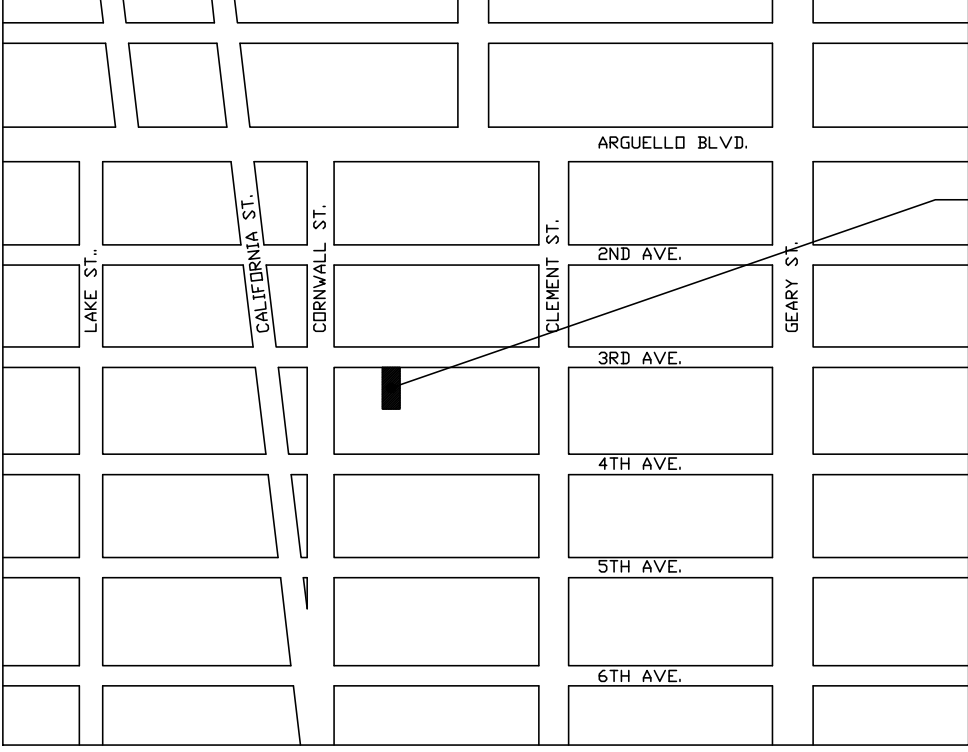


LOCATION MAP - NOT TO SCALE



PROJECT LOCATION

CODE DATA AND ZONING

ZONING: RM-1, RESIDENTIAL - 1 UNIT  
ADDRESS: 227 3RD AVENUE, SAN FRANCISCO, CA. 94105  
BLOCK: 1430 LOT: 013  
USE: RESIDENTIAL, SINGLE FAMILY  
NUMBER OF STORIES: 2  
PARKING PROVIDED: 2  
CONSTRUCTION TYPE: 5 - ONE HOUR AT GARAGE  
RECORDED LOT SIZE:  
LOT AREA: 2,500 SF  
LIFE/SAFETY: FIRE ALARMS ALREADY PROVIDED THROUGHOUT

SCOPE OF WORK

THIS PERMIT SUBMITTAL IS FOR EXTERIOR DEMOLITION AND CONSTRUCTION OF NEW STAIR AND DECK AND REPLACEMENT OF SLIDING DOOR WITH SWINGING DOUBLEDORS.

BUILDING AREA	EXISTING
LOWER LEVEL	1142 SF
1ST FLOOR	1143 SF
2ND FLOOR	934 SF

APPLICABLE CODES

2010 CALIFORNIA BUILDING CODE AS AMENDED BY THE CITY OF SAN FRANCISCO

PROJECT TEAM

**ARCHITECT:**  
GEDDES ULINSKAS ARCHITECTS  
52 SECOND STREET, 3RD FLOOR  
SAN FRANCISCO, CA 94105  
T 415.904.0483  
F 415.904.8643  
CONTACT: GEDDES ULINSKAS

