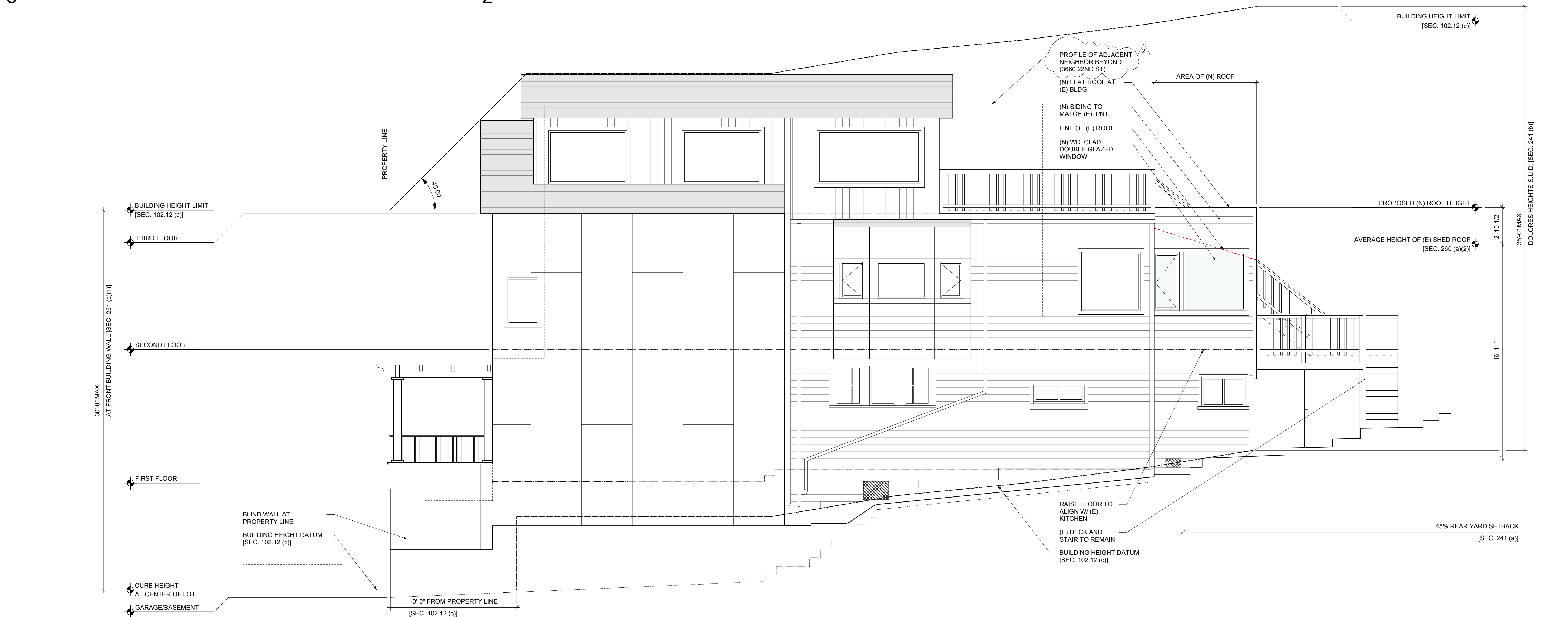
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Sheet

A3.0



3 PROPOSED REAR ELEVATION

2 PROPOSED WEST ELEVATION



1 PROPOSED EAST ELEVATION  
TAKEN AT PROPERTY LINE

