



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

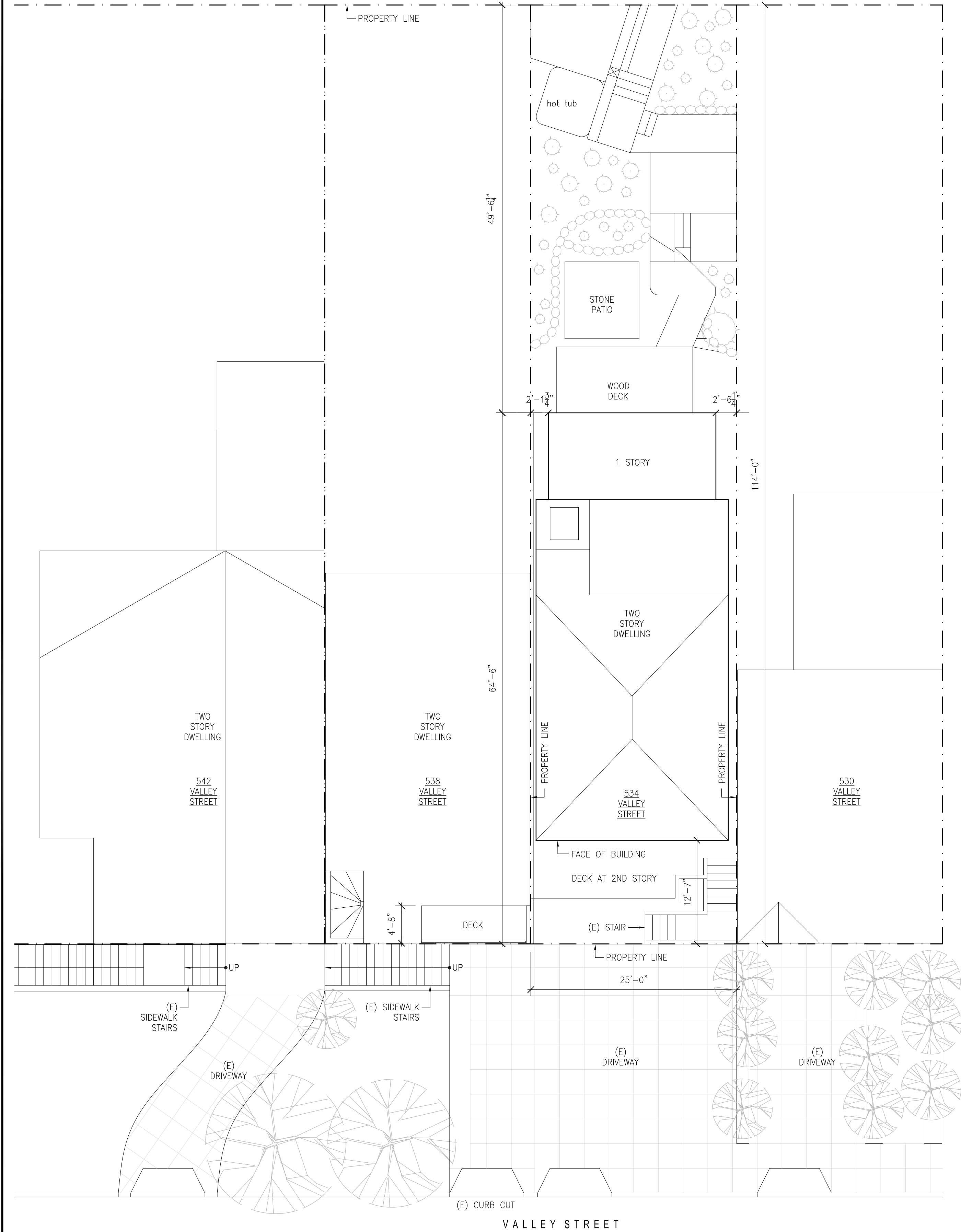
Reception:
415.558.6378

Fax:
415.558.6409

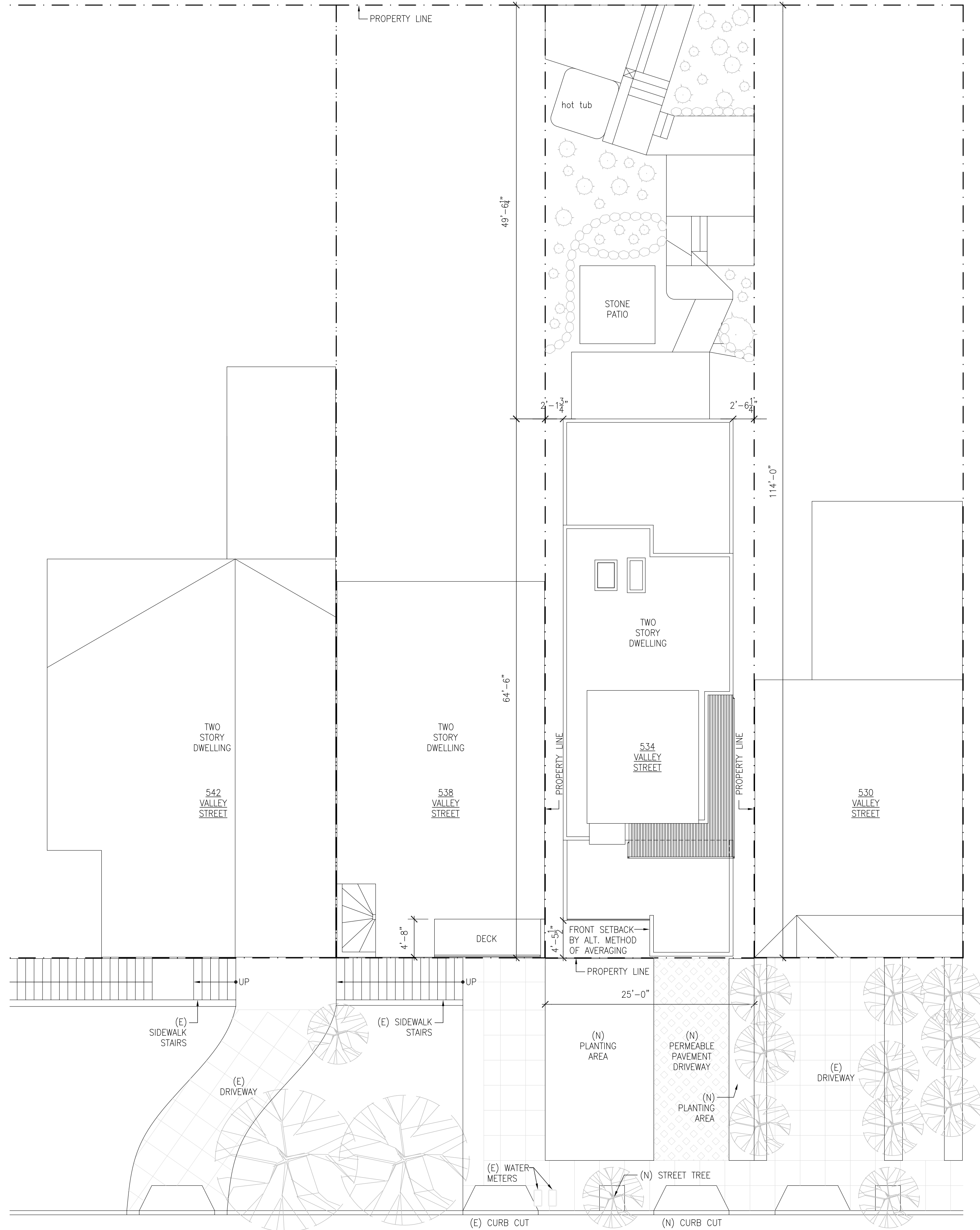
Planning
Information:
415.558.6377

RESIDENTIAL RENOVATION
534 VALLEY STREET, SAN FRANCISCO, CALIFORNIA 94131

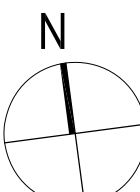
DRAWING LIST			SYMBOLS		GENERAL NOTES:		ABBREVIATIONS:	
A0.0 PROJECT INFORMATION			<div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><div><div><div><div></div><div></div></div><div></div></div><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1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869	
534 VALLEY STREET	
JAMES WALZ & CARRIE NG 534 VALLEY STREET SAN FRANCISCO, CA 94131 PHONE: 415.271.3061 CARRIENG23@YAHOO.COM JAMESWALZ@GMAIL.COM	
ISSUE:	DATE:
ISSUED FOR SITE PERMIT	10.16.13
CONSULTANT	
APPROVAL	
SITE PLAN	DRAWN:
	TK
	CHECKED:
	TK
	SCALE:
	1/4" = 1'-0"
A0.1	

