



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 23, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Lot Size, Rear Yard and Open Space)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1321-25 Kearny Street &amp; 24-26 Sonoma Street</b>	Case No.:	<b>2014.0267V</b>
Cross Street(s):	<b>Union &amp; Green Streets</b>	Building Permit:	<b>N/A</b>
Block / Lot No.:	<b>0115/007</b>	Applicant/Agent:	<b>Justin Yonker</b>
Zoning District(s):	<b>RH-3 / 40-X</b>	Telephone:	<b>415-806-4676</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>justin@masterbuilderssf.com</b>

### PROJECT DESCRIPTION

The proposal is to split a 20 foot wide by 80 foot deep lot, containing two structures into two lots. One lot (Lot A) fronting on Kearny Street will measure approximately 20 feet wide and 42 feet 2 inches deep and contain a three-story-over-basement structure with three dwelling units. The other lot (Lot B) fronting on Sonoma Street will measure approximately 20 feet wide and 37 feet and 10 inches deep and contain a three-story structure with two dwelling units.

**Section 121 of the Planning Code** requires each lot have a minimum area of 2,500 square feet. The proposal would create two lots with a 20 foot frontage each and one lot measuring approximately 843 square feet (Lot A) and one measuring approximately 757 square feet (Lot B).

**Section 134 of the Planning Code** requires a rear yard of no less than 15 feet on each lot. Lot A will have a rear yard of 3 feet and Lot B will not have a rear yard.

**Section 135 of the Planning Code** requires each lot to provide 80 sq. ft. of private open space or 106.4 sq. ft. of common open space for each dwelling unit. Lot A is required to provide 319.2 square feet of common open space and would provide 170 square feet. Lot B is required to provide 212.8 square feet of common open space and would provide 152 square feet.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Kanishka Burns**

Telephone: **415-575-9112** Mail: [kanishka.burns@sfgov.org](mailto:kanishka.burns@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0267V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



PROJECT SCOPE

- SPLIT CURRENT LOT INTO TWO LOTS (SEE SITE PLAN)

BUILDING CODES

APPLICABLE CODES & REGULATIONS:  
2010 CALIFORNIA BUILDING, ELECTRICAL, ENERGY, MECHANICAL,  
AND PLUMBING CODES AND SAN FRANCISCO MUNICIPAL CODE

NOTES

FIELD VERIFY EXISTING CONDITIONS

LEGEND

PROPERTY LINE

SET BACK

CENTER LINE OF STREET

FENCING

TREE WITH DRIPLINE

EXISTING STRUCTURE

NEW STRUCTURE

BUILDING & SITE DATA

GENERAL INFORMATION

ASSESSOR'S PARCEL NUMBER  
-OR- BLOCK-LOT: 0115007  
ZONING: RH3 (RESIDENTIAL- HOUSE- 3 FAMILY)  
OCCUPANCY TYPE:  
CONSTRUCTION TYPE: V(WOOD)  
SLOPE:  
STORIES:4 STORIES

LOT AREA: 1,600 S.F  
PROPOSED SONOMA LOT AREA: 756 S.F  
PROPOSED KEARNY LOT AREA: 844 S.F  
NET AREA: 1,600 S.F

IMPERVIOUS COVERAGE

EXISTING: N/A  
PROPOSED: N/A  
ALLOWED: N/A

STRUCTURAL COVERAGE

EXISTING: N/A  
PROPOSED: N/A  
ALLOWED: N/A

BUILDING AREA

	EXISTING	ADDITION	PROPOSED
UNIT # 24-26		N/A	N/A
FIRST FLOOR:	673 S.F	N/A	N/A
SECOND FLOOR:	680 S.F	N/A	N/A
UNIT # 1321-1325		N/A	N/A
FIRST FLOOR:	661 S.F	N/A	N/A
SECOND FLOOR:	668 S.F	N/A	N/A
THIRD FLOOR:	629 S.F	N/A	N/A

FLOOR AREA TOTAL:  
MAX ALLOWED: N/A

WALL PERIMETER

EXISTING: N/A  
EXISTING TO REMAIN: N/A

CONTACT INFORMATION

NAME: JUSTIN YONKER  
ADDRESS:139 MITCHELLE AVE. #110, SOUTH SAN FRANCISCO, CA 94080  
PHONE: (408) 391-1938

LOT AREA TABLE	WIDTH x DEPTH	PROVIDED
EXISTING LOT	20' x 80'	1,600 S.F
1321-1325 KEARNY ST (3 UNITS) PROPOSED PARCEL A	42'2" x 20'	843 S.F
24-26 SONOMA ST (2 UNITS) PROPOSED PARCEL B	37'10" x 20'	757 S.F