SHEET LIST

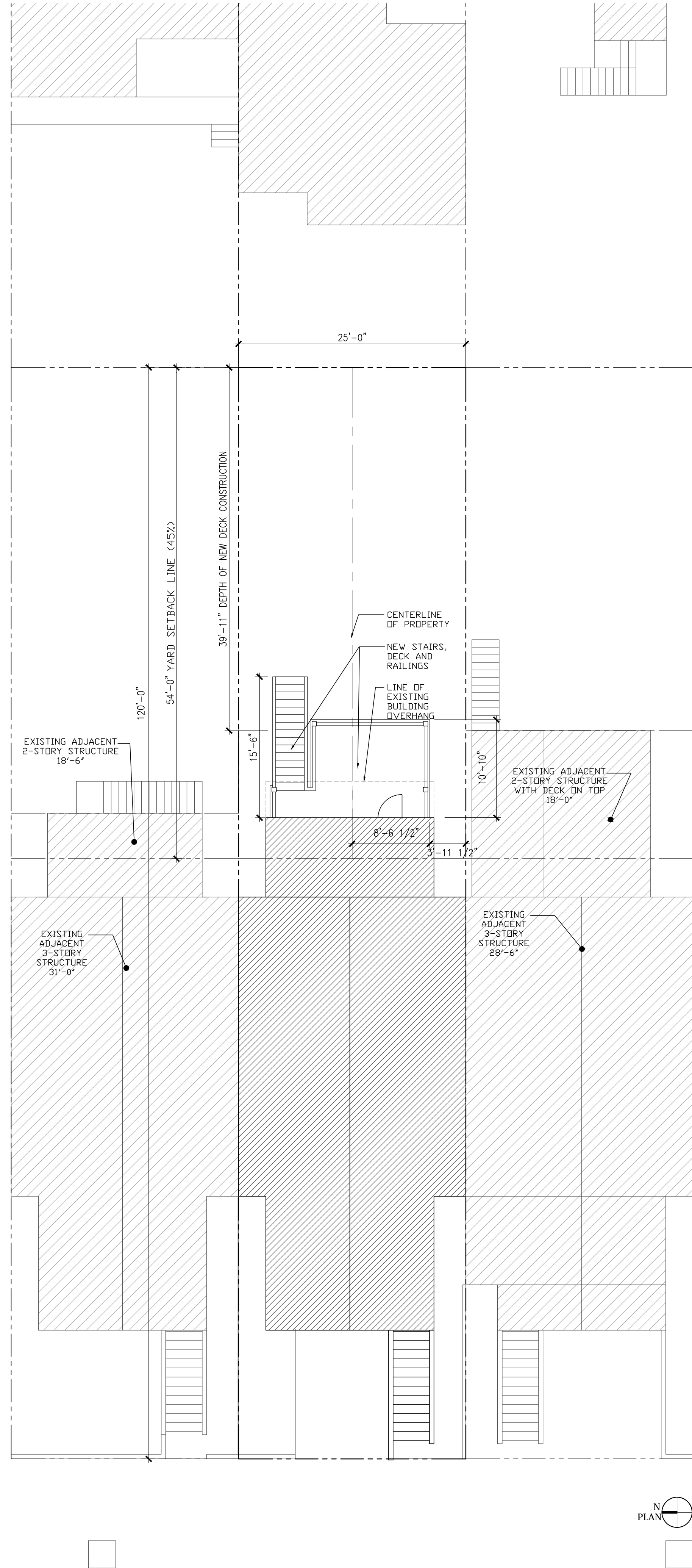
ARCHITECTURAL
A-000 COVER SHEET/INFORMATION
A-201 PLANS
A-301 EXTERIOR ELEVATIONS & DETAILS
STRUCTURAL
S-1 FOUNDATION PLAN & DECK FRAMING PLAN & DETAILS

GENERAL NOTES

- THE DOCUMENTS IN THIS RENOVATION PERMIT PACKAGE SET INCLUDE:
  - DRAWINGS FOR REPLACEMENT OF EXISTING DECK AND STAIRS AND REPLACEMENT OF EXISTING EXTERIOR SLIDING DOOR WITH DOUBLE DOORS
  - NO WORK IS TO BE DONE IN THE INTERIOR OF THE HOUSE.
- DEFINITIONS:
  - ACCEPTED AS ACCEPTED BY ARCHITECT
  - ACCEPTED EQUAL AS ACCEPTED BY THE ARCHITECT AS BEING EQUIVALENT QUALITY, UTILITY AND APPEARANCE
  - AS APPLICABLE: AS APPROPRIATE FOR THE PARTICULAR CONDITION, CIRCUMSTANCE OR SITUATION
  - AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERAL ACCEPTED PRACTICE, OR BY THE CONTRACT DOCUMENTS
  - DIRECTED: AS INSTRUCTED BY THE ARCHITECT IN WRITING
  - SATISFACTORY: TO THE SATISFACTION OF THE ARCHITECT, SUBJECT TO THE ARCHITECT'S ACCEPTANCE
  - TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS UNLESS OTHERWISE NOTED
  - SIMILAR: COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES CAN BE INFERRED BY OTHER INFORMATION INDICATED. VERIFY DIMENSIONS AND ORIENTATION
  - FURNISH: SUPPLY ONLY, OTHERS WILL INSTALL.
  - INSTALL: INSTALL, ITEMS FURNISHED BY OTHERS.
  - PROVIDE: FURNISH AND INSTALL.
- DIMENSIONING AND ELEVATIONS:
  - DIMENSIONING AND LAYOUT OF THE DECK AND STAIRS SHALL BE ESTABLISHED FROM A COMMON REFERENCE LOCATION
  - DIMENSION LINES LOCATING EXTERIOR AND INTERIOR MASONRY WALLS ARE SET TO OUTSIDE FACE OF STRUCTURAL CMU WALLS.
  - EXTERIOR STUD FRAMED WALLS ARE EXISTING TO REMAIN
  - INTERIOR STUD WALLS ARE EXISTING TO REMAIN.
  - DIMENSIONS NOTED AS 'CLEAR' OR 'CLR' MUST BE PRECISELY MAINTAINED. WHERE DIMENSIONS ARE NOTED AS 'MINIMUM' OR 'MIN,' DIMENSION CANNOT BE LESS THAN AS INDICATED ON DRAWINGS.
  - ELEVATION MARKERS ON KEY AND SYMBOL PLAN REFERENCE TOP OF STRUCTURAL SLAB. ALL OTHER REFERENCES TO ELEVATION INDICATE IF MARKER IS REFERENCED FROM TOP OF STRUCTURAL SLAB OR FINISH FLOOR.
  - DIMENSIONS NOTED AS 'AFF.' ARE ABOVE FINISH FLOOR MATERIAL.
  - DO NOT SCALE DRAWINGS.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO COMPLETE THE WORK OF THE PROJECT.
- DIMENSIONING RULES:
  - ADJUSTMENT DIMENSIONS ARE INDICATED BY +/-
  - VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR FINISH UNLESS OTHERWISE NOTED.
  - ITEMS SHOWN AS EQUAL DIMENSION SHALL BE MEASURED OUT AND SET ACCORDINGLY BY THE CONTRACTOR.
  - SHIP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMAN AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST AND ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED
- THE ARCHITECT RESERVES THE RIGHT TO REJECT MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE UP TO THE SPECIFIED STANDARDS OF THE VARIOUS TRADES INVOLVED. SUCH INTERIOR WORK QUALITY SHALL BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
- ITEMS OF EQUIPMENT, FIXTURES, AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE. ITEMS SHALL ALSO BE COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE BUILDING.
- WHENEVER IN THE SPECIFICATIONS THE ABBREVIATION OR ACRONYM IS SPECIFIED, IT SHALL BE UNDERSTOOD TO MEAN THE FULL NAME OF THE RESPECTIVE ORGANIZATION, AS FOLLOWS:
  - AMERICAN INSTITUTE OF ARCHITECTS
  - AMERICAN NATIONAL STANDARDS INSTITUTE
  - AMERICAN SOCIETY FOR TESTING AND MATERIALS
  - ARCHITECTURAL WOODWORK INSTITUTE
  - INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
  - NATIONAL ELECTRICAL CODE
  - UNIFORM BUILDING CODE
  - UNDERWRITERS LABORATORIES, INC.
  - UNIFORM MECHANICAL CODE
  - UNIFORM PLUMBING CODE
- WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR RATHER THAN THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS, WHO SHALL BE ENGINEERS OF RECORD FOR SUCH SYSTEMS.
- NO ALTERATIONS TO THE SANITY LINE TO THE STREET SEWER ARE REQUIRED FOR THIS PROJECT.
- HOURS OF CONSTRUCTION SHALL COMPLY WITH CITY OF SAN FRANCISCO STANDARDS. SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL EXAMINE, READ, AND BE THOROUGHLY FAMILIAR WITH THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE DRAWINGS AND SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, OR SHOULD BE IN DOUBT AS TO THEIR INTENT OR MEANING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL CONDITIONS AT THE SITE AND SHALL BE CHECKED BY THE CONTRACTOR. INFORMATION RELATED TO EXISTING CONDITIONS AND THE ACCURACY OF SUCH INFORMATION HAS NOT BEEN VERIFIED.
- INSTALL WORK PLUMBS, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF SITE ELEMENTS SUCH AS TREES, EXISTING UTILITY LINES AND EQUIPMENT AND EXISTING ROADWORK.
- DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- SUBMIT A PROGRESS SCHEDULE AND A SCHEDULE OF REQUIRED SUBMITTALS WITHIN 7 DAYS AFTER NOTICE TO PROCEED.

