



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 27, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Side Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 28 25th Avenue	Case No.: 2014.0557V
Cross Street(s): Seacliff Avenue	Building Permit: 201401226767
Block / Lot No.: 1302/003	Applicant/Agent: Ian Moller
Zoning District(s): RH-1(D) / 40-X	Telephone: 415-351-2900
Area Plan: Click here to enter text.	E-Mail: ian@mollerarchitecture.com

PROJECT DESCRIPTION

The project proposes to demolish the existing detached garage and construct a new structure with a smaller footprint in a similar location along the south side property line. The project also proposes a partial infill (approximately 2 feet) under the existing north side bay window projection. Other modifications include a rear horizontal addition within the buildable envelope and window and door alterations.

PER SECTION 133 OF THE PLANNING CODE, the subject property is required to maintain two side yards of 4 to 5 feet based on the increasing width of the lot. The proposed new detached garage structure is located within the 5 foot required south side yard; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon Lai**

Telephone: **415-575-9087** Mail: sharon.w.lai@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0557V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

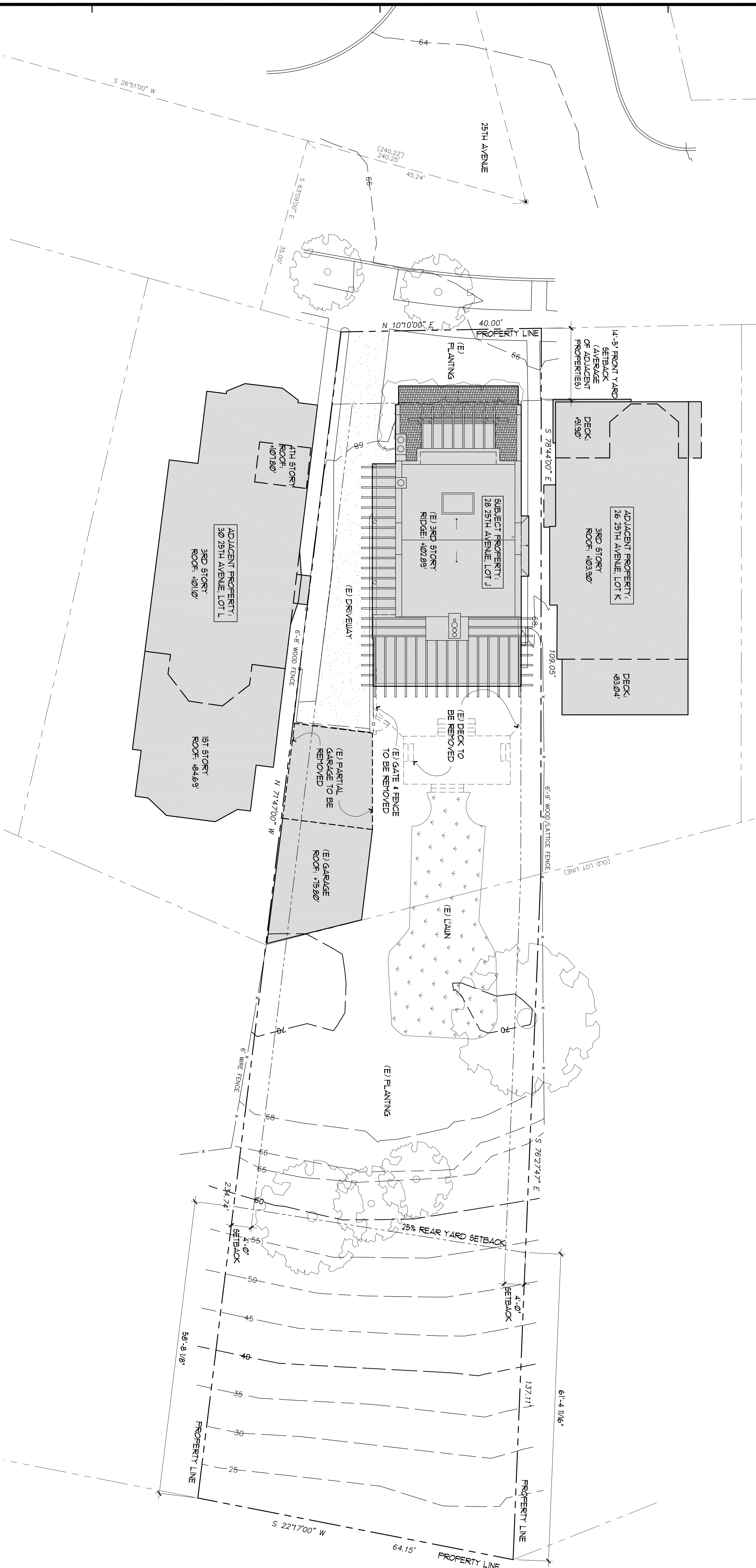
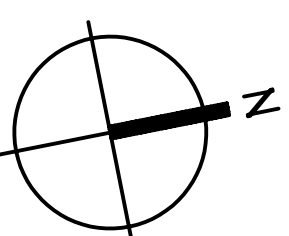
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

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EXI
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A.I.O

A1.0
PERMIT SET
01/15/14



28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

PROPOSED SITE PLAN

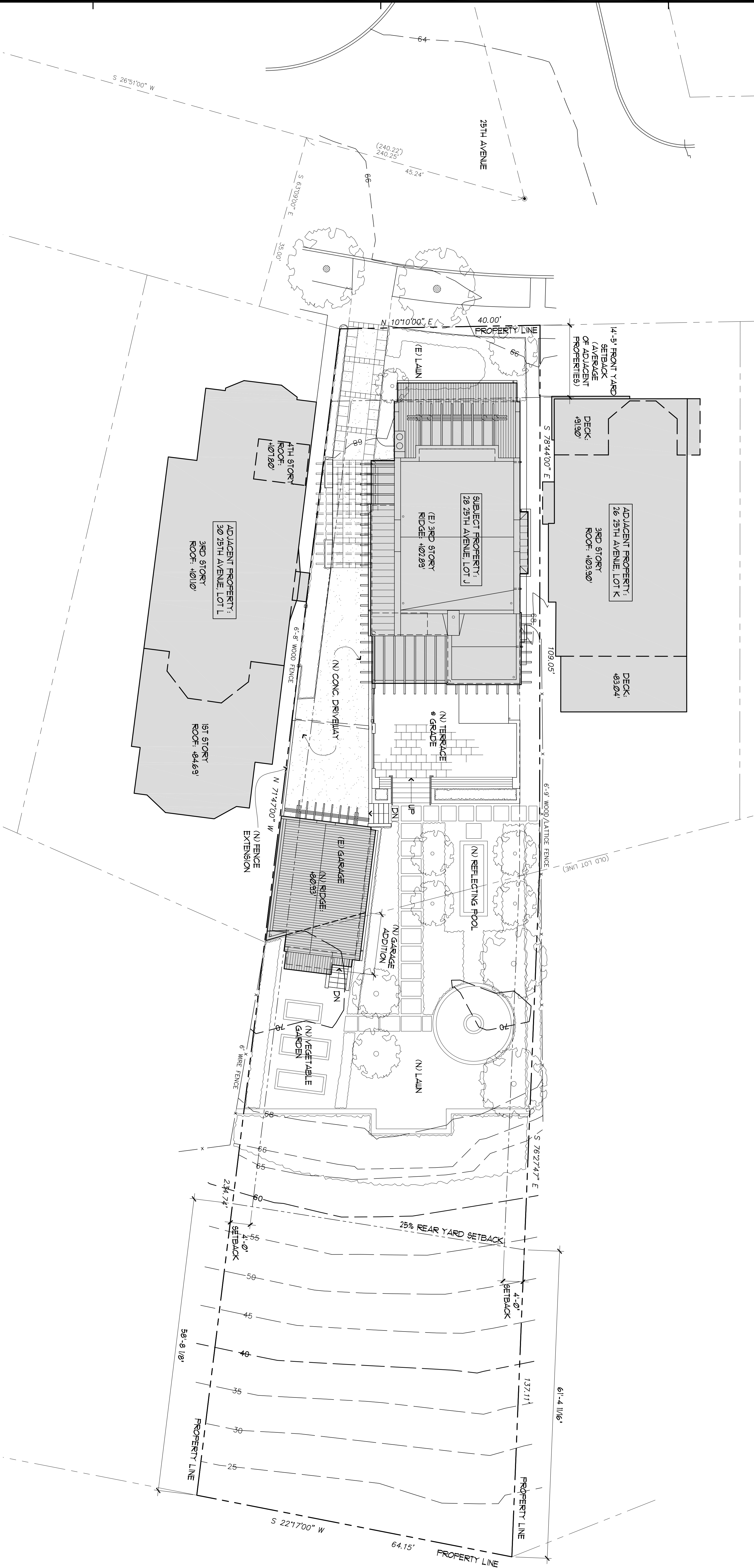
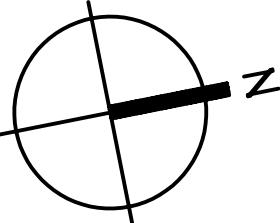
NOTES:

1. SEE CIVIL DRAWINGS FOR GRADING & DRAINAGE.
2. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL NOTES

PRO
I^{II}=O'-O''

A1.1

PERMIT SET
01/15/14



LEGEND & NOTES

LEGEND:

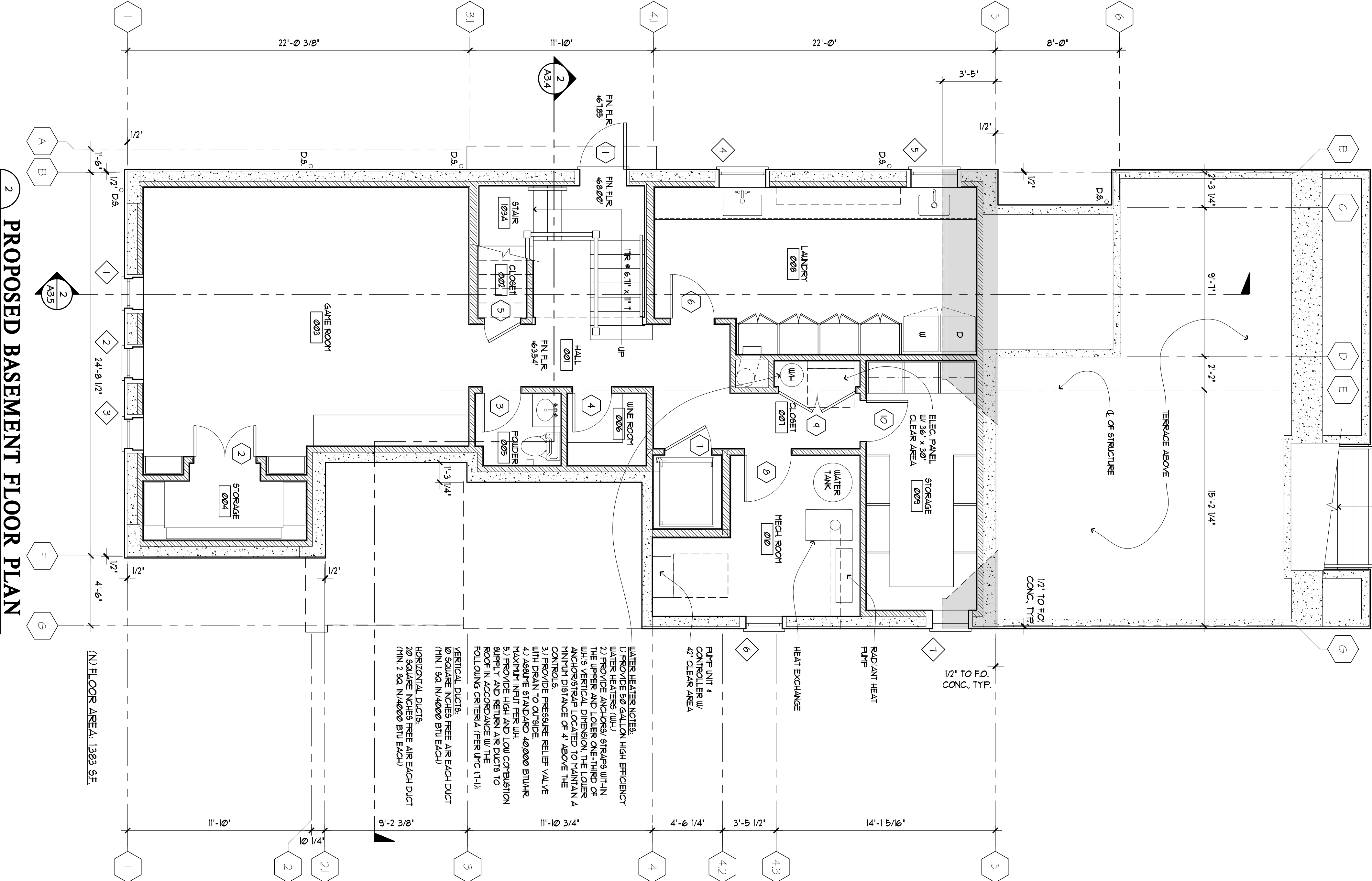
- PARTITION WALLS, WINDOWS, DOORS, CABINETS & FIXTURES TO BE REMOVED
- EXISTING WALLS
- NEW WALLS
- NEW CONCRETE FOUNDATION WALLS, S&D
- NEW CONDITIONED SQUARE FOOTAGE

DEMOLITION NOTES:
1. REPLACE ALL WINDOWS AND EXTERIOR DOORS WITH NEW UNITS, SIZE AND LOCATION TO MATCH EXISTING OPENING UNLESS OTHERWISE NOTED.