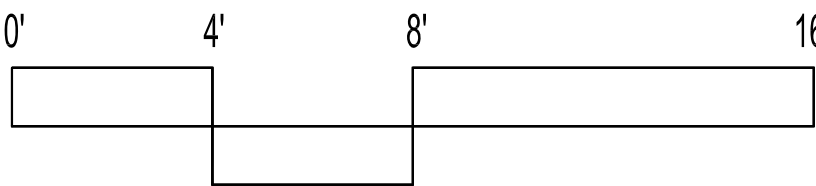
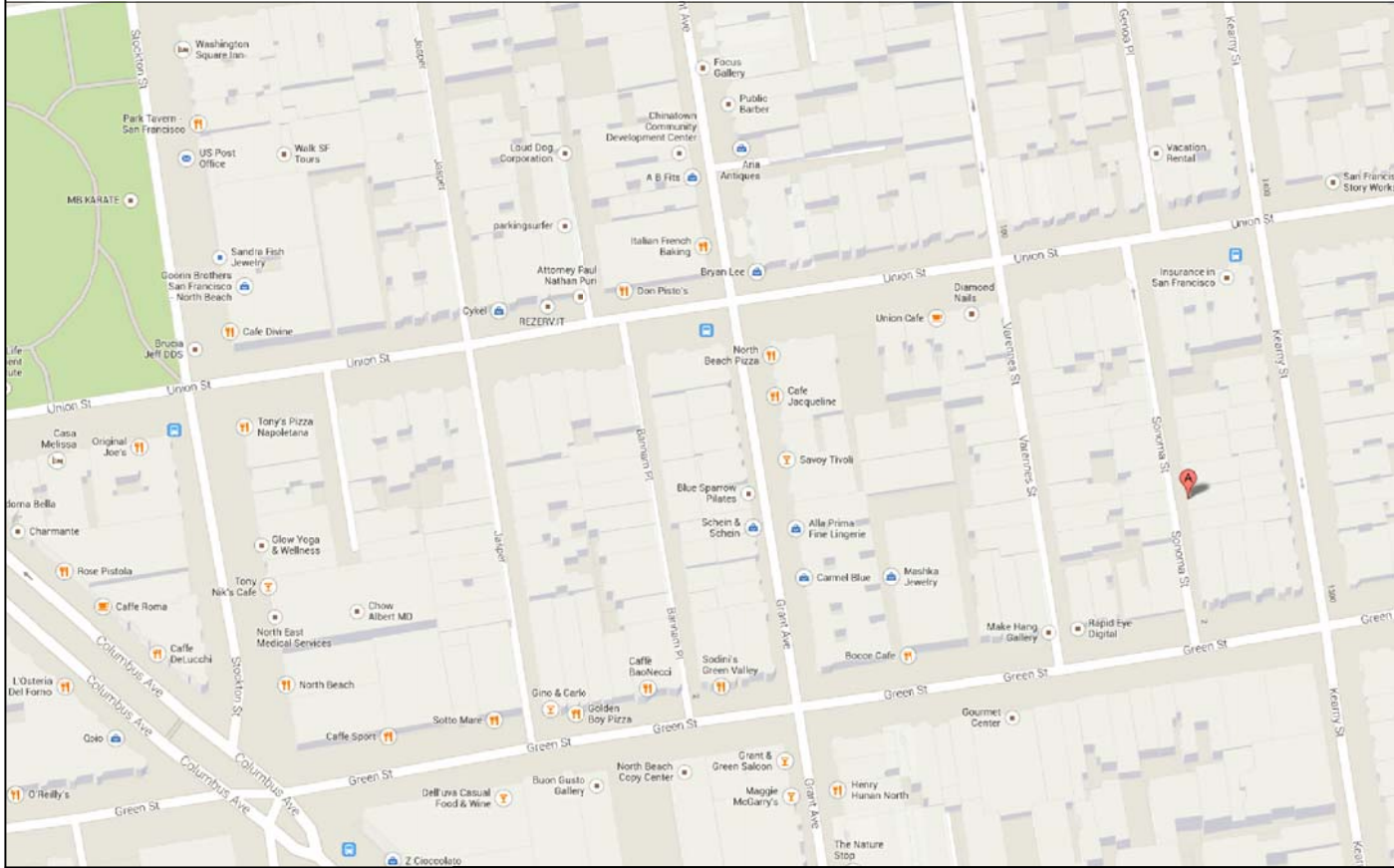
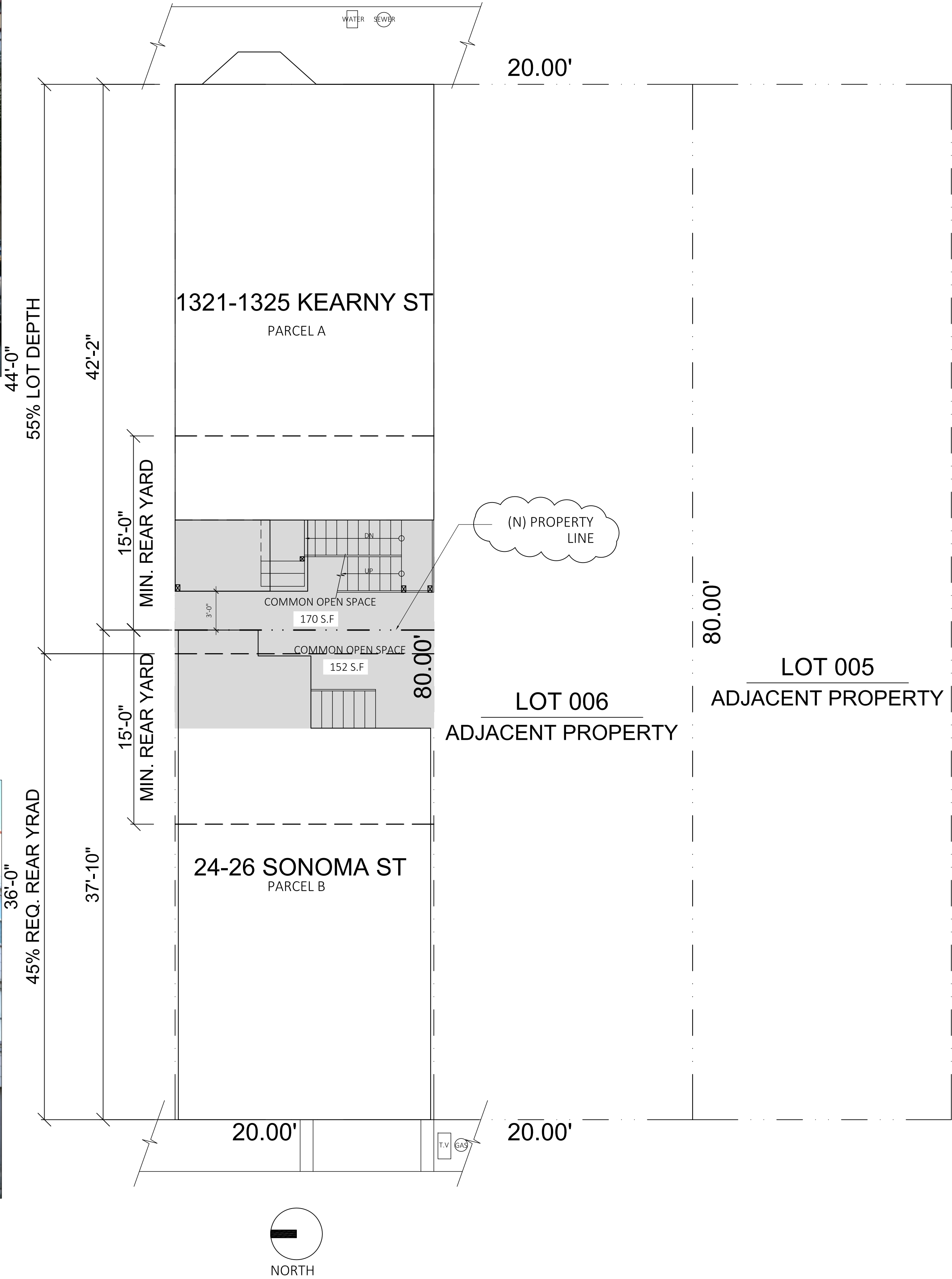
COMMON OPEN SPACE TABLE	REQUIRED (133 S.F./UNIT)	PROVIDED
EXISTING LOT (5 UNITS)	665 S.F	322 S.F
1321-1325 KEARNY ST (3 UNITS) PROPOSED PARCEL A	399 S.F	170 S.F
24-26 SONOMA ST (2 UNITS) PROPOSED PARCEL B	266 S.F	152 S.F