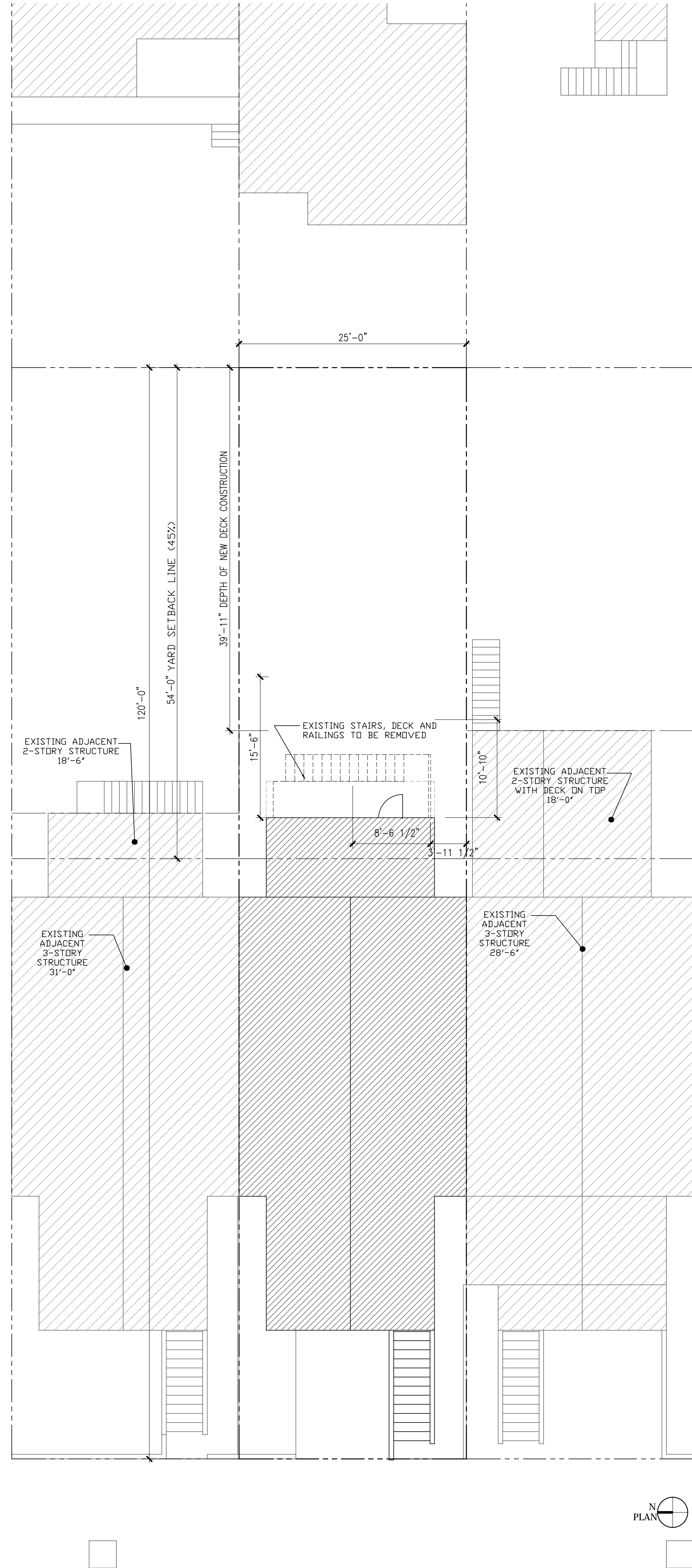
SITE PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