NORTH SIDE OF VALLEY STREET



ADJACENT PROPERTY TO WEST: 538 VALLEY STREET



SUBJECT PROPERTY: 534 VALLEY STREET



ADJACENT PROPERTY TO EAST: 530 VALLEY STREET

SOUTH SIDE OF VALLEY STREET



PARALLEL PROPERTY: 527 VALLEY STREET



PARALLEL PROPERTY: 531 VALLEY STREET



PARALLEL PROPERTY: 535 VALLEY STREET

VIEW FROM REAR YARD



VIEW OF ADJACENT PROPERTY TO EAST FROM REAR YARD



VIEW OF SUBJECT PROPERTY FROM REAR YARD



VIEW OF ADJACENT PROPERTY TO WEST FROM REAR YARD

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869		534 VALLEY STREET	
JAMES WALZ & CARRIE NG 534 VALLEY STREET SAN FRANCISCO, CA 94131 PHONE: 415.271.3061 CARRIENG23@YAHOO.COM JAMESWALZ@GMAIL.COM			
ISSUE: ISSUED FOR SITE PERMIT		DATE: 10.16.13	
CONSULTANT -			
APPROVAL			
		DRAWN:	TK
		CHECKED:	TK
		SCALE:	NONE
SITE PHOTOS			
A0.2			



SUBJECT PROPERTY SOUTHEAST VIEW



SUBJECT PROPERTY SOUTHWEST VIEW



SUBJECT PROPERTY CLOSE-UP BIRD'S EYE VIEW



SUBJECT PROPERTY SOUTH VIEW FROM ACROSS THE STREET



SUBJECT PROPERTY ZOOMED OUT BIRD'S EYE VIEW



SUBJECT PROPERTY VIEW FROM SIDEWALK IN FRONT OF 530 VALLEY STREET

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869

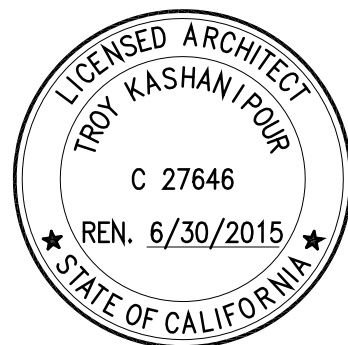
534 VALLEY STREET

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CONSULTANT
-

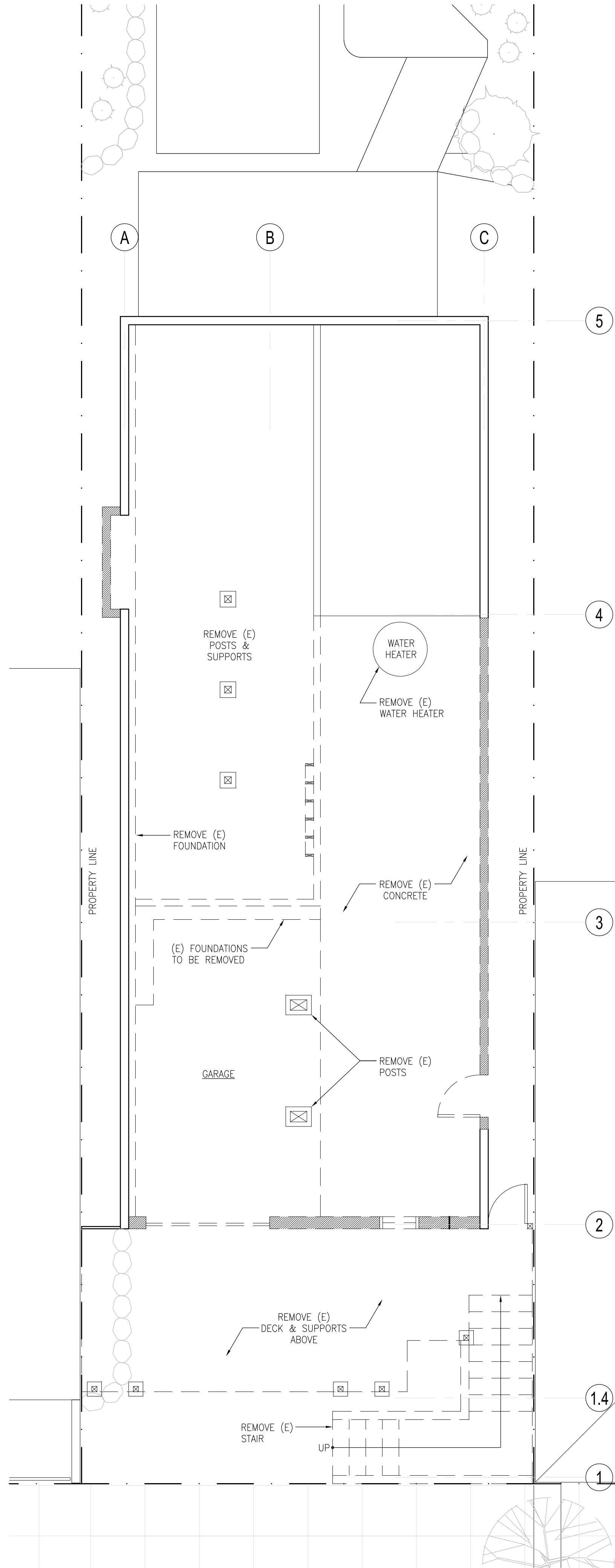
APPROVAL



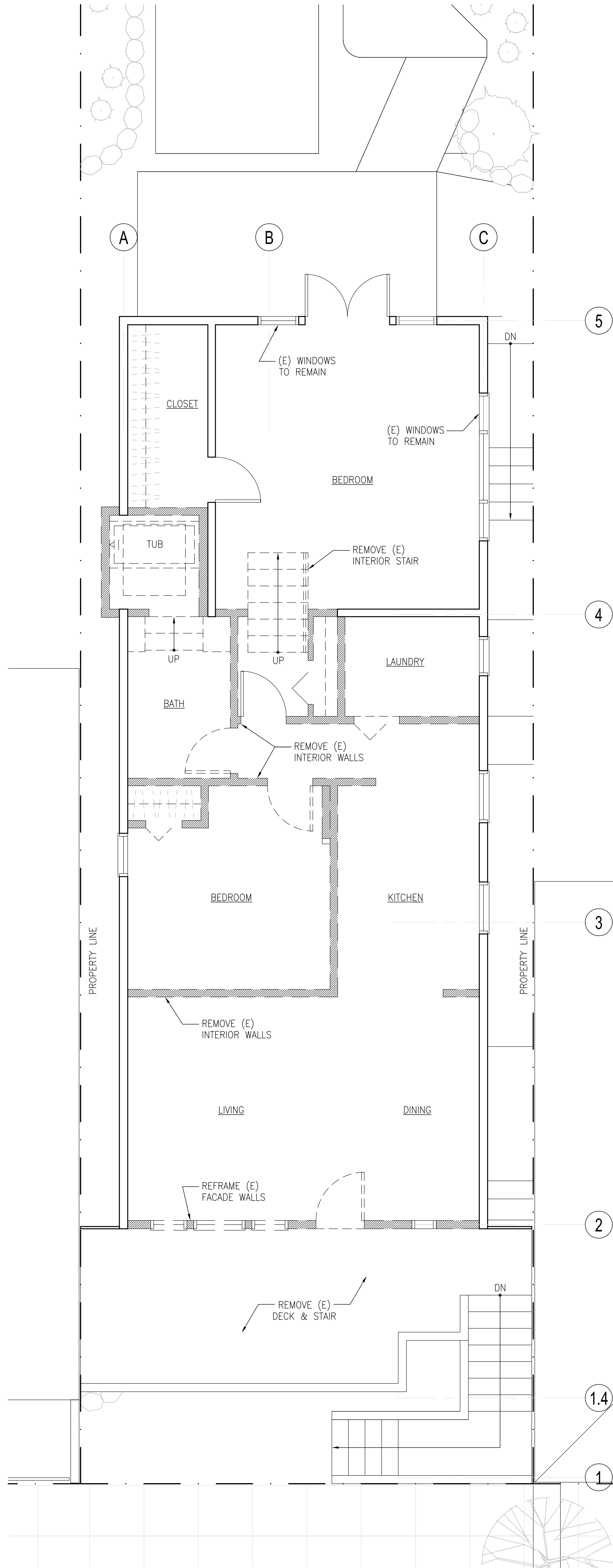
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SCALE: NONE