FRONT ELEVATION  
AT KEARNY



FRONT ELEVATION  
AT SONOMA





EXISTING  
ELEVATIONS

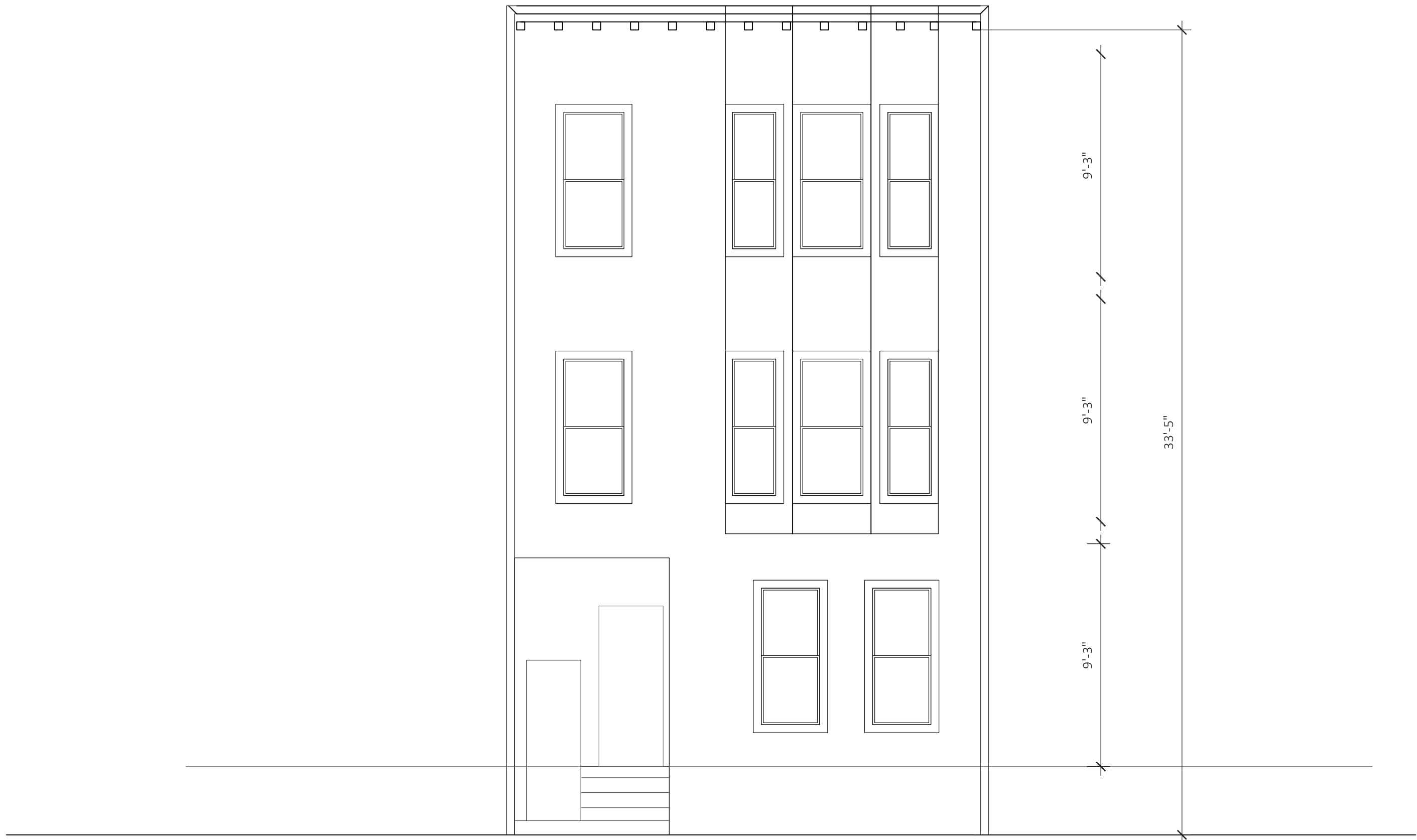
LOT SPLIT  
1321-1325 KEARNY ST 24-26 SONOMA ST  
SAN FRANCISCO, CA 94133