SITE PLAN - EXISTING

SCALE: 1/8" = 1'-0"



GEDDES ULINSKAS ARCHITECTS

52 Second Street  
San Francisco CA 94105  
T 415 904 0483  
F 415 904 8643

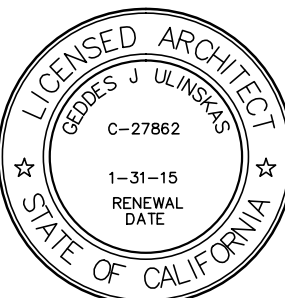
227 3RD Avenue  
San Francisco, CA

DRAWN BY:

PLOT DATE:

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	12.31.13



COVER SHEET

A-000

LEGEND

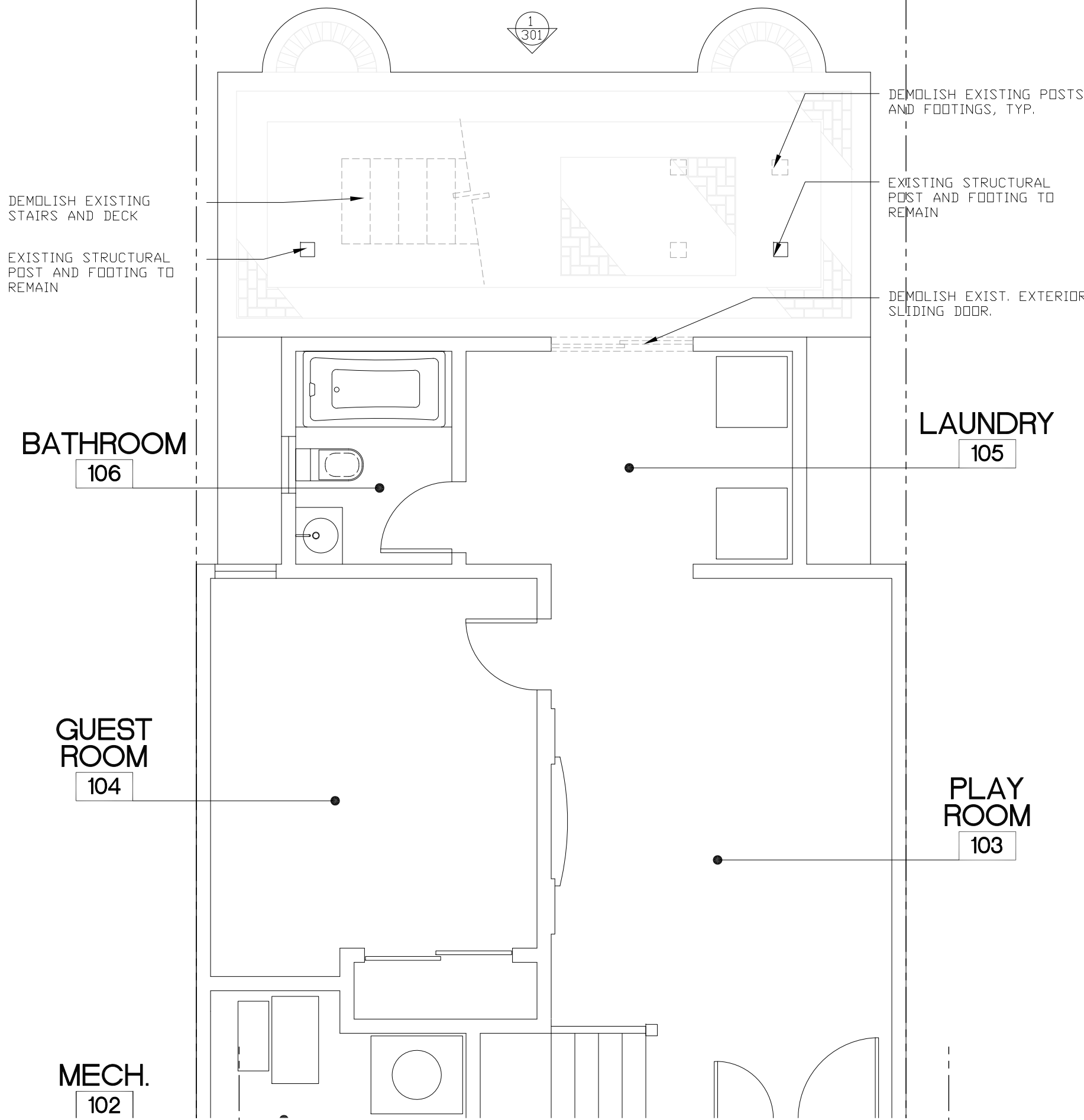
EXISTING TO BE DEMOLISHED AND REMOVED

NEW EXTERIOR FRENCH DOORS – PROVIDE PAINTED INTERIOR AND EXTERIOR CASINGS TO MATCH EXISTING. PROVIDE DOOR TRIM TO MATCH EXISTING – PROVIDE NEW KEYED ENTRY LOCK.