3D VIEWS

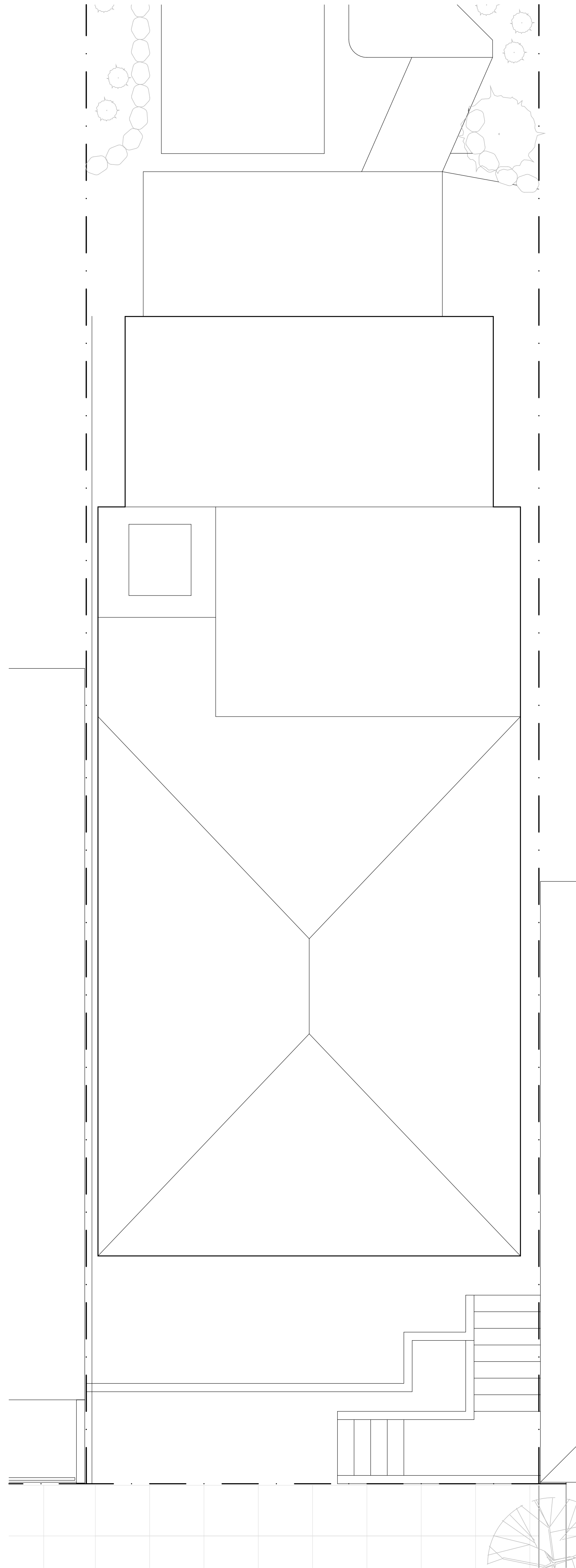
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1 EXISTING BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST STORY DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

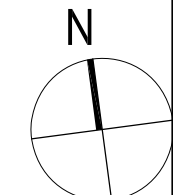
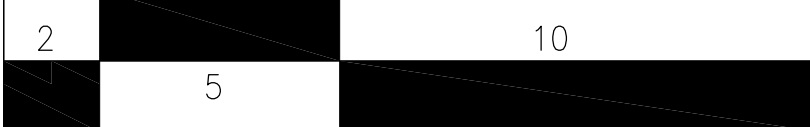
DEMOLITION GENERAL NOTES:

1. (N) DENOTES NEW ITEMS. (E) DENOTES EXISTING ITEMS. ITEMS WITHOUT SYMBOLS SHALL BE CONSIDERED TO BE EXISTING.
2. S.S.D. FOR EXTENT OF FOUNDATION & FLOOR SLABS TO REMAIN. REMOVE OTHER FOUNDATIONS & GROUND LEVEL CONCRETE SLAB IN PREPARATION FOR WORK AS NOTED.
3. PROVIDE TEMPORARY SHORING AS NECESSARY/REQD.
4. PROVIDE TEMPORARY UNDERPINNING OF STRUCTURES ON SUBJECT PROPERTY & ON ADJACENT PROPERTIES AS REQD.
5. COORDINATE ALL DEMOLITION W/ (N) CONSTRUCTION.
6. COMPLY WITH CONSTRUCTION WASTE RECYCLING PROGRAM AS REQUIRED BY CITY OF SAN FRANCISCO. MATERIAL NOT SPECIFIED TO BE SALVAGED OR REINSTALLED IN NEW WORK SHALL BE CONSIDERED AS SCRAP AND SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
7. ALL (E) ELECTRICAL, PLUMBING & MECHANICAL SYSTEMS SHALL BE TERMINATED PER CORRESPONDING 2010 CALIFORNIA CODE & ANY DESIGN-BUILD DRAWINGS.
8. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
9. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY STRUCTURAL CONFLICTS.
10. ALL ELECTRICAL, DATA, AND TELEPHONE OUTLETS LOCATED WITHIN (E) PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED U.O.N. TO BE SAVED. ALL ELECTRICAL, DATA, TELEPHONE WIRING AND CONDUITS FROM PARTITIONS AND CEILING ARE TO BE REMOVED BACK TO PANEL BOARD TERMINALS U.O.N.
11. REMOVE ALL NOTED INTERIOR PARTITIONS, EQUIPMENT, CEILINGS, FLOORING, FLOOR DECK, ROOFING, ROOF DECK, AND UTILITIES. ANY ADDITIONAL ITEMS ENCOUNTERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTIONS.
12. ALL ITEMS AND SYSTEMS TO BE ADDRESSED BY DESIGN / BUILD CONTRACTORS SHALL BE IDENTIFIED AND DIRECTIONS SPECIFIED IN THE REQUIRED CONTRACT DOCUMENTS OF THE APPROPRIATE DESIGN / BUILD CONTRACTOR.
13. WALL, FLOOR, AND CEILING FRAMING LUMBER IN GOOD REPAIR SHALL BE SALVAGED. G.C. TO COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER FOR REUSE.