GENERAL FLOOR PLAN NOTES:

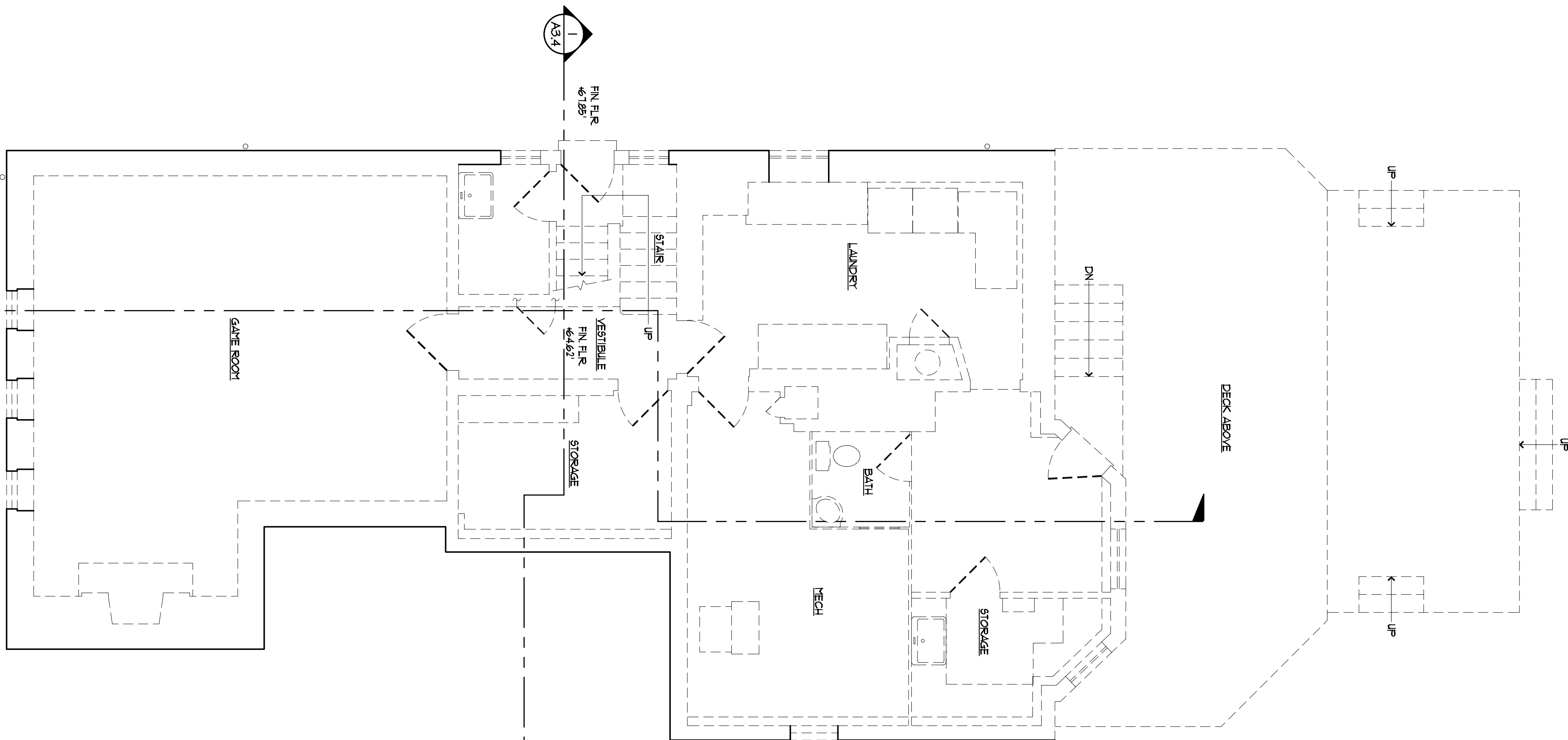
- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION TYP.
- ALL SHOWER HEADS TO BE 236GPM AT 80 PSI (4021) CPIC.
- ALL FLOORS TO BE 236GPM AT 60 PSI (4022) CPIC.
- SHOWER WALLS TO HAVE A SECONDARY DRAINAGE SYSTEM WITH A MINIMUM MOISTURE RESISTANT UNDERLAMENT TO A HT OF 6'-0" ABOVE FINISH FLOOR.
- PROVIDE INDIVIDUAL SHOWER CONTROL VALVES OF THE PRESSURE REDUCING TYPE WITH AN ADJUSTING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION (CPC 418.0)
- ALL WATER CLOSERS TO BE 128GPF (CPC 4022)
- TEPPEDED GLAZING
- TO BE USED IN DOORS & WITHIN 24" OF DOOR SIKES & SILING.
- TO BE USED IN WINDOWS LESS THAN 9'6" & THE SILL IS LESS THAN 18" AFF & WITHIN 36" OF WALKING SURFACE
- TO BE USED IN BALCONIES & STAIRS (CPC 4022) STAIRS & STAIR LANDINGS (R2024)

NOTE:
SEE STRUCTURAL DRAWING S2.0 FOR CONCRETE WALL THICKNESS & ADDITIONAL NOTES

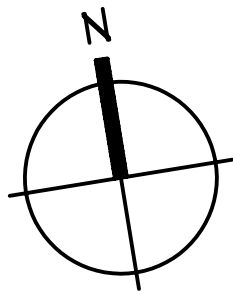


2 PROPOSED BASEMENT FLOOR PLAN

1 EXISTING BASEMENT DEMO PLAN



(E) FLOOR AREA: 1335 SF



MULLIKIN RESIDENCE

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

Drawn By
Checked By
Date: 01/15/14
Project No. 2050
Issue: SET
01/15/14
SUBMIT NOTIFICATION

EXISTING & PROPOSED BASEMENT FLOOR PLANS

1/4"=1'-0"

A2.0
PERMIT SET
01/15/14

2505 Sacramento Street
San Francisco, California 94115
Phone 415.351.2800
Fax 415.351.2801
www.mollerarchitecture.com

moller
architecture

MULLIKIN RESIDENCE

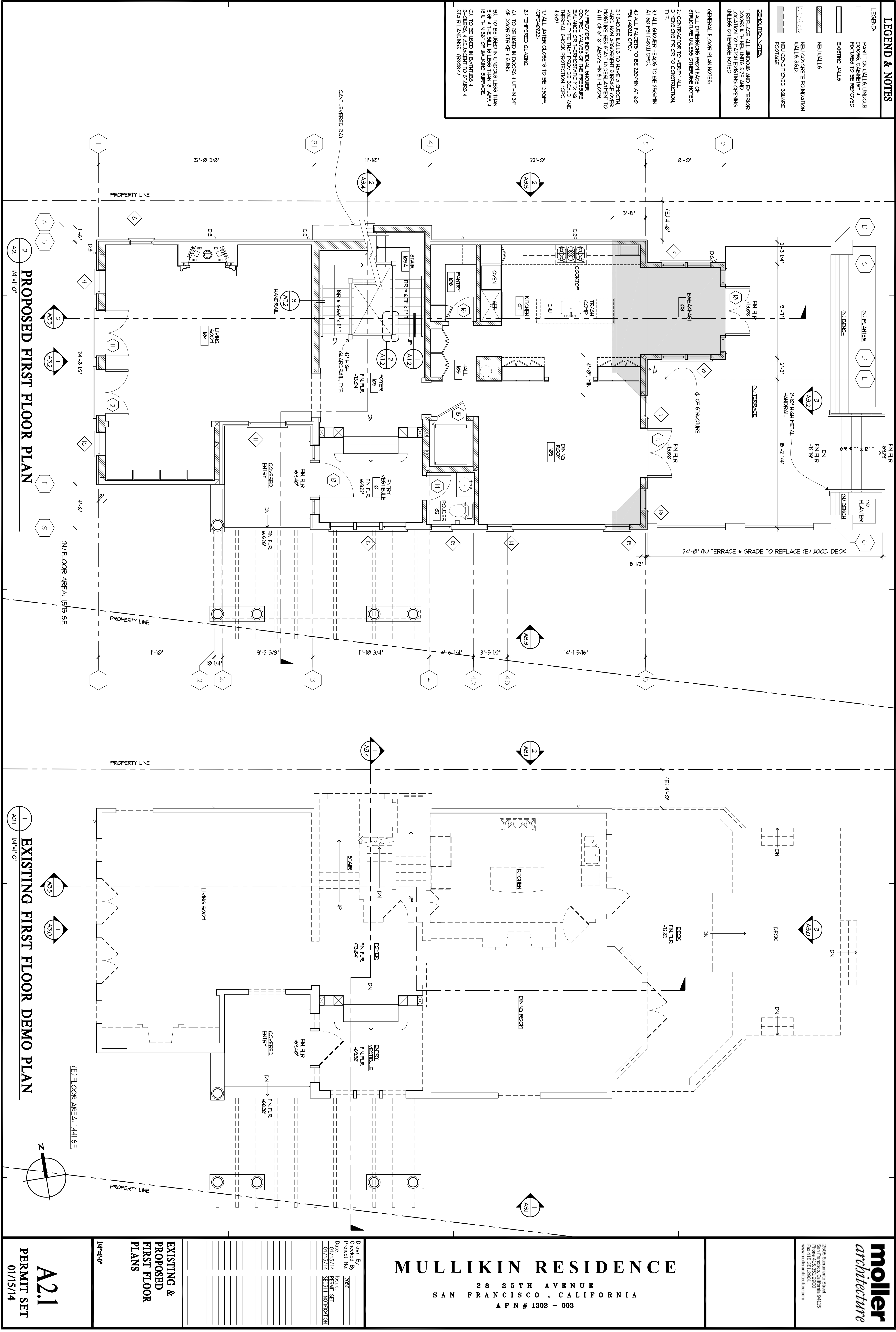
28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

Drawn By _____
Checked By _____
Project No. 2850
Date: 01/15/14 Issue: PERMIT SET
01/15/14 SECT 11 NOTIFICATION

EXISTING &
PROPOSED
FIRST FLOOR
PLANS

1/4"=1'-0"

A2.1
PERMIT SET
01/15/14



LEGEND & NOTES

LEGEND:

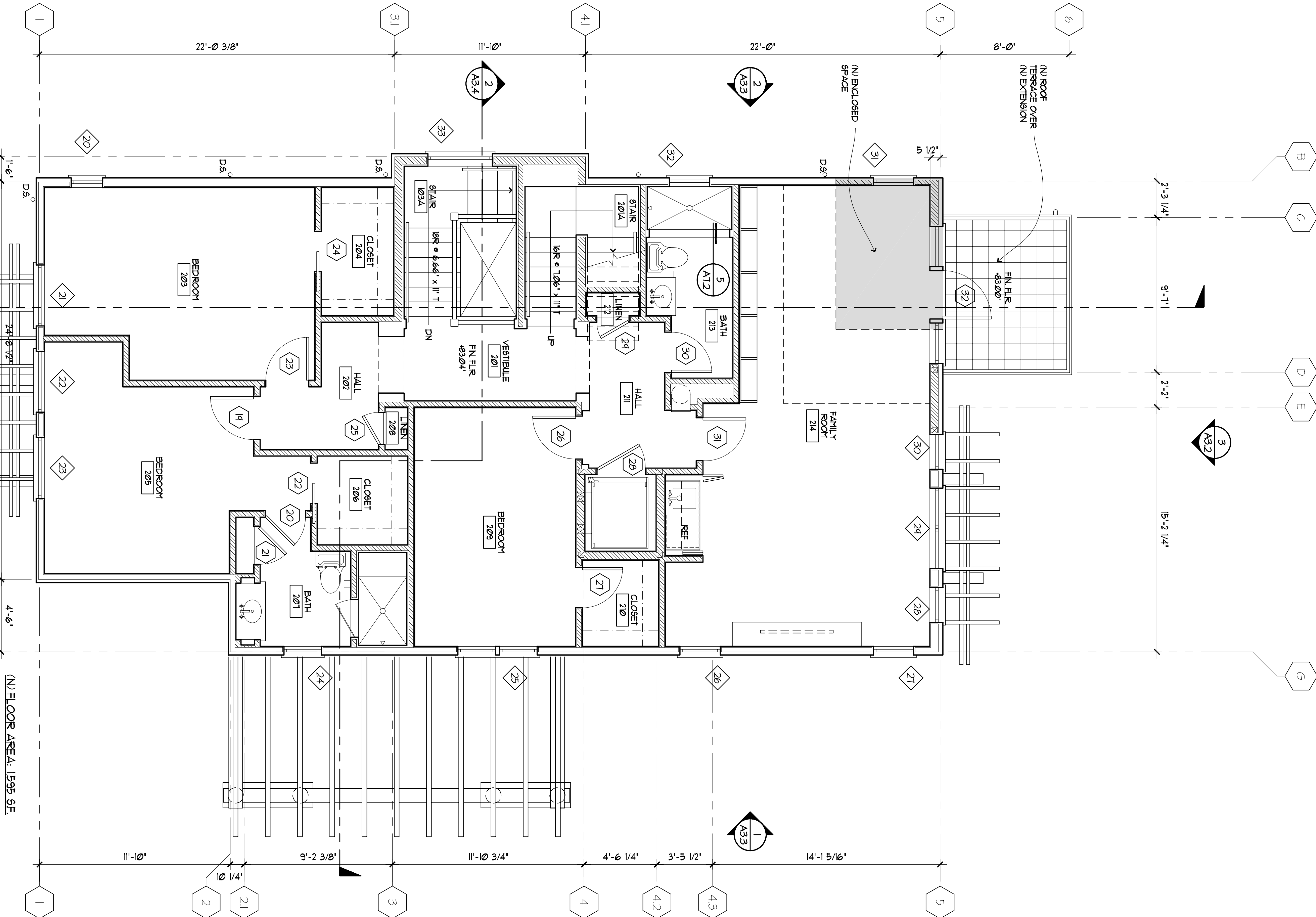
- PARTITION WALLS, WINDOWS, DOORS, CABINETRY & FIXTURES TO BE REMOVED
- EXISTING WALLS
- NEW WALLS
- NEW CONCRETE FOUNDATION WALLS, S&D
- NEW CONDITIONED SQUARE FOOTAGE