FINISH NOTES

ALL FINISHES AT WALLS TO BE PAINTED GYP. BD. TO MATCH EXISTING, PAINTED TRIM AND CASINGS TO MATCH EXISTING, OR NEW PAINTED GYP. BD.

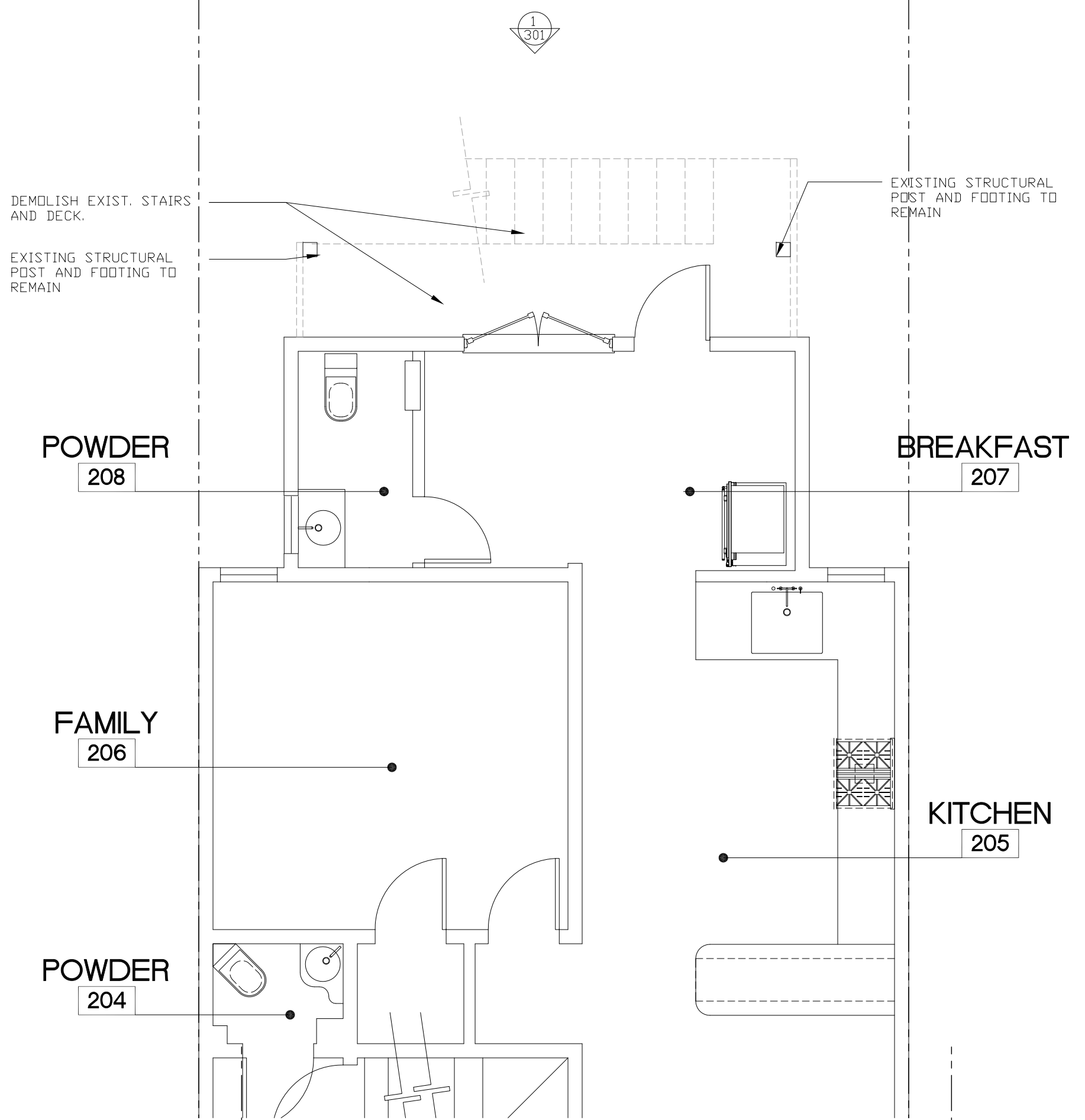
PATCH AND PAINT SIDING TO MATCH EXISTING



LOWER LEVEL DEMO PLAN

SCALE: 1/4" = 1'-0"