DRAWING LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

GRAPHIC SCALE



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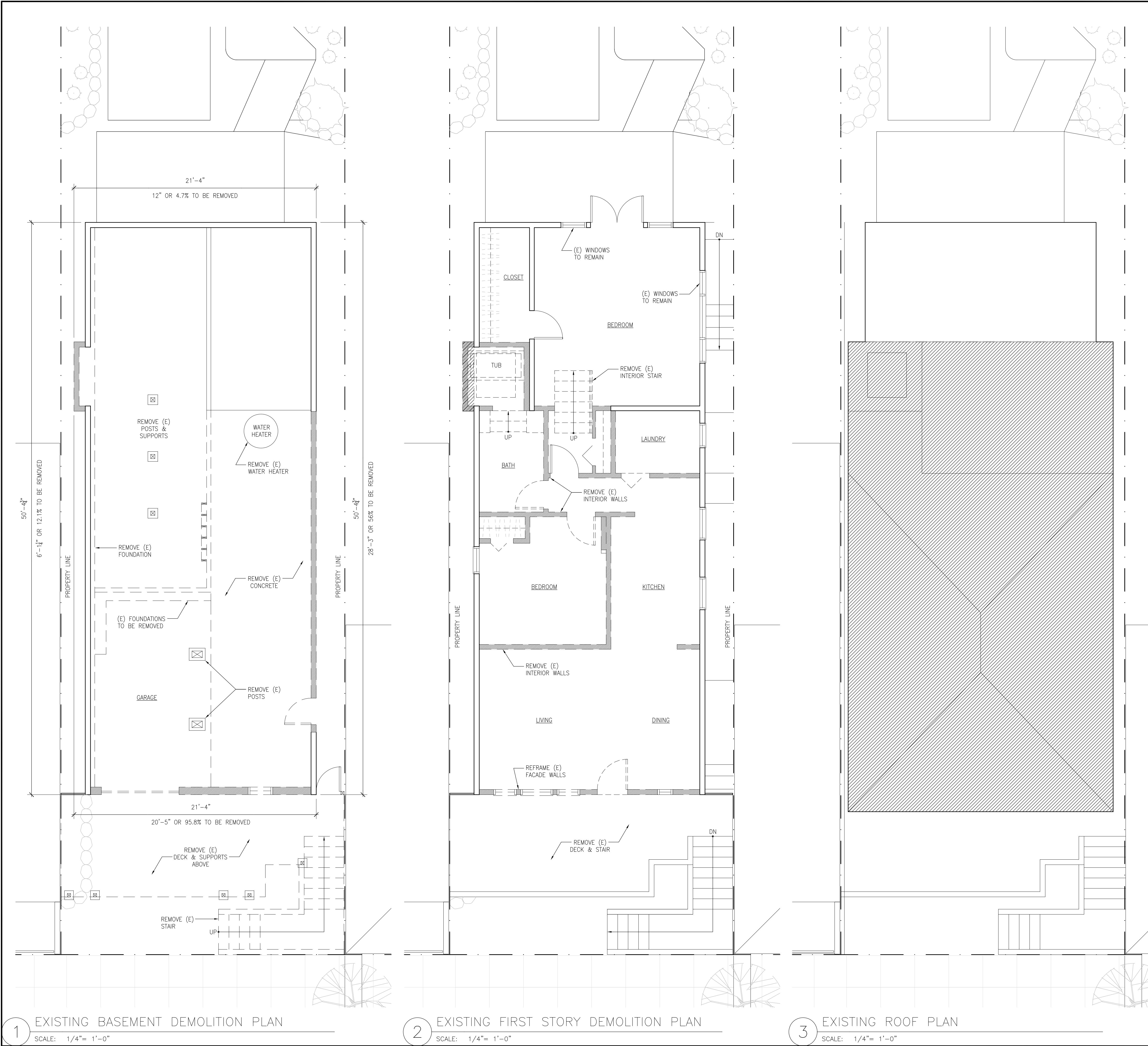
CONSULTANT
-

APPROVAL

DRAWN: TK
CHECKED: TK
SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLANS
DEMOLITION PLANS

A1.0



DEMOLITION GENERAL NOTES:

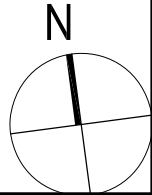
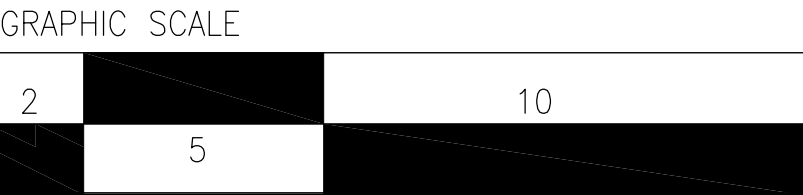
1. (N) DENOTES NEW ITEMS. (E) DENOTES EXISTING ITEMS. ITEMS WITHOUT SYMBOLS SHALL BE CONSIDERED TO BE EXISTING.
2. S.S.D. FOR EXTENT OF FOUNDATION & FLOOR SLABS TO REMAIN. REMOVE OTHER FOUNDATIONS & GROUND LEVEL CONCRETE SLAB IN PREPARATION FOR WORK AS NOTED.
3. PROVIDE TEMPORARY SHORING AS NECESSARY/REQD.
4. PROVIDE TEMPORARY UNDERPINNING OF STRUCTURES ON SUBJECT PROPERTY & ON ADJACENT PROPERTIES AS REQD.
5. COORDINATE ALL DEMOLITION W/ (N) CONSTRUCTION.
6. COMPLY WITH CONSTRUCTION WASTE RECYCLING PROGRAM AS REQUIRED BY CITY OF SAN FRANCISCO. MATERIAL NOT SPECIFIED TO BE SALVAGED OR REINSTALLED IN NEW WORK SHALL BE CONSIDERED AS SCRAP AND SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
7. ALL (E) ELECTRICAL, PLUMBING & MECHANICAL SYSTEMS SHALL BE TERMINATED PER CORRESPONDING 2010 CALIFORNIA CODE & ANY DESIGN-BUILD DRAWINGS.
8. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
9. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY STRUCTURAL CONFLICTS.
10. ALL ELECTRICAL, DATA, AND TELEPHONE OUTLETS LOCATED WITHIN (E) PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED U.O.N. TO BE SAVED. ALL ELECTRICAL, DATA, TELEPHONE WIRING AND CONDUITS FROM PARTITIONS AND CEILING ARE TO BE REMOVED BACK TO PANEL BOARD TERMINALS U.O.N.
11. REMOVE ALL NOTED INTERIOR PARTITIONS, EQUIPMENT, CEILINGS, FLOORING, FLOOR DECK, ROOFING, ROOF DECK, AND UTILITIES. ANY ADDITIONAL ITEMS ENCOUNTERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTIONS.
12. ALL ITEMS AND SYSTEMS TO BE ADDRESSED BY DESIGN / BUILD CONTRACTORS SHALL BE IDENTIFIED AND DIRECTIONS SPECIFIED IN THE REQUIRED CONTRACT DOCUMENTS OF THE APPROPRIATE DESIGN / BUILD CONTRACTOR.
13. WALL, FLOOR, AND CEILING FRAMING LUMBER IN GOOD REPAIR SHALL BE SALVAGED. G.C. TO COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER FOR REUSE.

LINEAL FEET DEMOLITION AT FOUNDATION LEVEL:			
	TOTAL LINEAL FEET	LINEAL FEET TO BE REMOVED	% REMOVED
(E) NORTH ELEVATION	21'-4"	12"	4.7 %
(E) SOUTH ELEVATION	21'-4"	20'-5"	95.8 %
(E) EAST ELEVATION	50'-4 3/4"	28'-3"	56 %
(E) WEST ELEVATION	50'-4 3/4"	6'-1 1/4"	12.1 %
OVERALL TOTAL	143'-5 1/2"	61'-9 1/4"	43 %
DEMOLITION CALCULATIONS: 61'-9 1/4" / 143'-5 1/2" = 43% 43% < 50%			

HORIZONTAL ENVELOPE ELEMENTS:			
	TOTAL AREA	AREA TO BE REMOVED	% REMOVED
(E) FIRST STORY PLAN	1031 SF	6 SF	.6 %
(E) ROOF PLAN	1180 SF	967 SF	82 %
OVERALL HORIZONTAL DEMOLITION AREA	2211 SF	973 SF	44 %
DEMOLITION CALCULATIONS: 973 / 2211 = .44 44% < 50 %			