DEMOLITION NOTES:

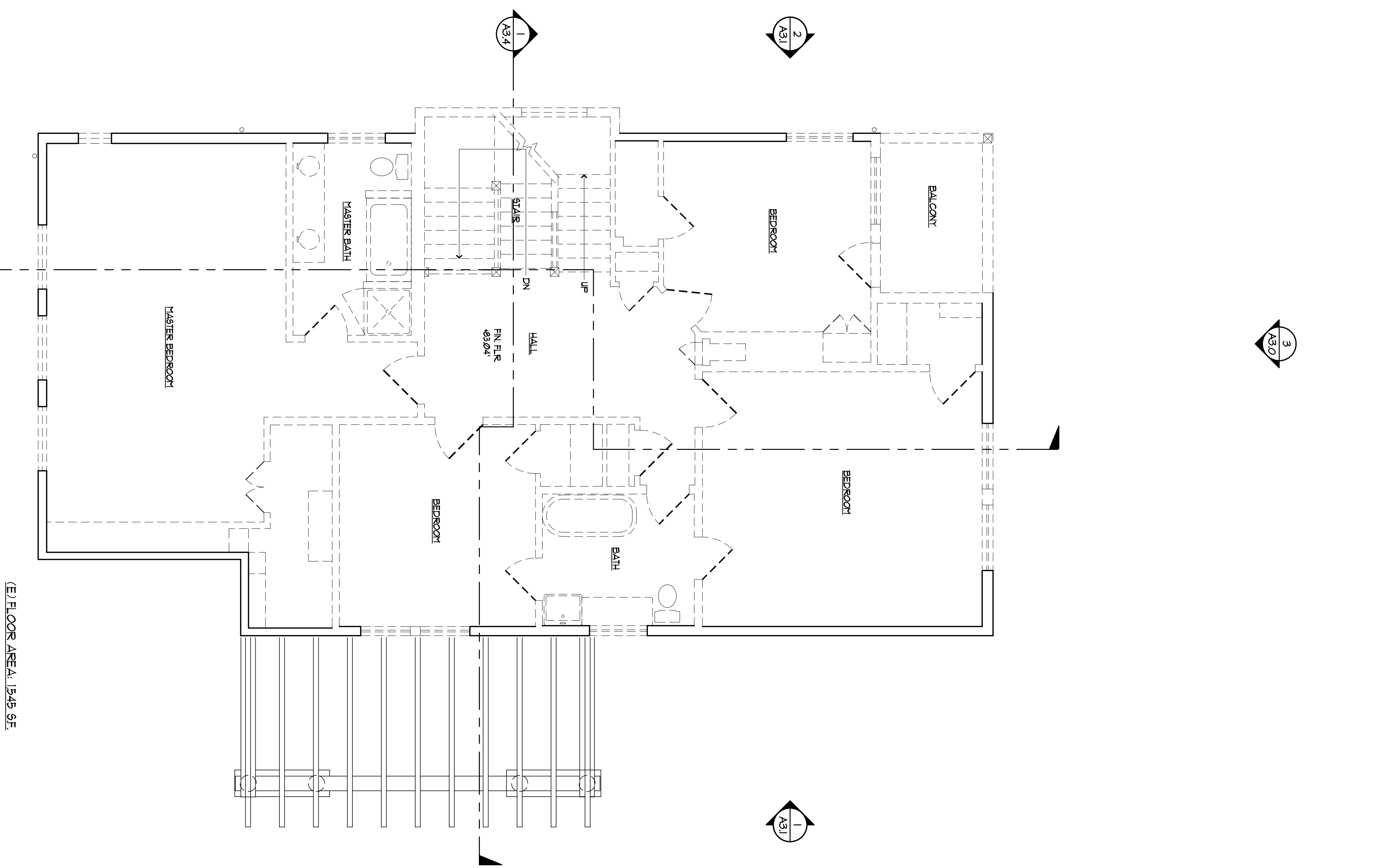
- REPLACE ALL WINDOWS AND EXTERIOR DOORS WITH NEW UNITS, SIZE AND LOCATION TO MATCH EXISTING OPENING UNLESS OTHERWISE NOTED.

GENERAL FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION TYP.
- ALL SHOWER HEADS TO BE 36GPM AT 80 PSI (40211 CFC).
- ALL FACETS TO BE 22GPM AT 60 PSI (40212 CFC).
- SHOWER WALLS TO HAVE A SECONDLY LAYER OF GASTIGHT MASONRY MOISTURE RESISTANT UNDERLAMENT TO A HT OF 6'-0" ABOVE FINISH FLOOR.
- PROVIDE INDIVIDUAL SHOWER CONTROL VALVES ON THE PRESSURE SIDE OF THE SHOWER SYSTEMS. VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION (CFC 418.0)
- ALL WATER CLOSERS TO BE 128CFR (CFC 40212)
- TEMPERED GLAZING
- TO BE USED IN DOORS & WITHIN 24" OF DOOR SIKES & SINKS.
- TO BE USED IN WINDOWS LESS THAN 9'6" & THE SILL IS LESS THAN 18" AFF. & WITHIN 36" OF WALKING SURFACE.
- TO BE USED IN BATHTUBS & SHOWER ENCLOSURES, STAIRS & STAIR LANDINGS (R2084)



PROPOSED SECOND FLOOR PLAN



EXISTING SECOND FLOOR DEMO PLAN

MULLIKIN RESIDENCE

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

Drawn By
Checked By
Project No.
Date:
Issue:
Section:

EXISTING &
PROPOSED
SECOND FLOOR
PLANS

A2.2
PERMIT SET
01/15/14

moller
architecture

2025 Sacramento Street
San Francisco, California 94115
Phone 415.351.2800
Fax 415.351.2801
www.mollerarchitecture.com

MULLIKIN RESIDENCE

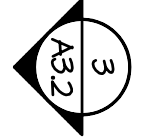
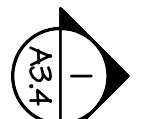
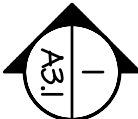
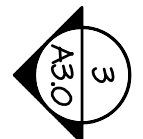
28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

Drawn By _____
Checked By _____
Project No. 2050
Date: 01/15/14 Issue: SET
01/15/14 PERMIT SET
01/15/14 SECOND NOTIFICATION

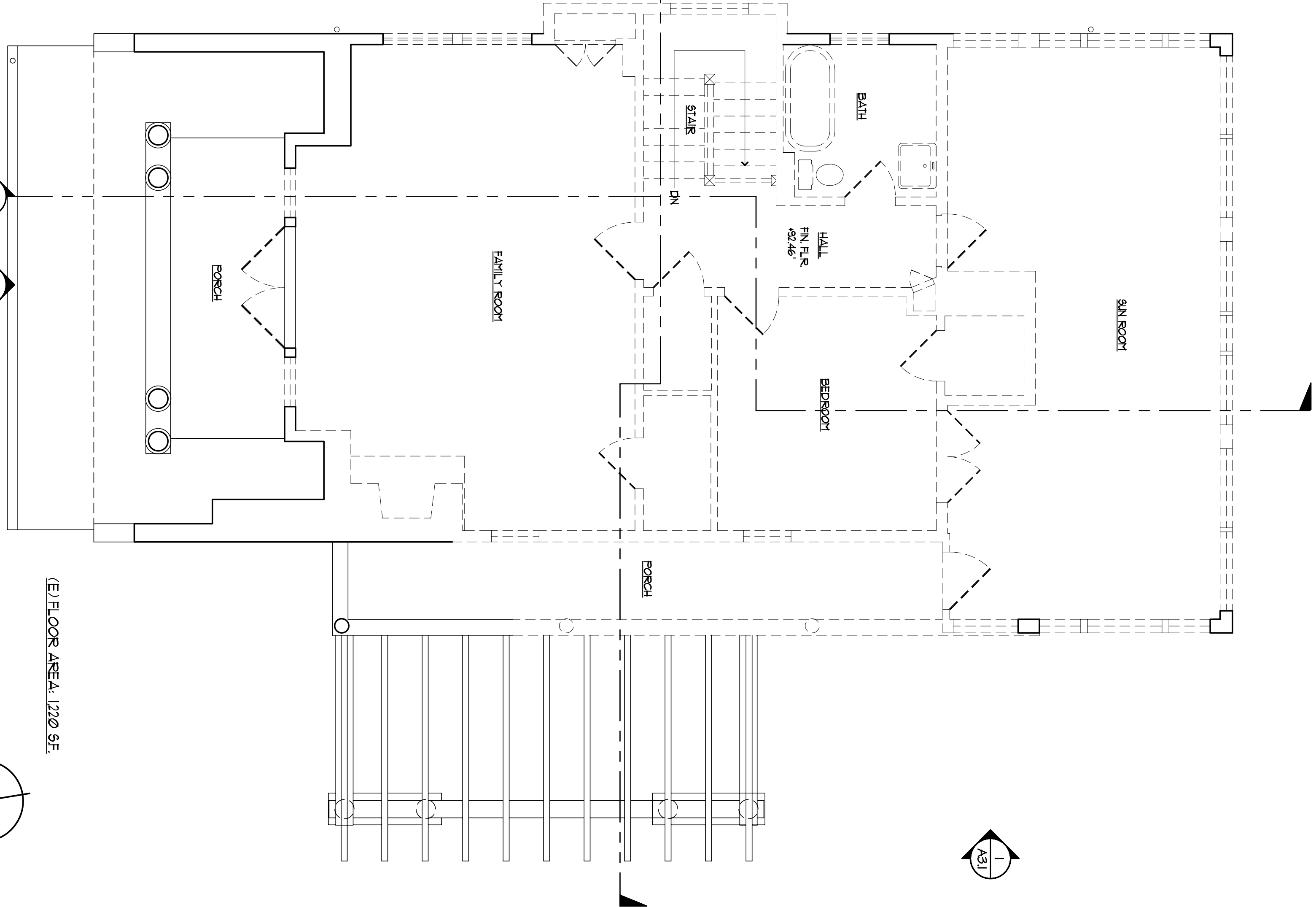
EXISTING &
PROPOSED
THIRD FLOOR
PLANS

1/4"=1'-0"

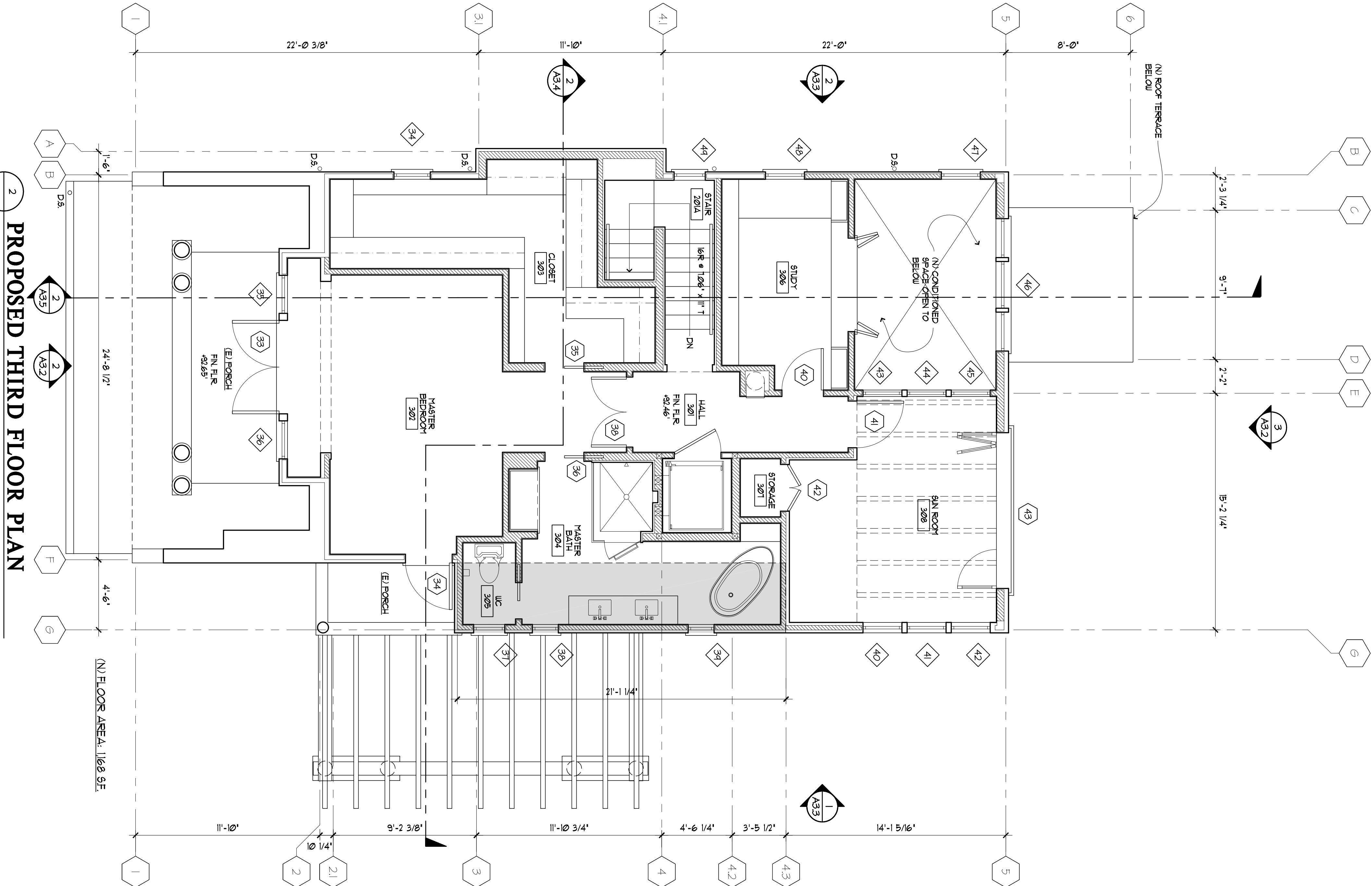
A2.3
PERMIT SET
01/15/14



1
EXISTING THIRD FLOOR DEMO PLAN



2
PROPOSED THIRD FLOOR PLAN



LEGEND & NOTES

LEGEND:

- PARTITION WALLS, WINDOWS, DOORS, CABINETS & FIXTURES TO BE REMOVED
- EXISTING WALLS
- NEW WALLS
- NEW CONCRETE FOUNDATION WALLS, S&S
- NEW CONDITIONED SQUARE FOOTAGE

DEMOLITION NOTES:

- REPLACE ALL WINDOWS AND EXTERIOR DOORS WITH NEW UNITS, SIZE AND LOCATION TO MATCH EXISTING OPENING UNLESS OTHERWISE NOTED.