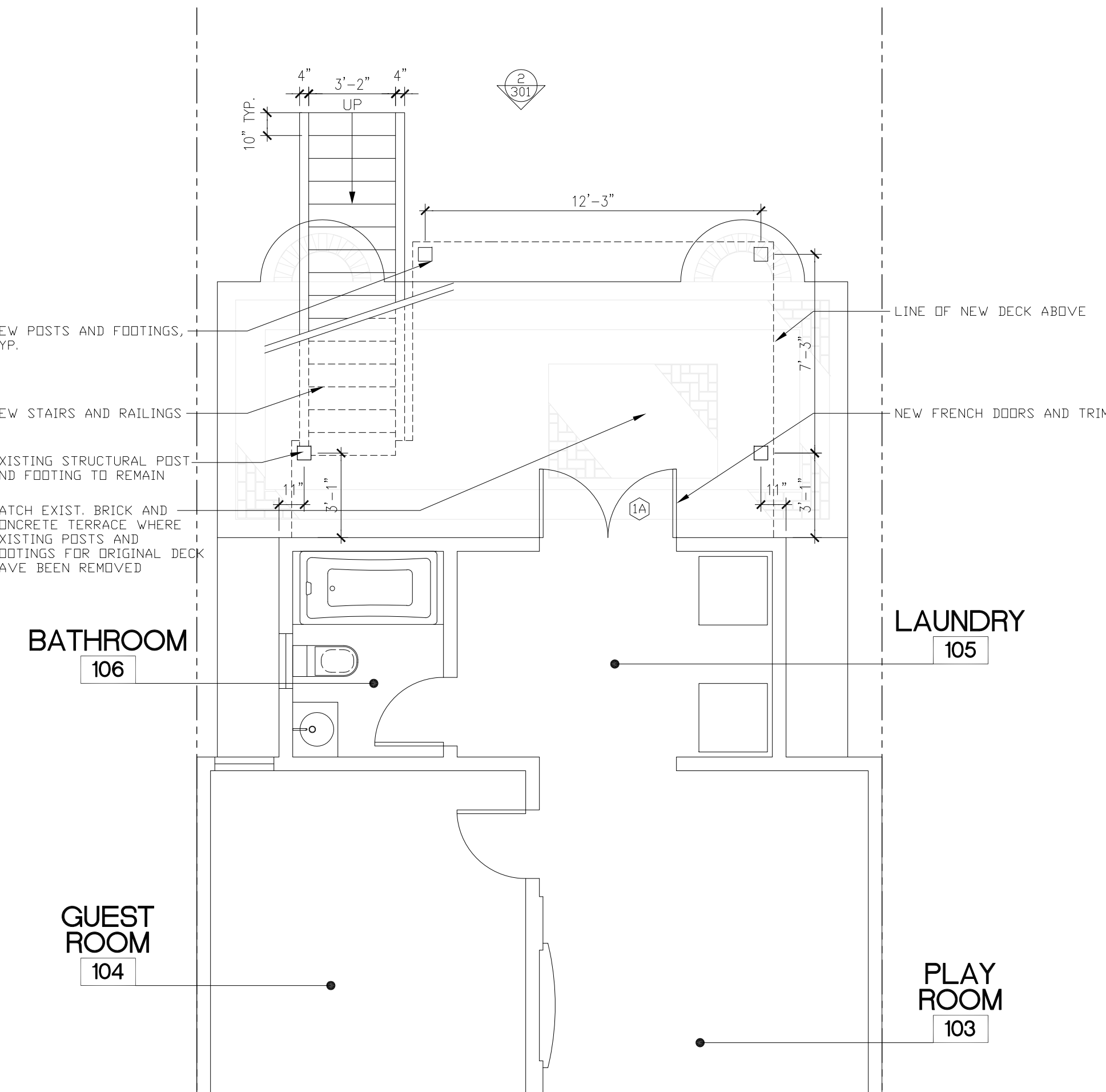
3



FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

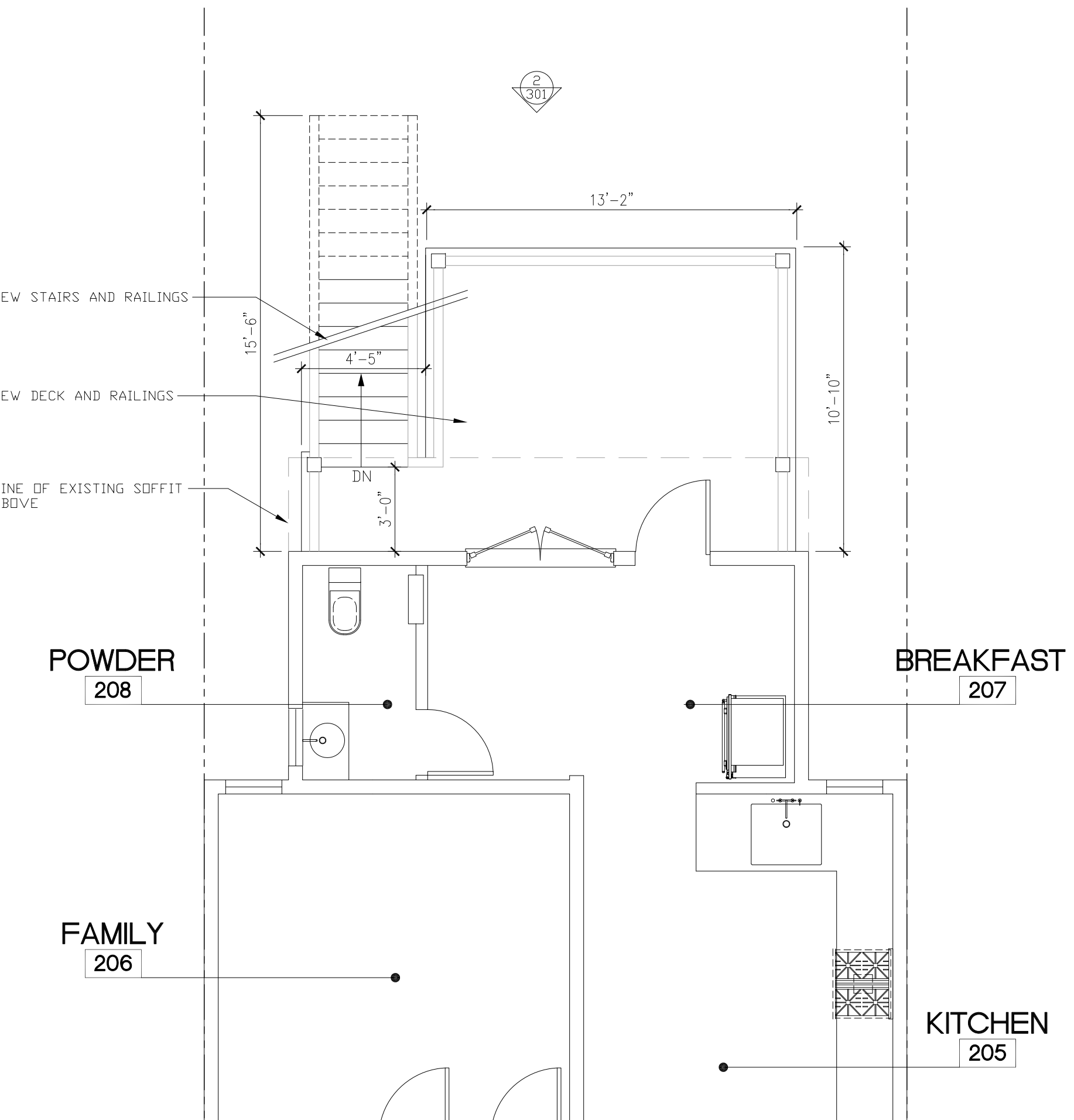
1



LOWER LEVEL CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

4



FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

2

GEDDES ULINSKAS ARCHITECTS

52 Second Street  