Master Builders

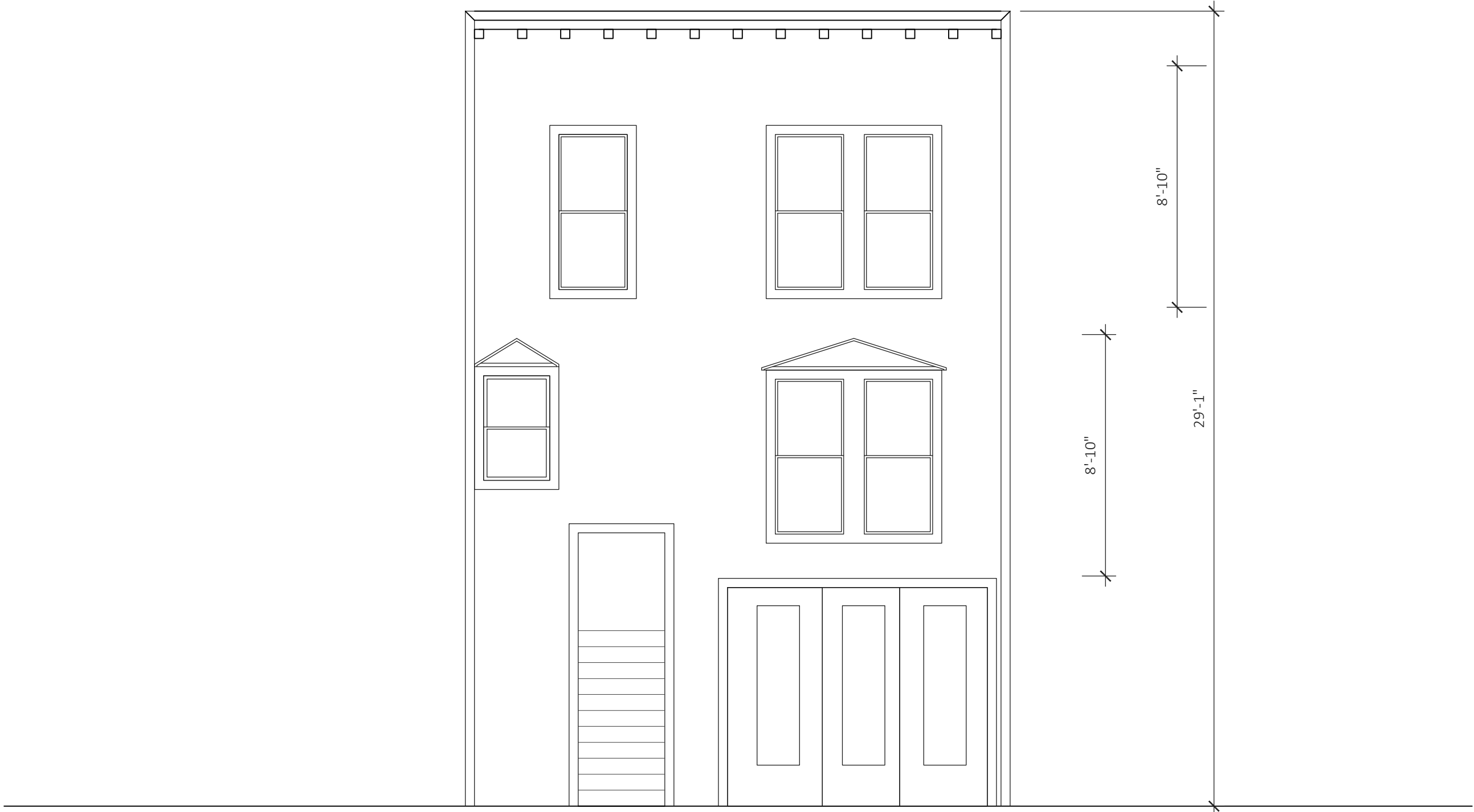
139 Mitchell Ave. #110  
South San Francisco, CA 9408  
(415) 567-8886  
www.MasterBuildersSF.com

DATE: 2/5/14  
SCALE: 1/4"=1'-0"  
DRAWN: AS  
JOB:  
SHEET:

A-3  
OF 3 SHEETS



1  
A-3  
EXISTING KEARNY ELEVATION  
1/4"=1'-0"



2  
A-3  
EXISTING SONOMA ELEVATION  
1/4"=1'-0"