GENERAL FLOOR PLAN NOTES:

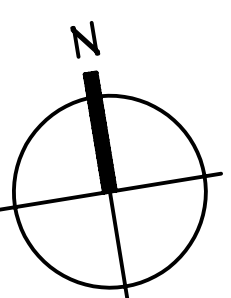
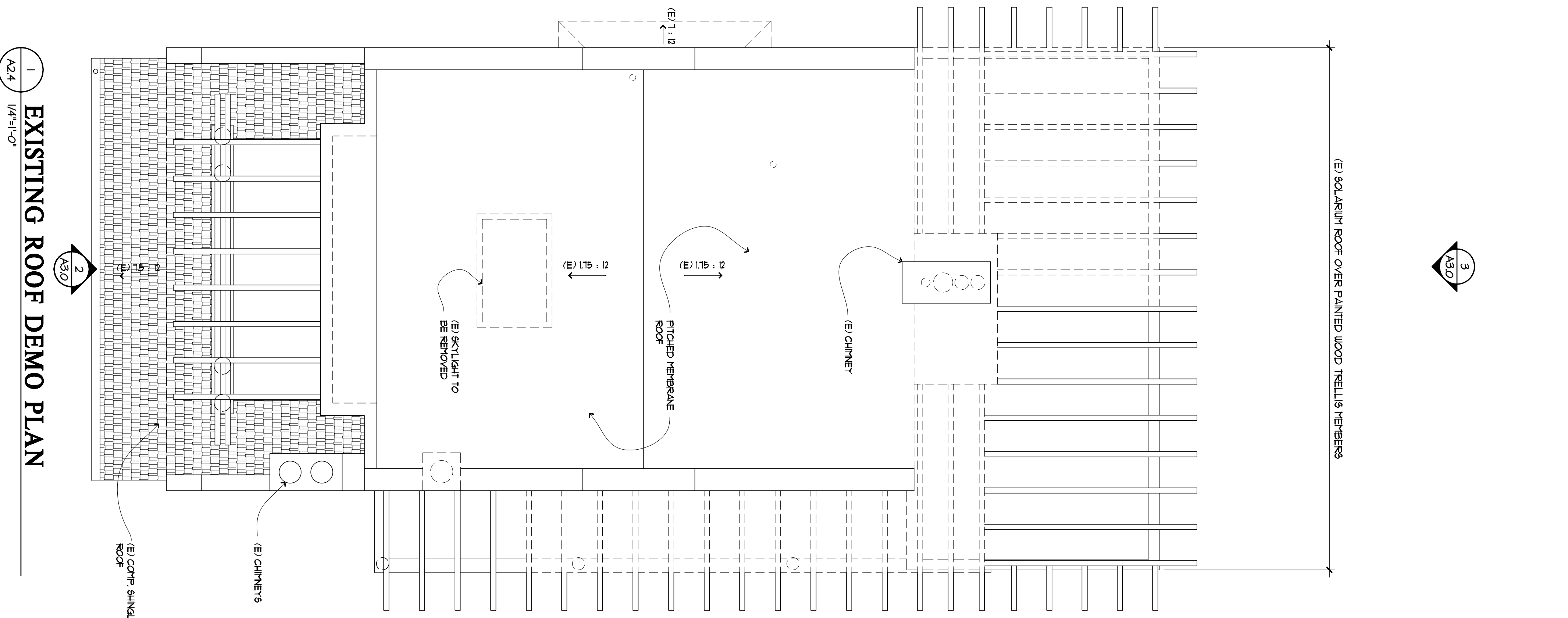
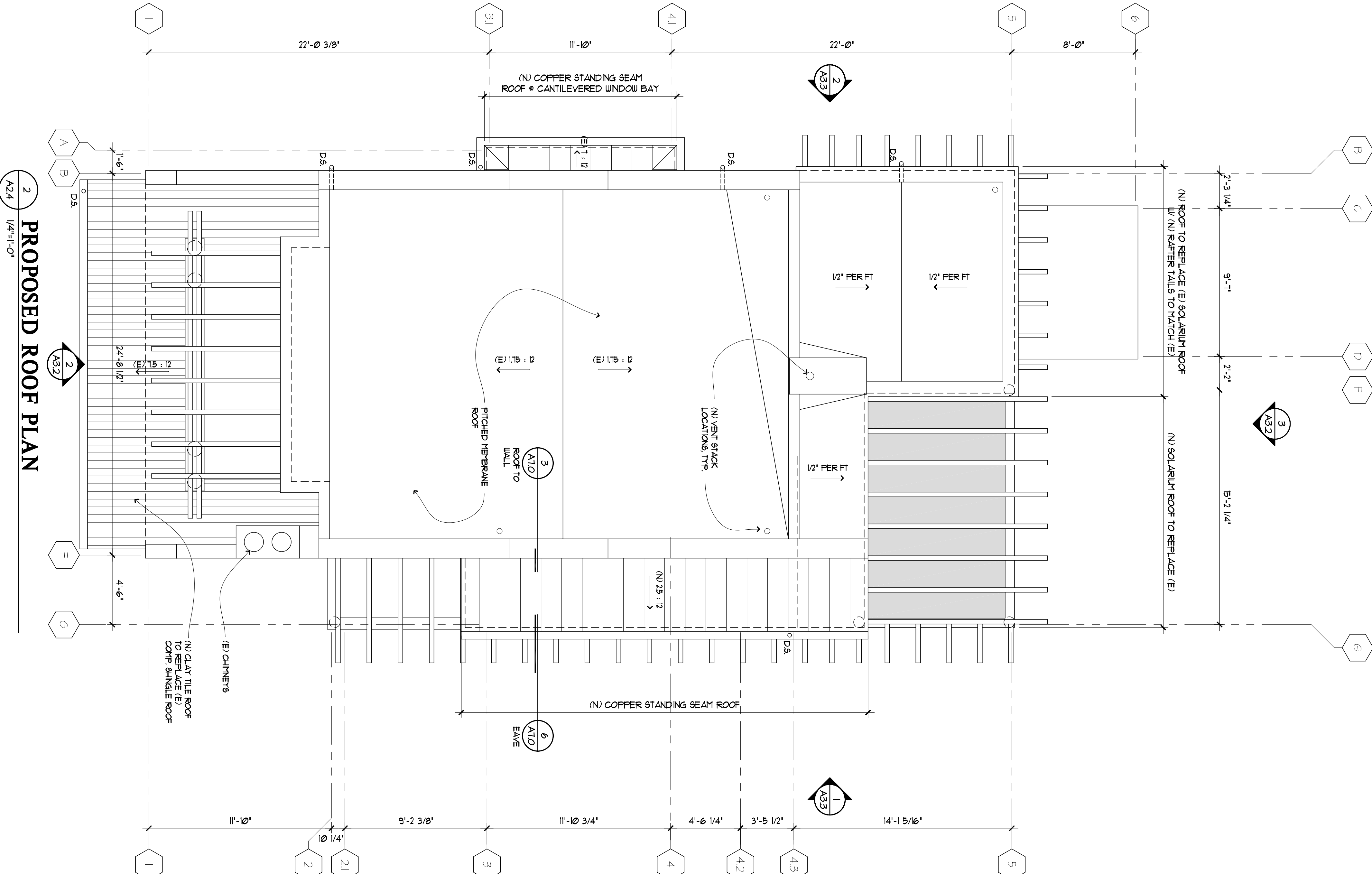
- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL SHOWER HEADS TO BE 36GPM AT 80 PSI (40211 CFC).
- ALL FLOORS TO BE 22GPM AT 60 PSI (40212 CFC).
- SHOWER WALLS TO HAVE A SECONDARY WATER RESISTANT BARRIER MOISTURE RESISTANT UNDERLAYER TO A HT OF 6'-0" ABOVE FINISH FLOOR.
- PROVIDE INDIVIDUAL SHOWER CONTROL VALVES FOR EACH PRESSURE ZONE AND SHOWER WITH A THERMAL SHOCK PROTECTION (CFC 418.0).
- ALL WATER CLOSERS TO BE 128GPM (CFC 40212).
- TEMPERED GLAZING
- TO BE USED IN DOORS & WITHIN 24" OF DOOR SINKS & SINKS.
- TO BE USED IN WINDOWS LESS THAN 9'6" & THE SILL IS LESS THAN 18" AFF; & WITHIN 36" OF WALKING SURFACE.
- TO BE USED IN BATHROOMS & SHOWER ENCLOSURES, STAIRS & STAIR LANDINGS (F208.4).

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

PERMIT SET
SEC311 NOTIFICATION $1/4^2 = 1/0^2$

A2.4

LEGEND:	
	PART 1 WALL 5, WINDOWS DOORS, PARTITION WALLS FINISHED TO BE RETOVED
	EXISTING WALL 6
	NEW WALL 9
	NEW CONCRETE FOUNDATION WALL 9 S&D.
	NEW CONDITIONED SQUARE FOOTAGE
DEMOLITION NOTES:	
1. REPLACE ALL WINDOWS AND EXTERIOR DOORS WITH NEW UNITS, SIZE AND LOCATION TO MATCH EXISTING. REMOVE ALL EXISTING DOORS AND EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.	
GENERAL FLOOR PLAN NOTES:	
1. ALL STRUCTURE FOOTING FACE OF FOUNDATION UNLESS OTHERWISE NOTED.	
2. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.	
3. ALL SHOWER HEADS TO BE 1364MM AT 80 PPM (4021.2 CPG).	
4. ALL FACTORY'S TO BE 1264MM AT 60 PPM (4021.2 CPG)	
5. SHOWER WALLS TO HAVE A SMOOTH, HAIRD, NON ABRASION SURFACE OVER NON-REINFORCED CONCRETE FLOOR TO BE 1264MM AT 60 PPM (4021.2 CPG).	
6. PROVIDE INDIVIDUAL SHOWER BALANCE VALVES OF THE FEASIBLE TYPE THAT PROVIDE SCALD AND BURN PROTECTION (CPC 4480)	
7. ALL WATER CLOSETS TO BE 1264MM (CPC4021.22)	
8. INTERFERED GLAZING	
A). TO BE USED IN DOORS, WITHIN 24" OF DOOR STRIKE & LUNGS.	
B). TO BE USED IN WINDOWS LESS THAN 18" IF THE WALL IS LESS THAN 18" AFF, & WITHIN 36" OF WINDOW SURFACE.	
C). TO BE USED IN BALCONIES & STAIR LANDINGS. (R203-4)	



LEGEND & NOTES

LEGEND:

- PARTITION WALLS, WINDOWS, DOORS, CABINETRY & FIXTURES TO BE REMOVED
- EXISTING WALLS
- NEW WALLS
- NEW SQUARE FOOTAGE

GENERAL FLOOR PLAN NOTES:

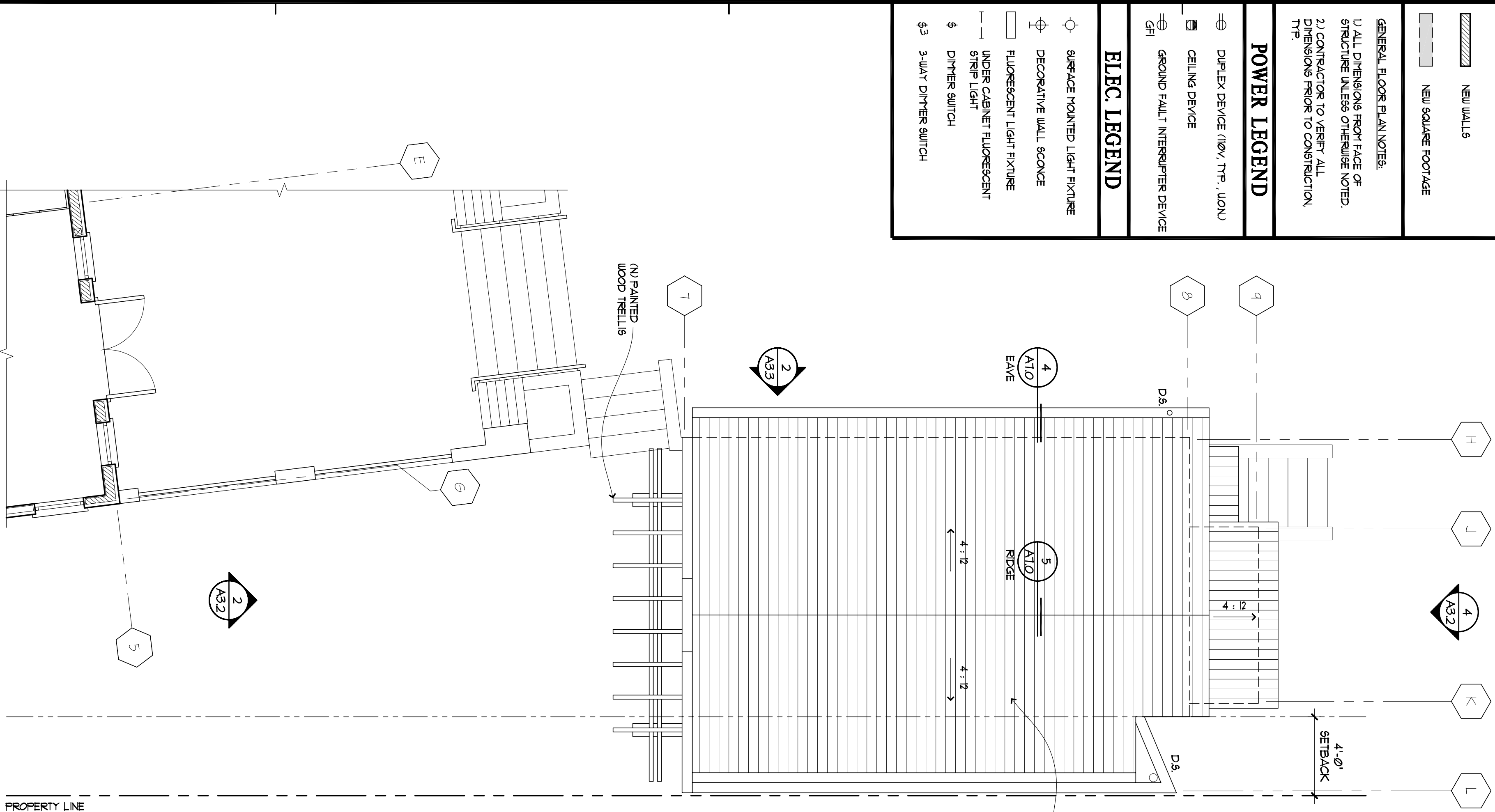
- 1) ALL DIMENSIONS FROM EDGE OF STRUCTURE UNLESS OTHERWISE NOTED.
- 2) CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION TYP.

POWER LEGEND

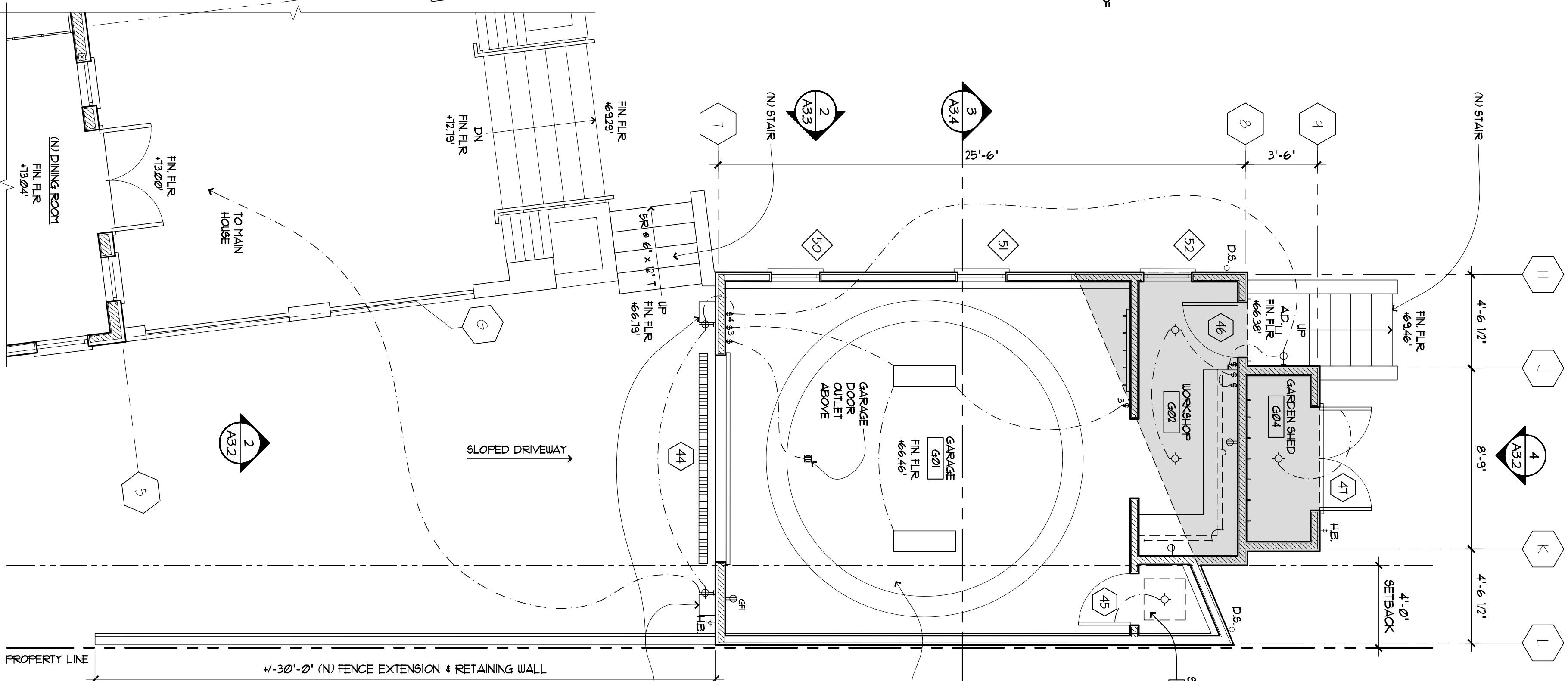
- DUPLEX DEVICE (100V, TYP., UN)
- CEILING DEVICE
- GROUND FAULT INTERRUPTER DEVICE
- GF

ELEC. LEGEND

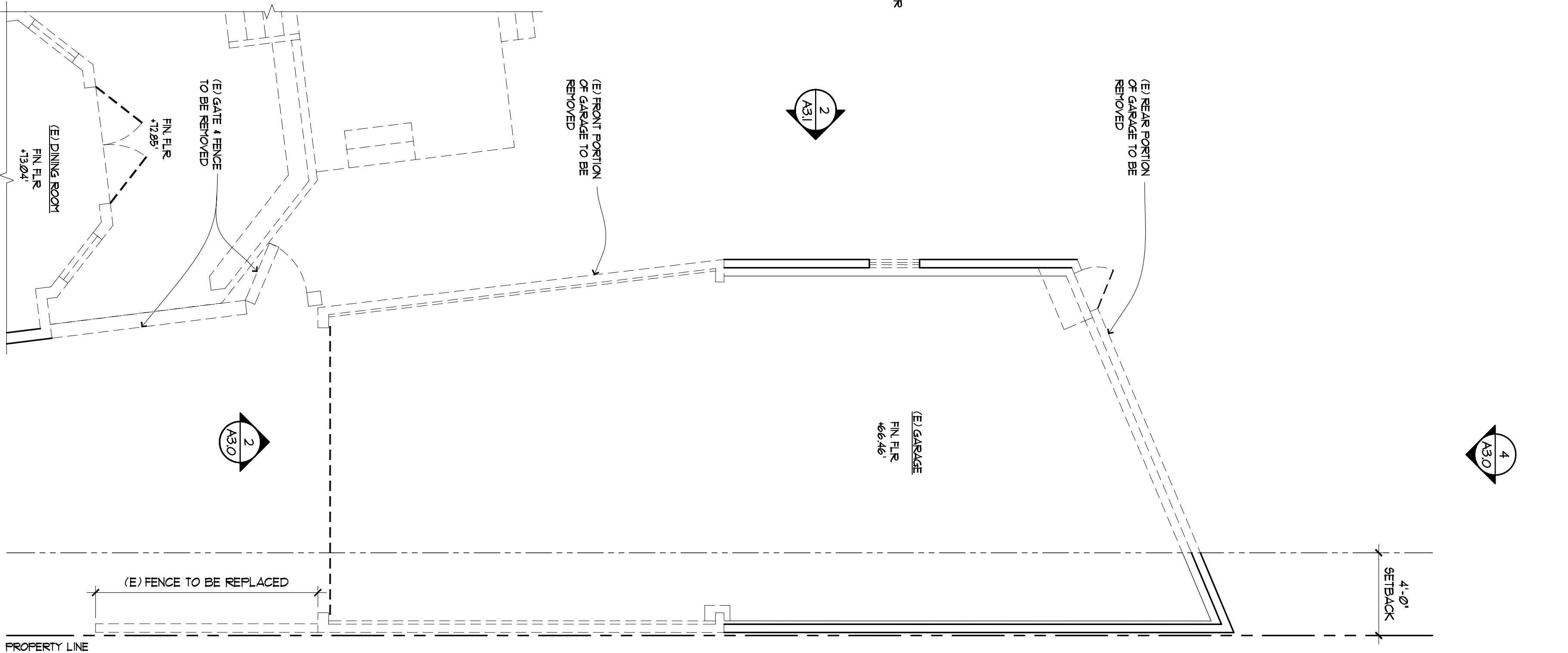
- SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE WALL SCONCE
- FLUORESCENT LIGHT FIXTURE
- UNDER CABINET FLUORESCENT STRIP LIGHT
- DIMMER SWITCH
- 3-WAY DIMMER SWITCH



3 PROPOSED GARAGE ROOF PLAN
A2.5 1/4"=1'-0"



2 PROPOSED GARAGE PLAN
A2.5 1/4"=1'-0"



1 EXISTING GARAGE DEMO PLAN
A2.5 1/4"=1'-0"

MULLIKIN RESIDENCE

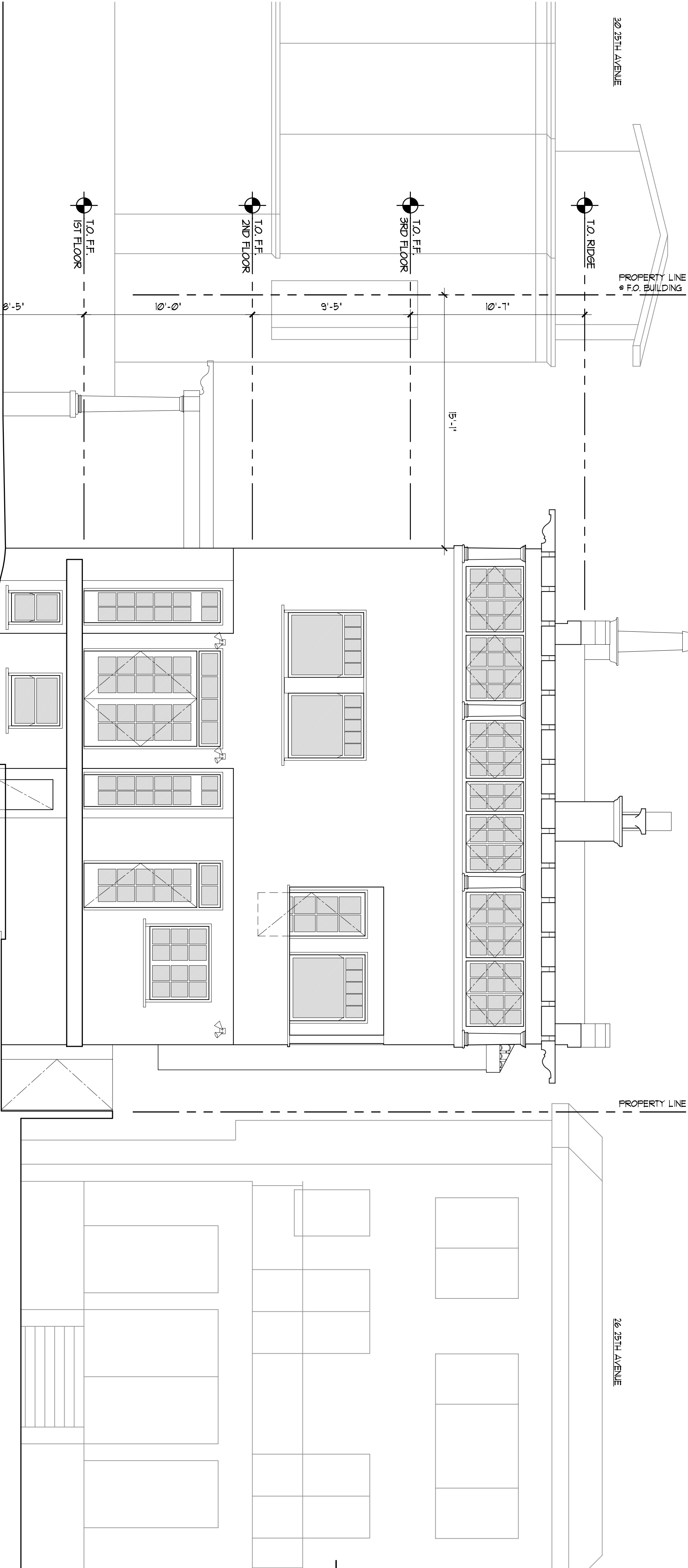
28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

Drawn By
Checked By
Project No. 2050
Date: 01/15/14
Issue: SET
01/15/14
SUBMIT NOTIFICATION