DRAWING LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



GRADE PLANE CALCULATIONS: SEE 1/A3.1 FOR GRADE PLANE

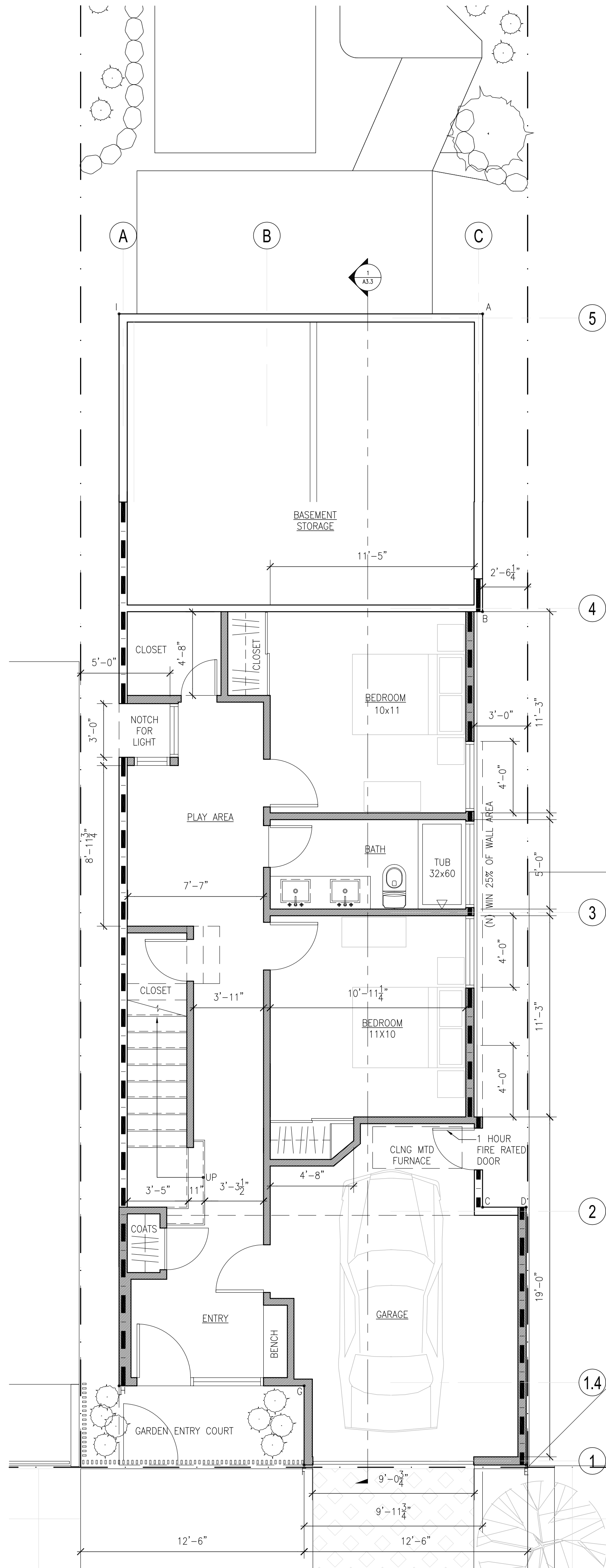
- $\frac{I}{A} (-7 + -5) / 2 \times 20.3 = -121.8$
- $\frac{A}{B} (-5 + 61) / 2 \times 16.6 = 464.8$
- $\frac{B}{C} (61 + 103) / 2 \times 33.3 = 2730.6$
- $\frac{C}{D} (103 + 103) / 2 \times 2.4 = 247.2$
- $\frac{D}{E} (103 + 115) / 2 \times 14.4 = 1569.6$
- $\frac{E}{F} (115 + 116) / 2 \times 12.4 = 1432.2$
- $\frac{F}{G} (116 + 114) / 2 \times 4.4 = 506$
- $\frac{G}{H} (114 + 114) / 2 \times 4.3 = 490.2$
- $\frac{H}{I} (114 + -7) / 2 \times 60 = 3210$

TOTAL = 10,528.8

10,528.8 / TOTAL LINEAR SQ. FT.

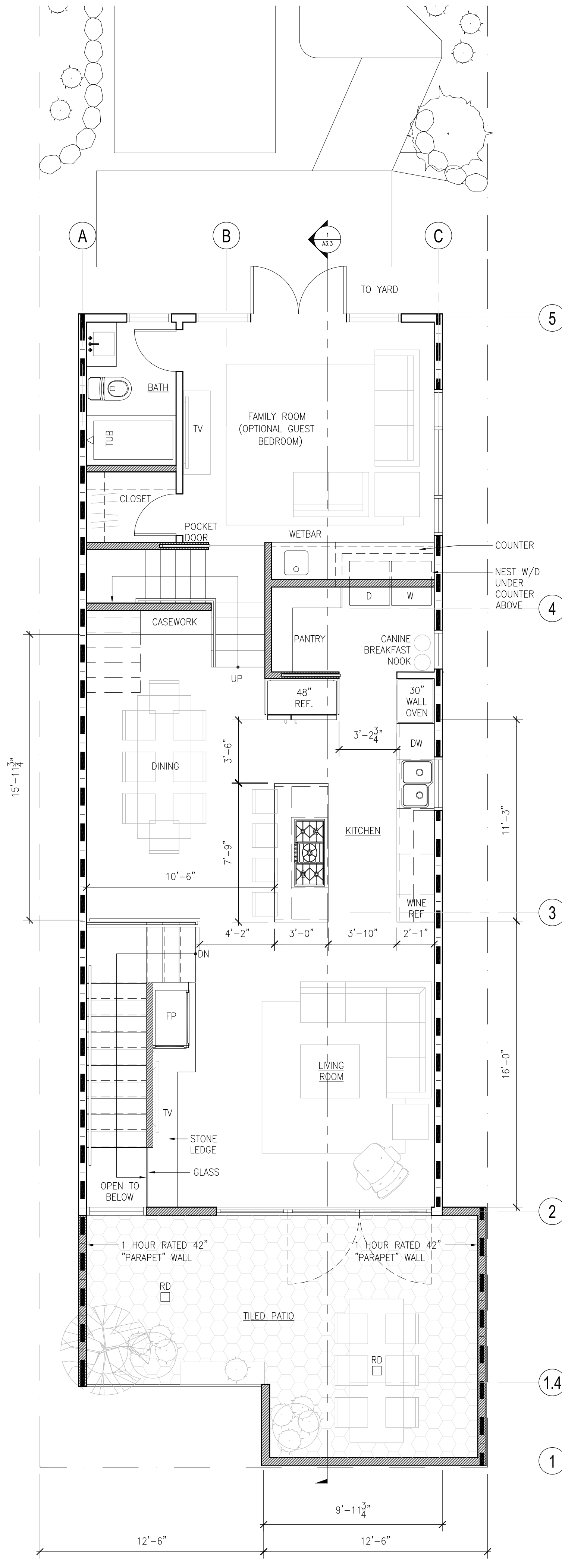
10,528.8 / 168.1 = 62.6

62.6" < 72" = BASEMENT



1 PROPOSED BASEMENT PLAN

SCALE: 1/4"= 1'-0"



2 PROPOSED FIRST STORY PLAN

SCALE: 1/4"= 1'-0"

KEYNOTES:

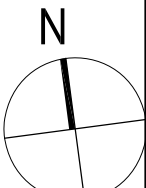
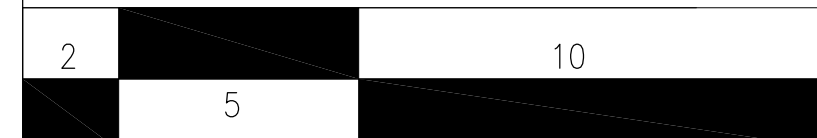
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DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



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JAMESWALZ@GMAIL.COM

ISSUE:

DATE:

ISSUED FOR SITE PERMIT

10.16.13

CONSULTANT

APPROVAL

DRAWN:

TK

CHECKED:

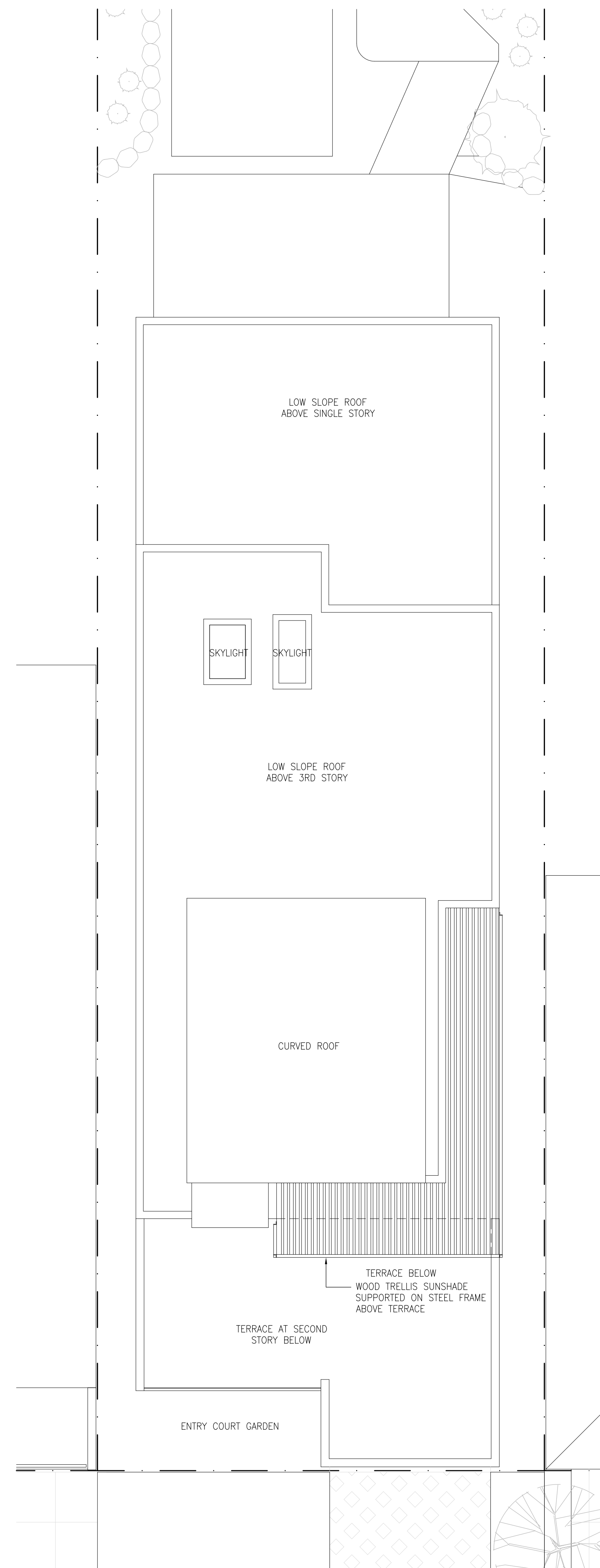
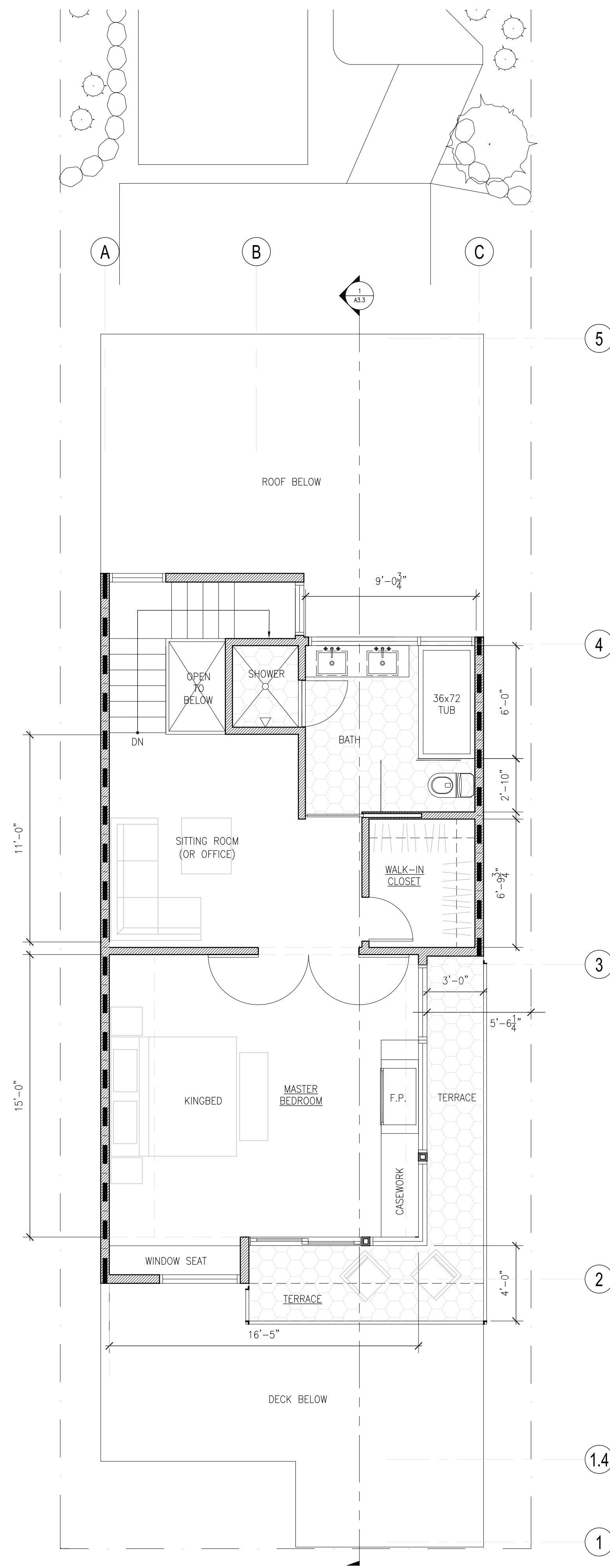
TK

SCALE:

1/4"=1'-0"