San Francisco CA 94105

T 415 904 0483  
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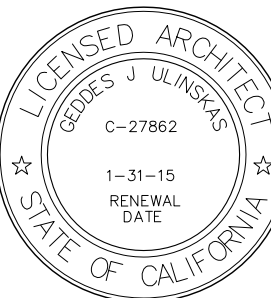
227 3RD Avenue  
San Francisco, CA

DRAWN BY:

PLOT DATE:

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PLANNING	12.31.13



PLANS

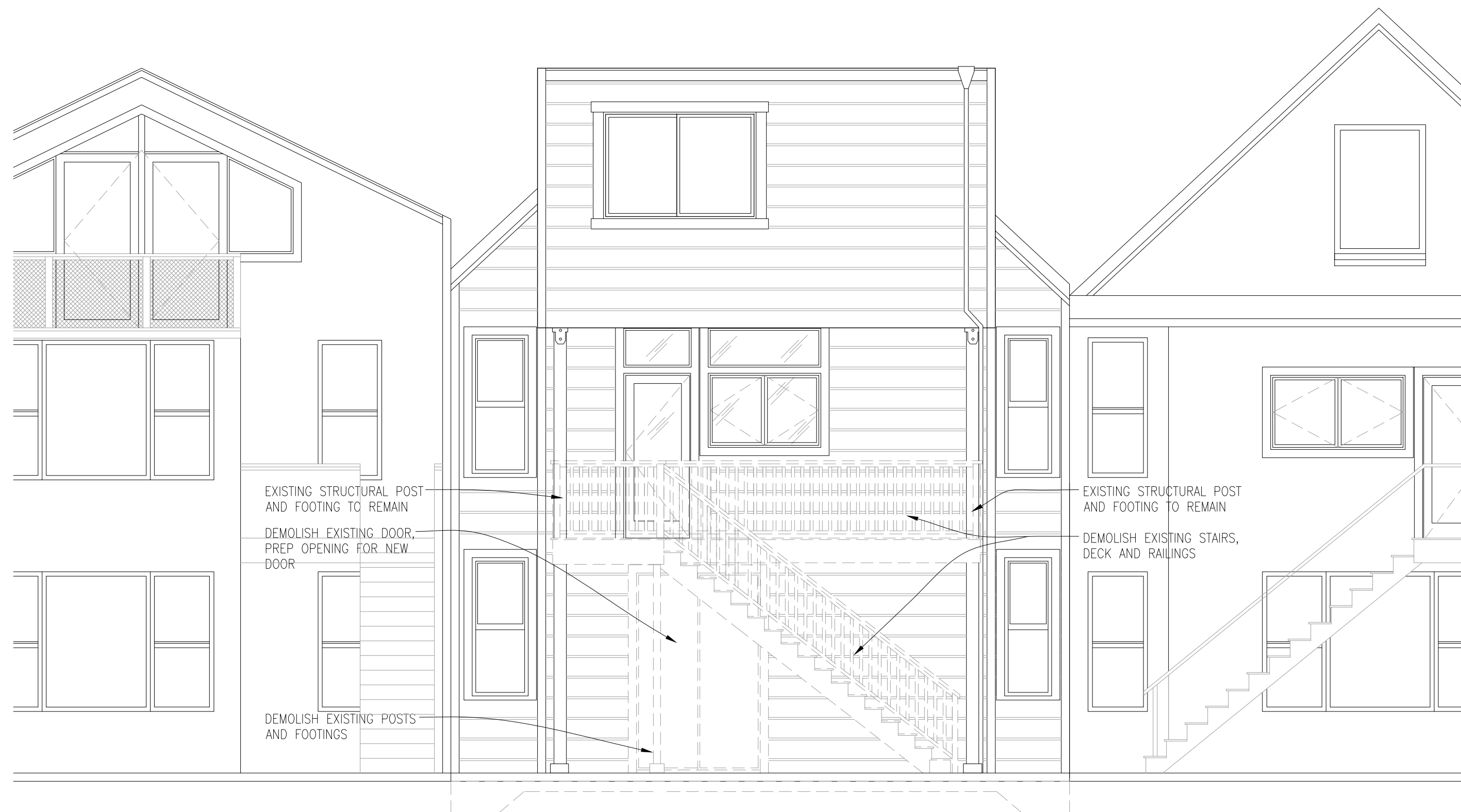
A-201

DRAWN BY:

PLOT DATE:

CHECKED BY:

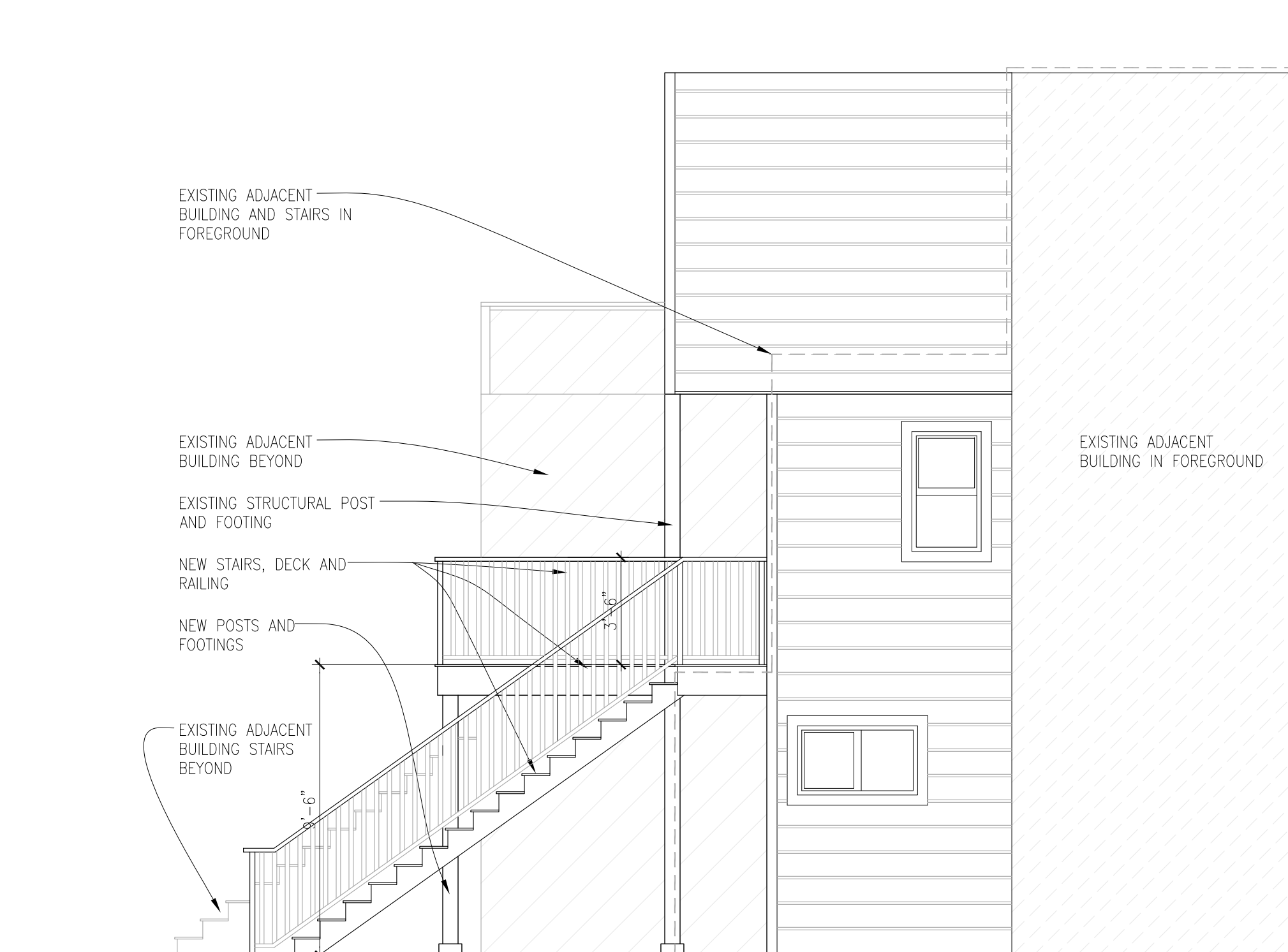
ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PLANNING	12.31.13



## REAR ELEVATION - DEMOLITION

SCALE: 1/4" = 1'-0"

1



## SIDE ELEVATION - CONSTRUCTION

SCALE: 1/4" = 1'-0"

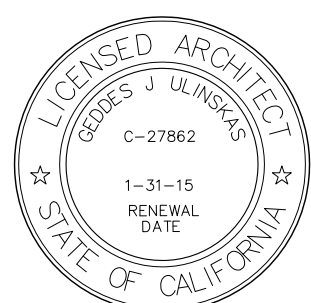
4



## REAR ELEVATION - CONSTRUCTION

SCALE: 1/4" = 1'-0"

2



EXTERIOR  
ELEVATIONS

A-301