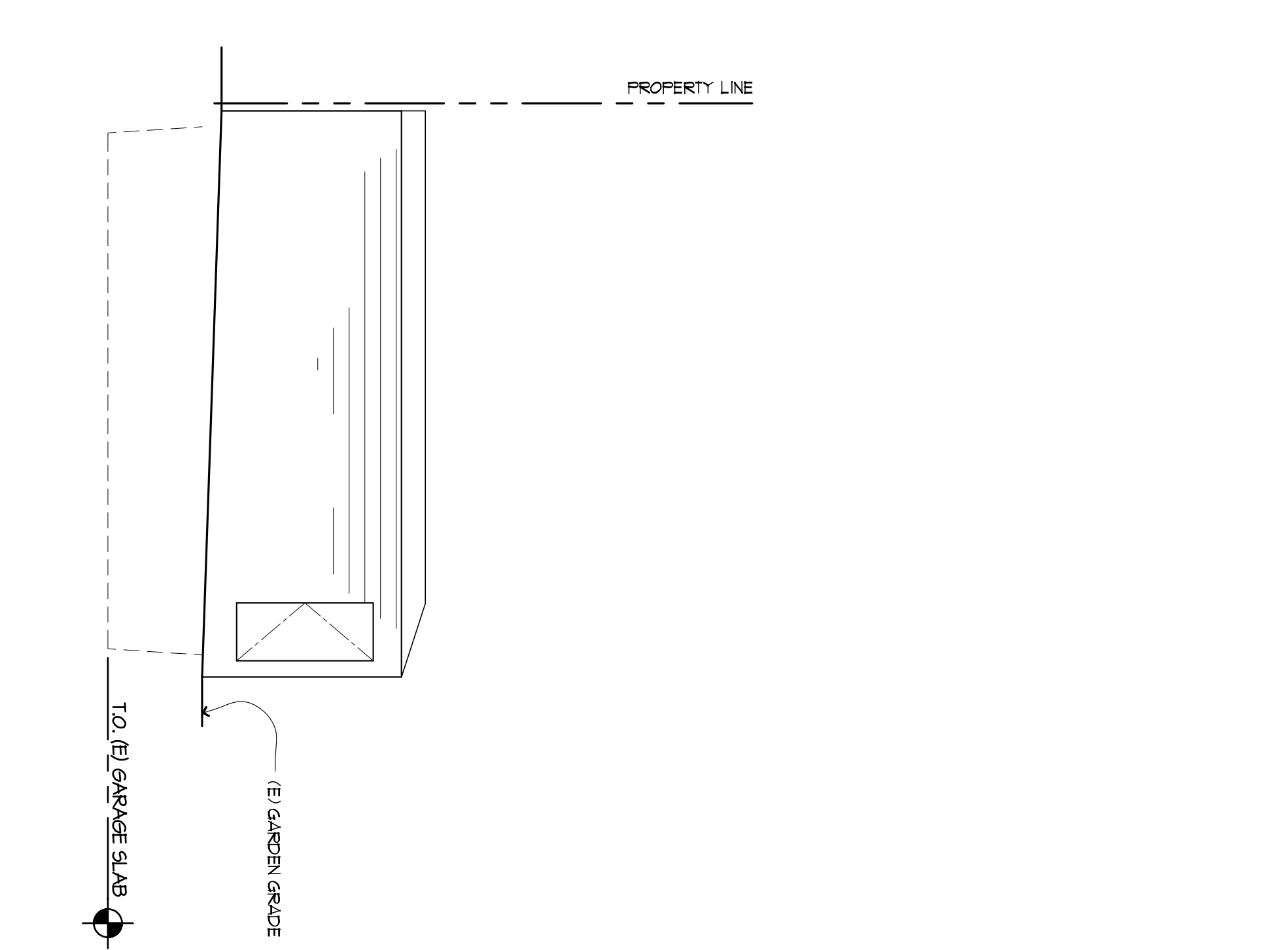
EXISTING &
PROPOSED
GARAGE PLANS

1/4"=1'-0"

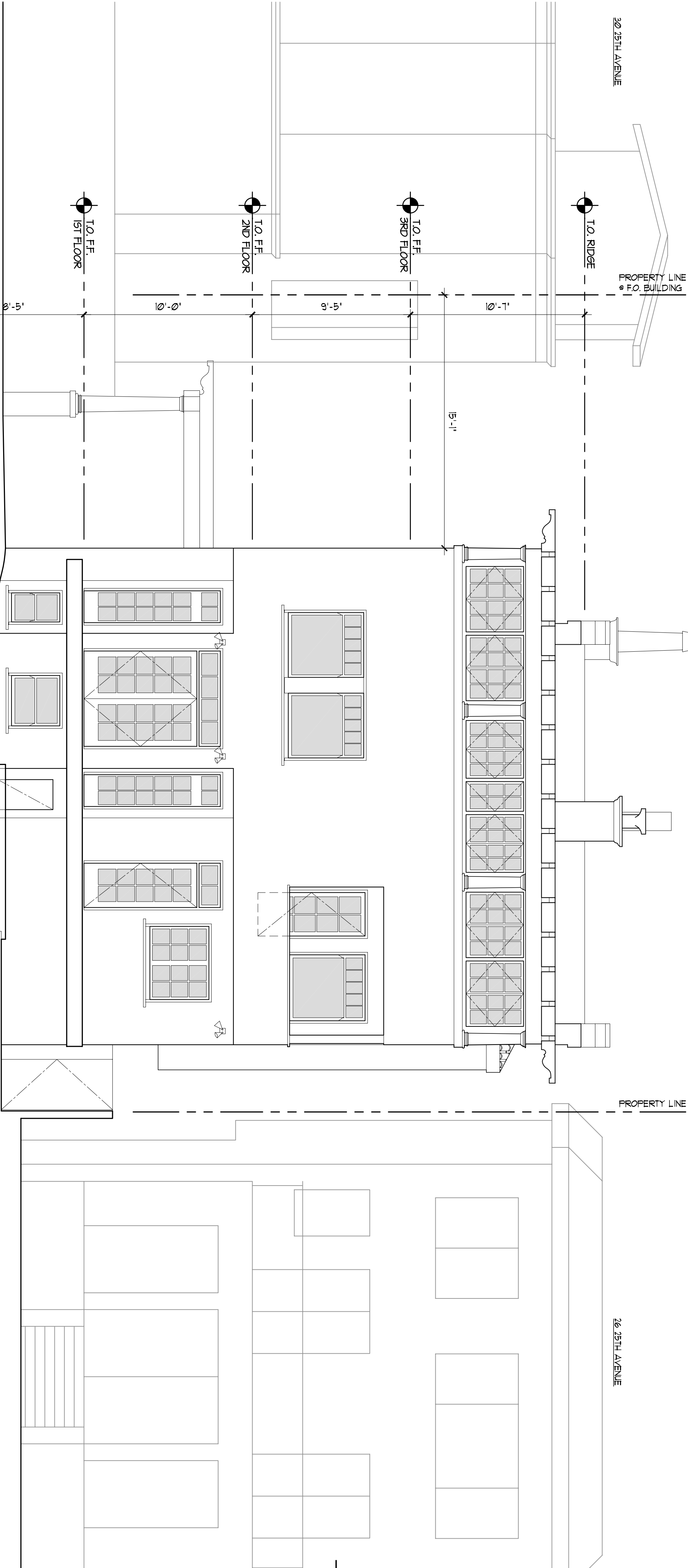
A2.5
PERMIT SET
01/15/14



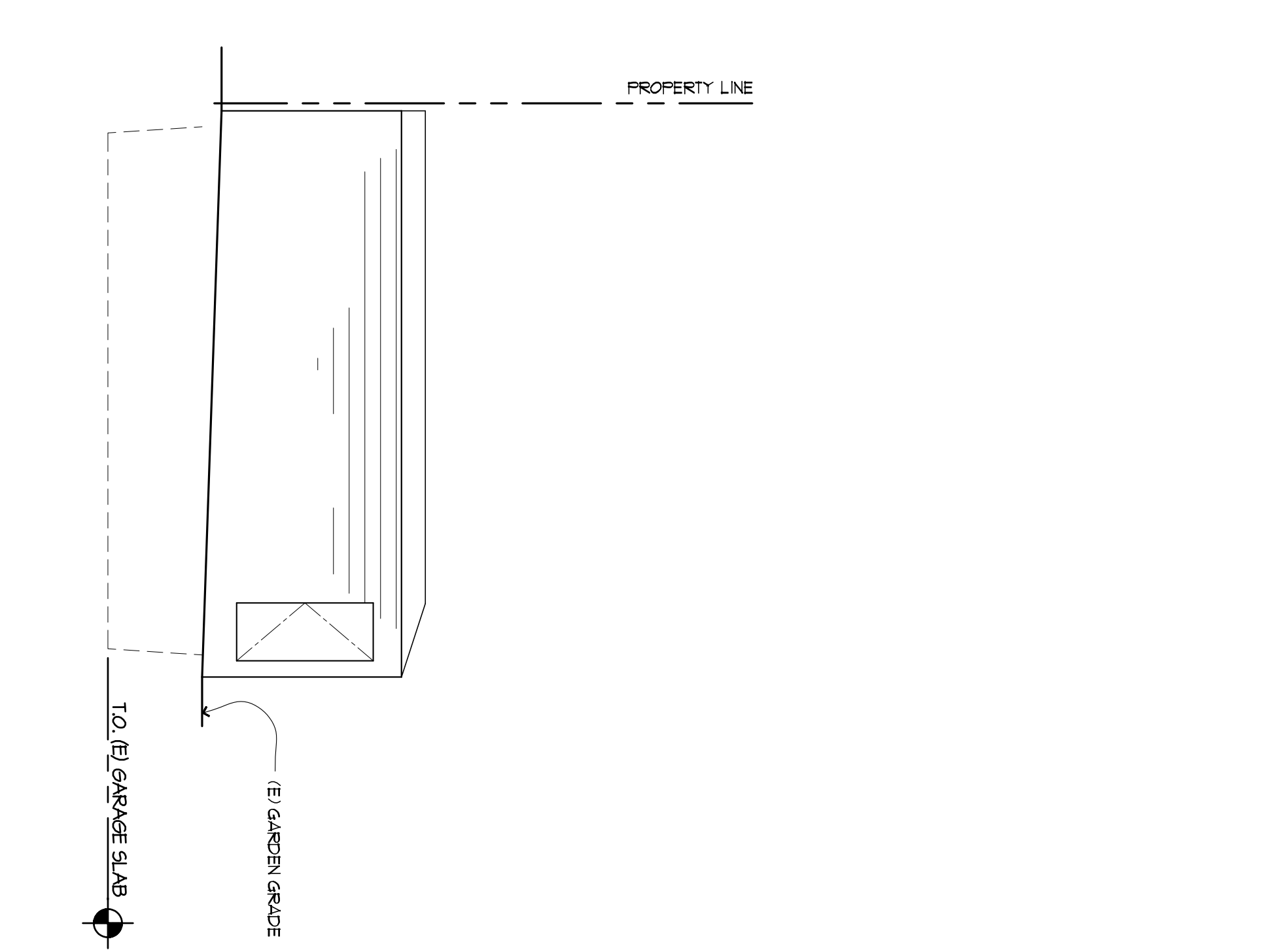
4
A3.0
1/4"=1'-0"
EXISTING GARAGE EAST ELEV



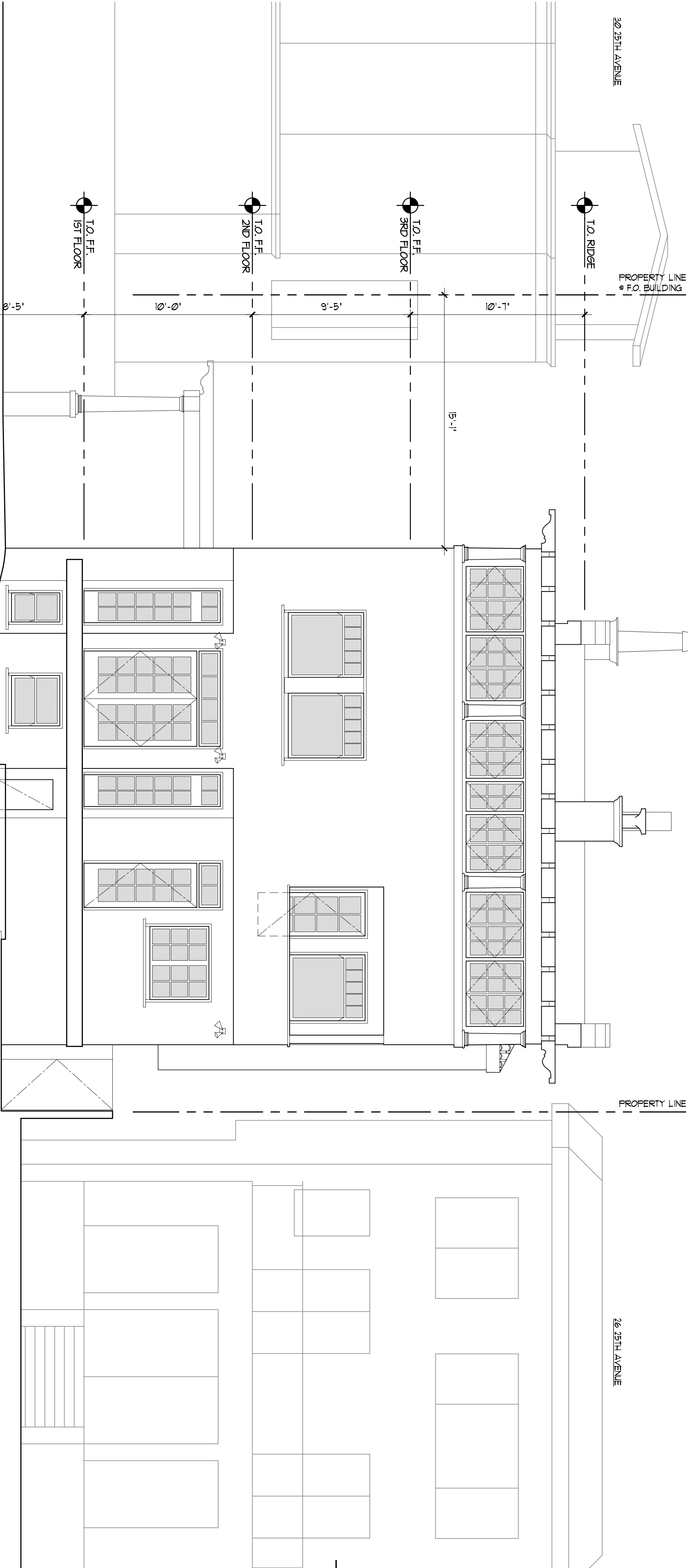
3
A3.0
1/4"=1'-0"
EXISTING HOUSE EAST ELEVATION