PROPOSED FLOOR PLANS

A2.0



- | |
|-----------|
| KEYNOTES: |
|-----------|

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CONSULTANT

1

APPROVAL

PROPOSED FLOOR PLANS

A2.1

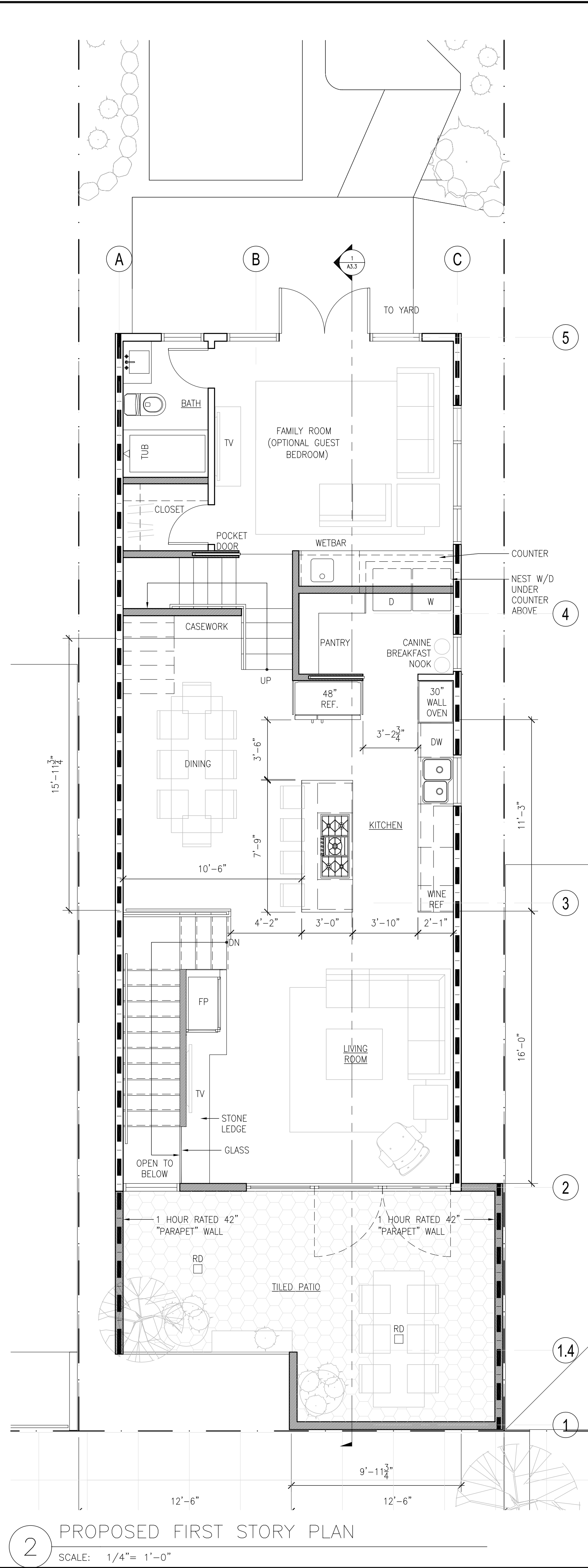
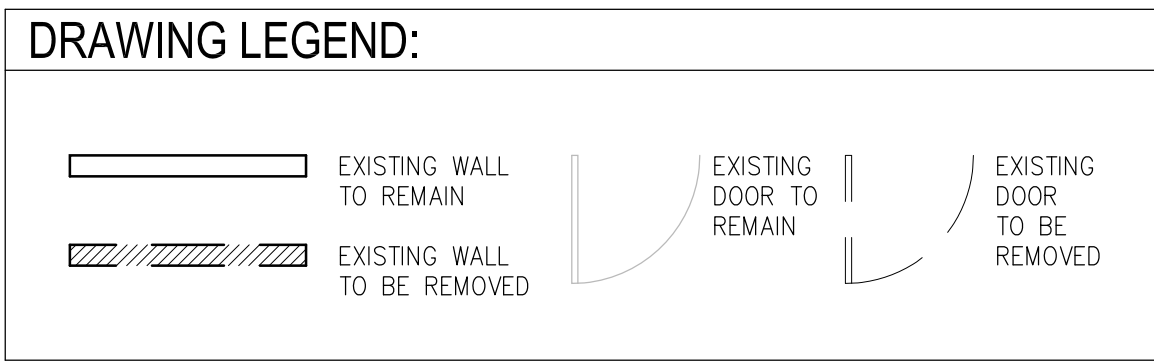
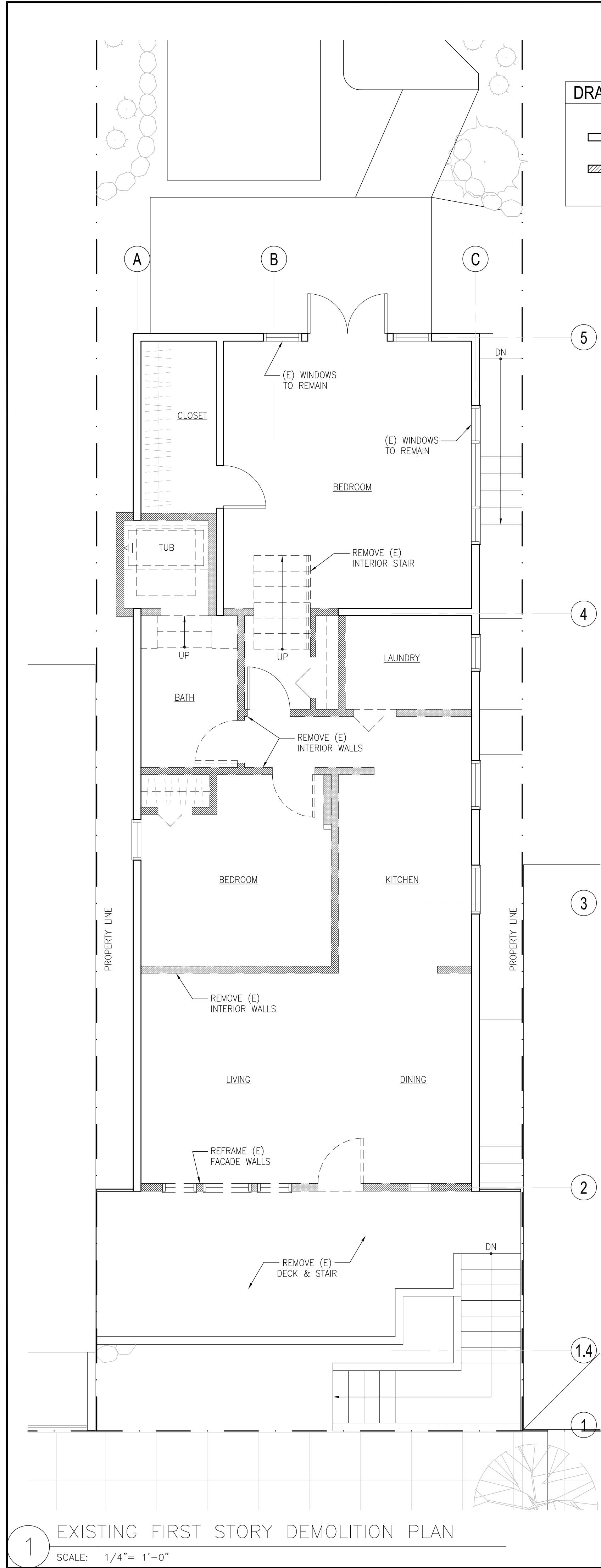
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KEYNOTES:

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 - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
 - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
 - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2 5 10

N

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DATE: 10.16.13

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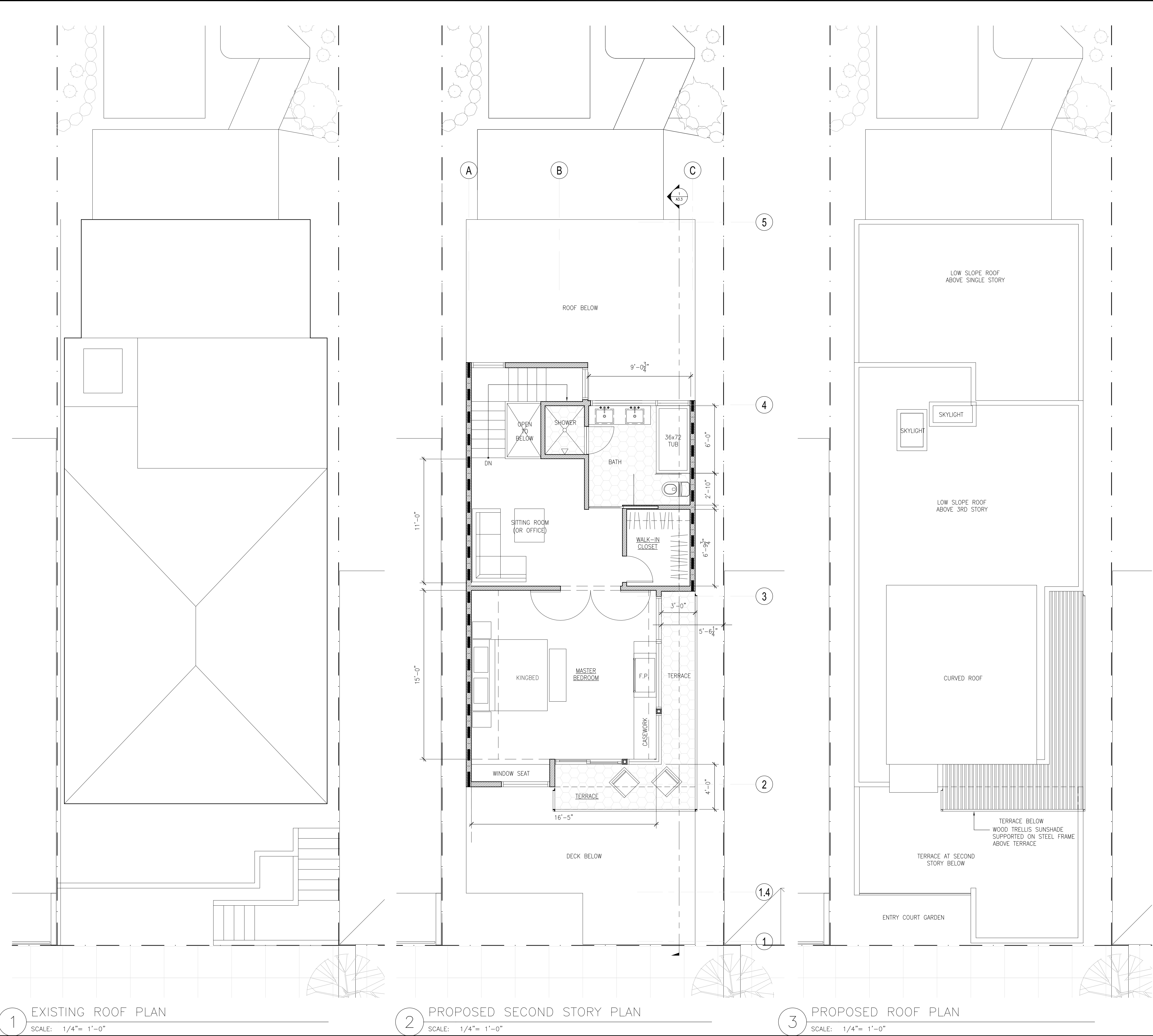
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CHECKED: TK