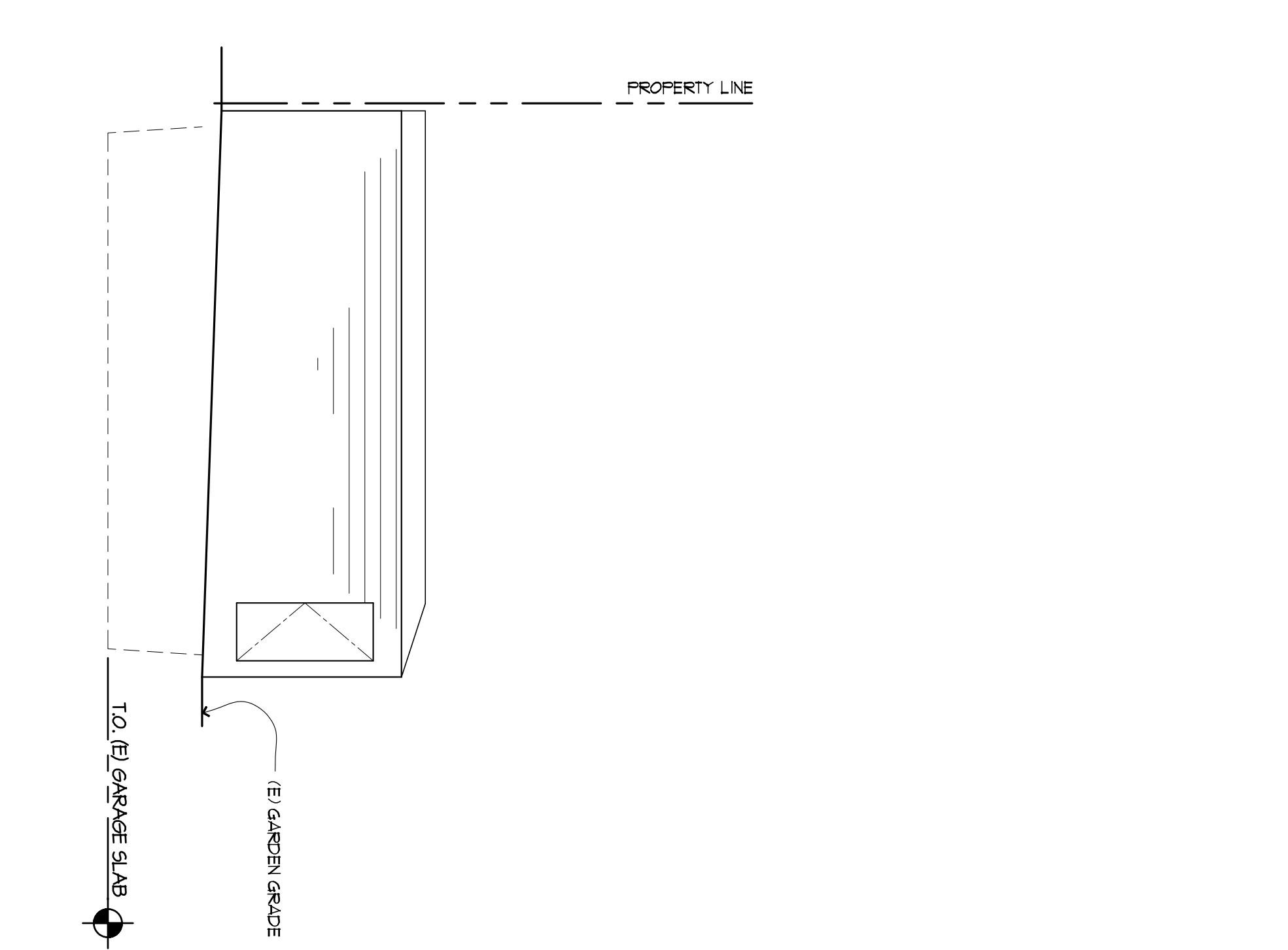
2
A3.0
1/4"=1'-0"
EXISTING GARAGE WEST ELEV



1
A3.0
1/4"=1'-0"
EXISTING HOUSE WEST ELEVATION



1
A3.0
1/4"=1'-0"
EXISTING HOUSE WEST ELEVATION



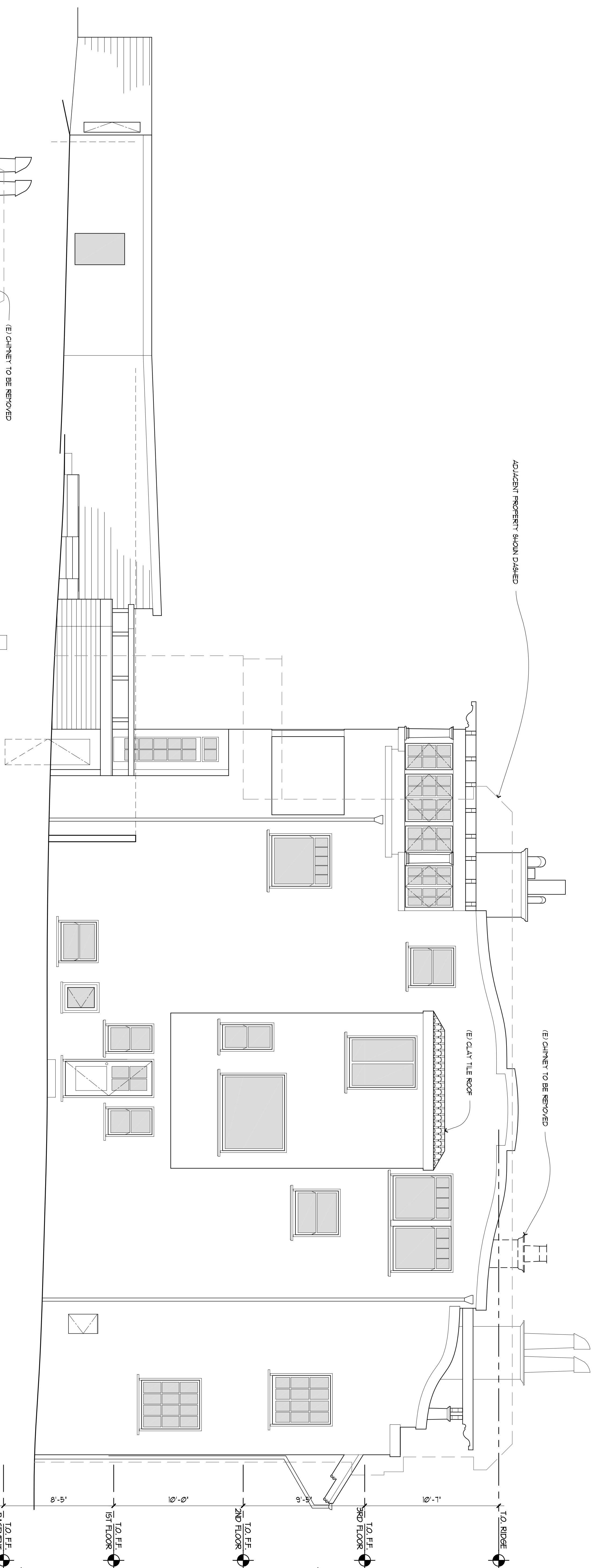
1
A3.0
1/4"=1'-0"
EXISTING HOUSE WEST ELEVATION

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

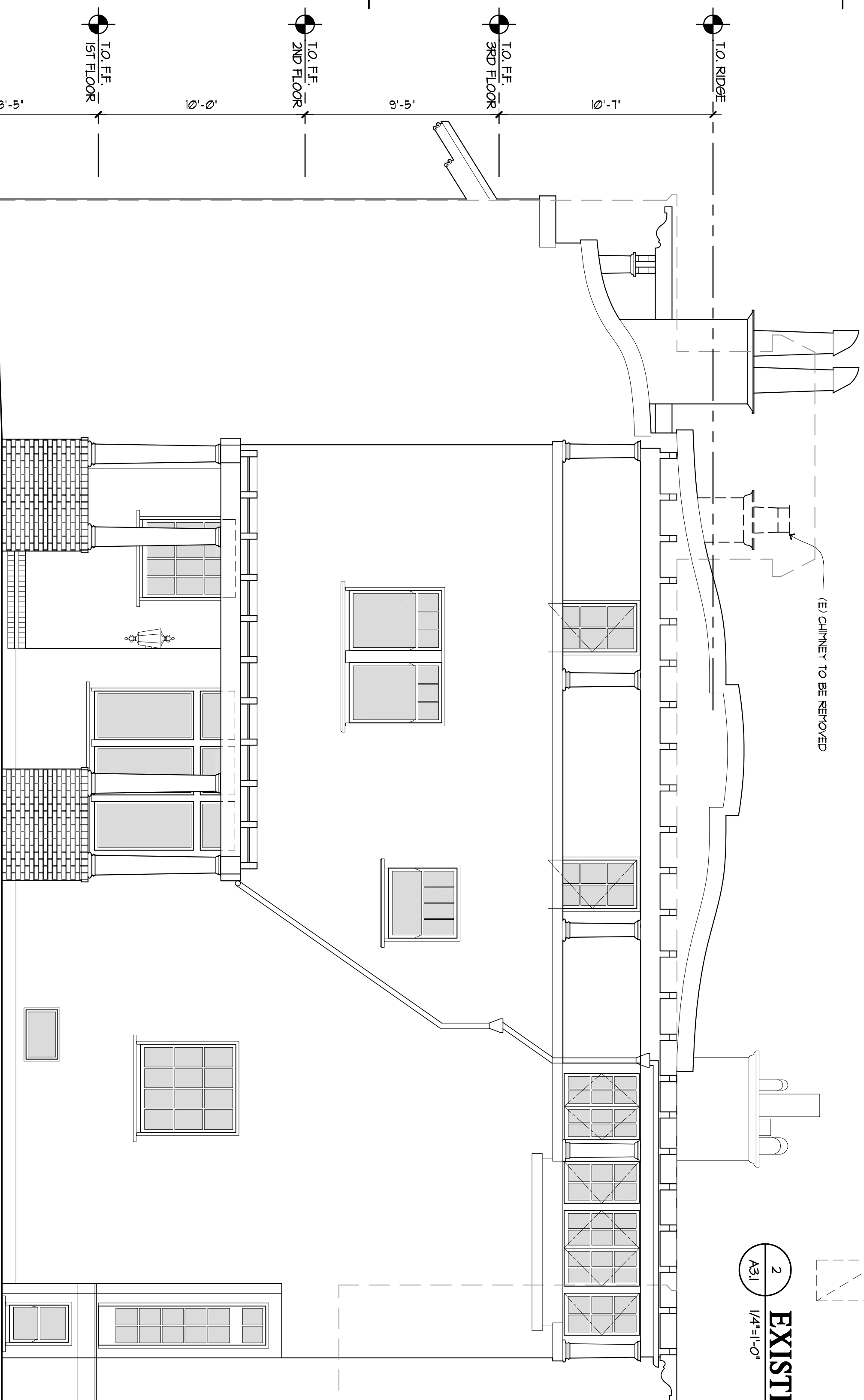
Drawn By _____
Checked By _____
Project No. 2050
Date: 01/15/14
01/15/14
Issue: PERMIT SET
SEC317 NOTIFICATION

 $1/4^2 = 1/0^2$

A3.1
PERMIT SET
01/15/14



2	EXISTING GARAGE & HOUSE NORTH ELEVATION
A3J	1/4"=1'-0"



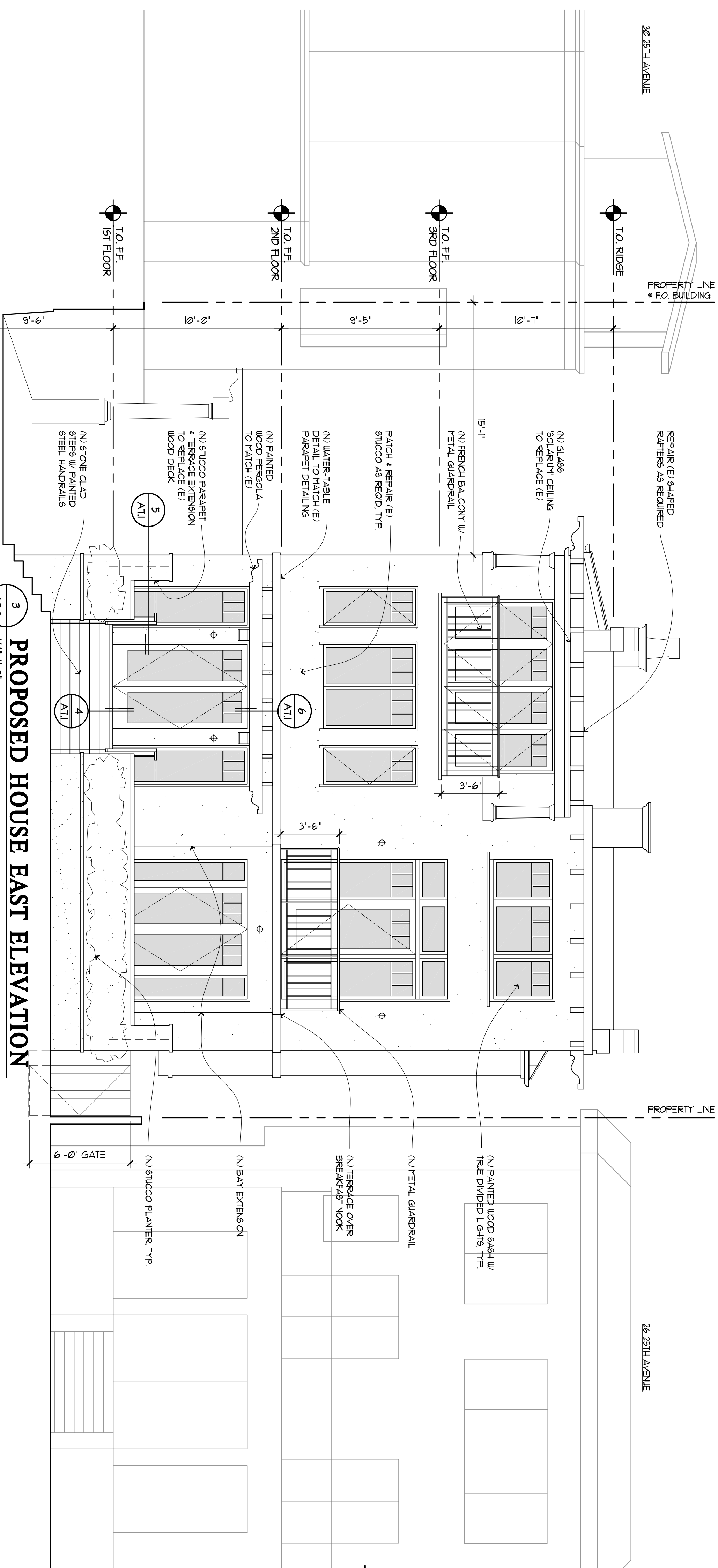
1	EXISTING HOUSE & GARAGE SOUTH ELEVATION
A3J	1/4"=1'-0"

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

PERMIT SET
SEC311 NOTIFICATION

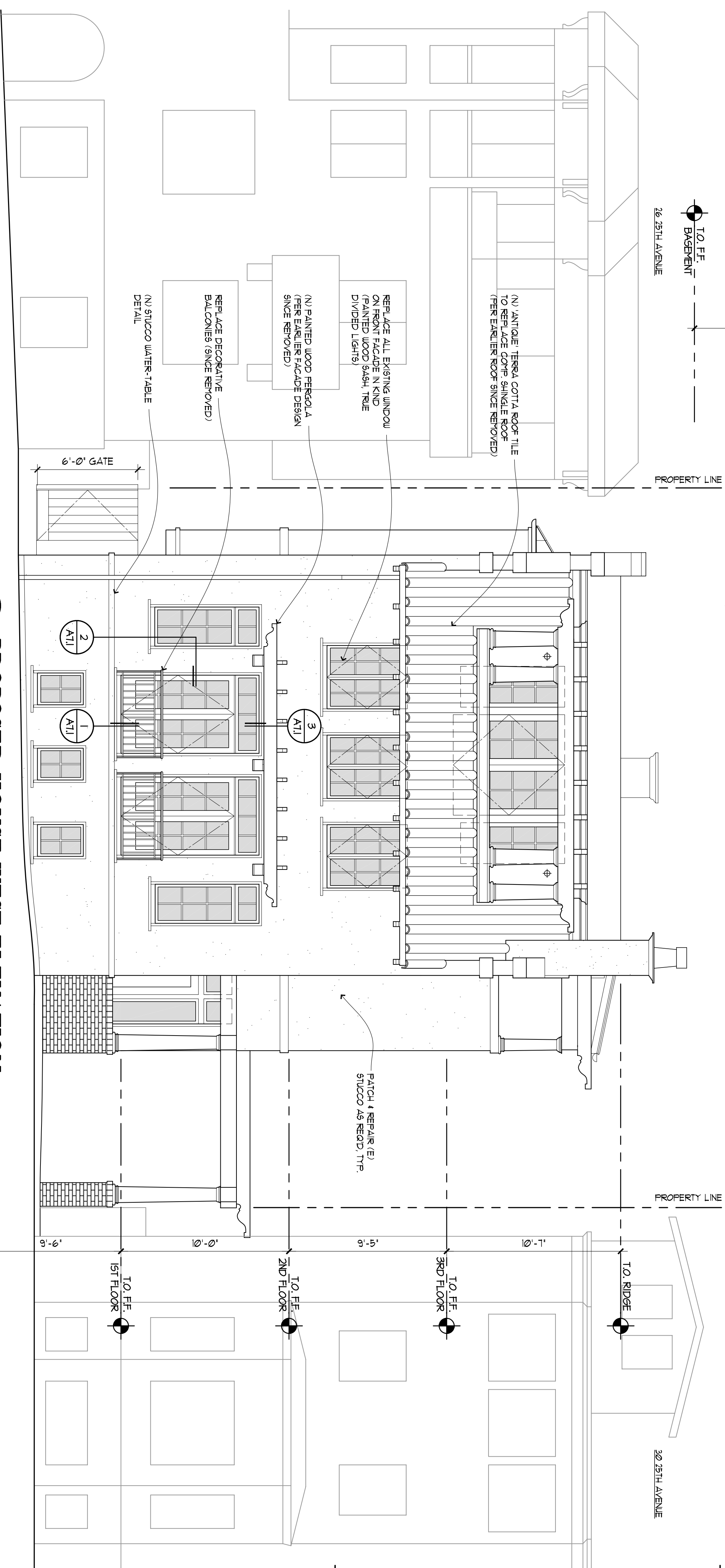
 $1/4'' = 1'.0''$

PERMIT SET
01/15/14

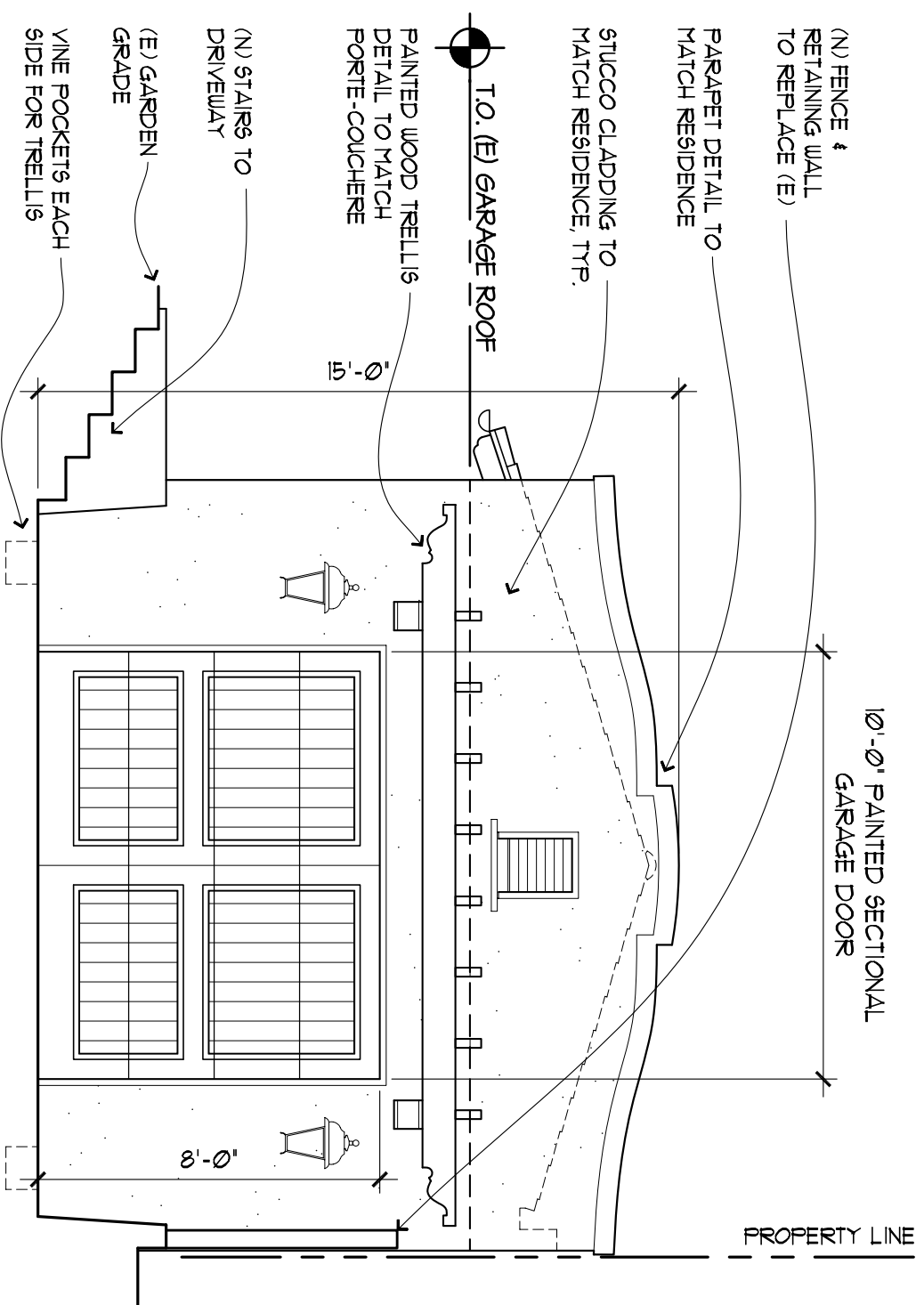


PROPOSED HOUSE EAST ELEVATION

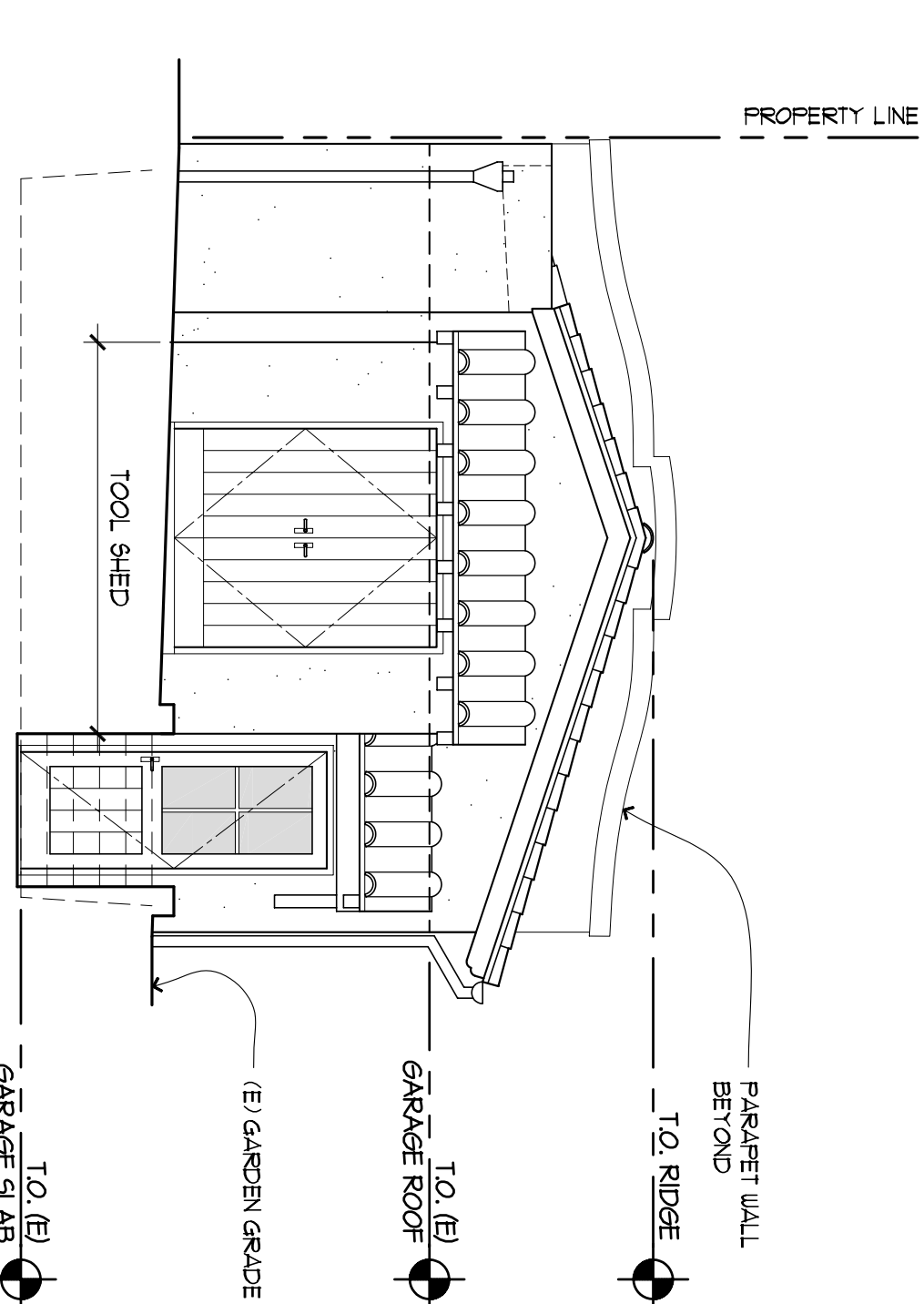
3	
A32	1/4" = 1'-0"



PROPOSED HOUSE WEST ELEVATION



2	PROPOSED GARAGE WEST ELEV
A32	



4	PROPOSED GARAGE EAST ELEV
A3.2	

28 25TH AVENUE
SAN FRANCISCO, CALIFORNIA
APN # 1302 - 003

01/15/14	PERMIT SET
01/15/14	SEC311 NOTIFICATION

 $1/4^2 = 1/0^2$

A3.3
PERMIT SET
01/15/14