SCALE: 1/4"=1'-0"

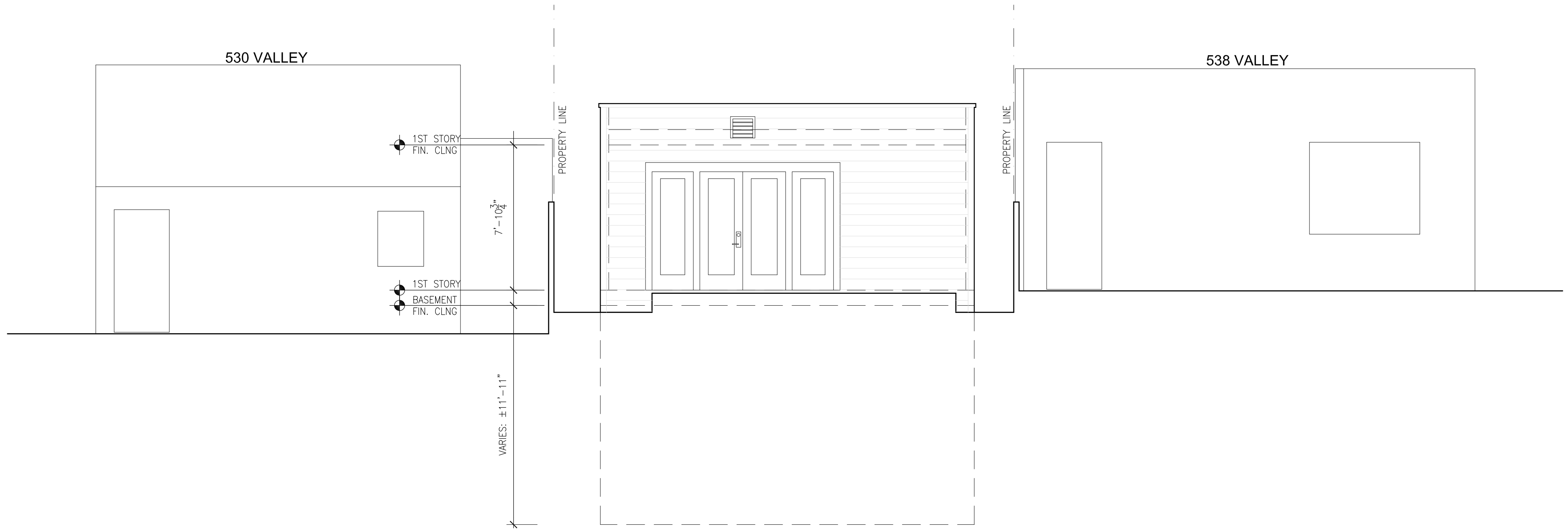
EXISTING DEMOLITION FLOOR PLAN & PROPOSED FLOOR PLAN

A2.1b





14 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



13 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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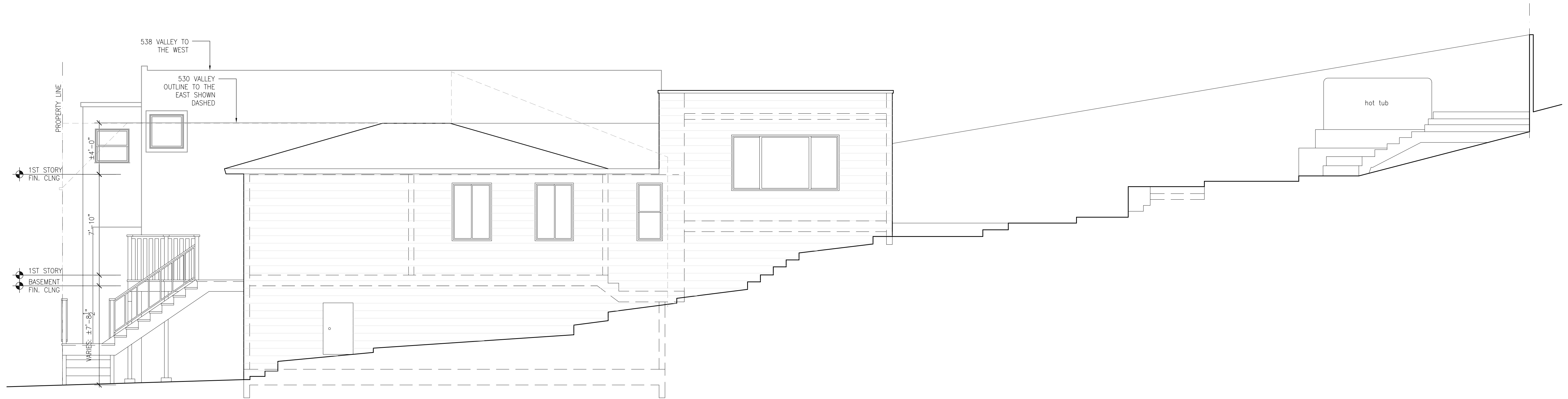
CONSULTANT
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APPROVAL

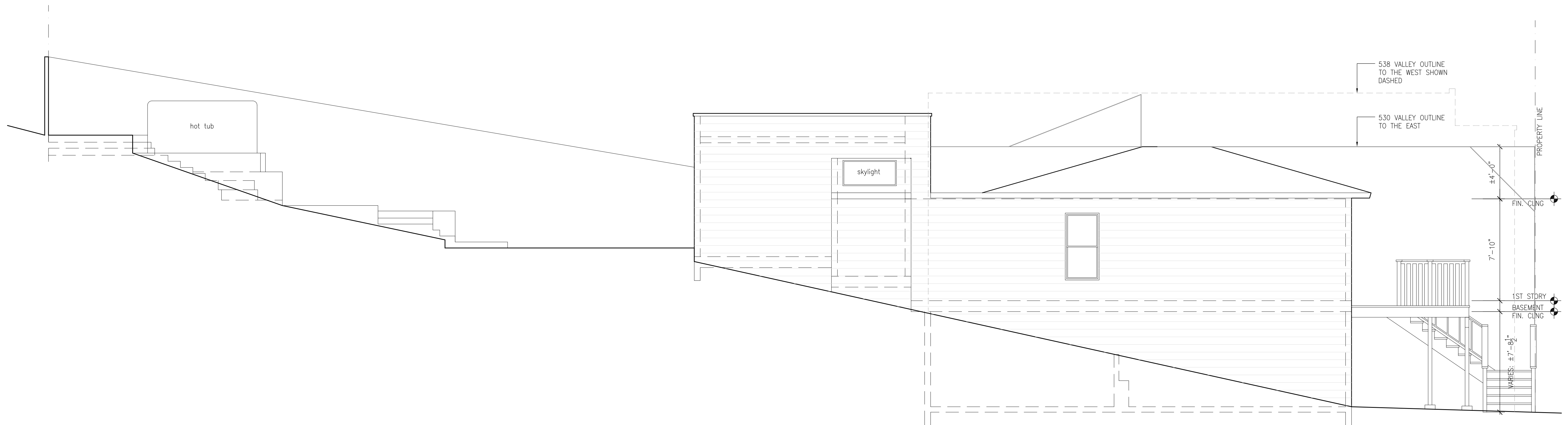
DRAWN:
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CHECKED:
TK
SCALE:
1/4" = 1'-0"

EXISTING ELEVATIONS

A3.0



14 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



13 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

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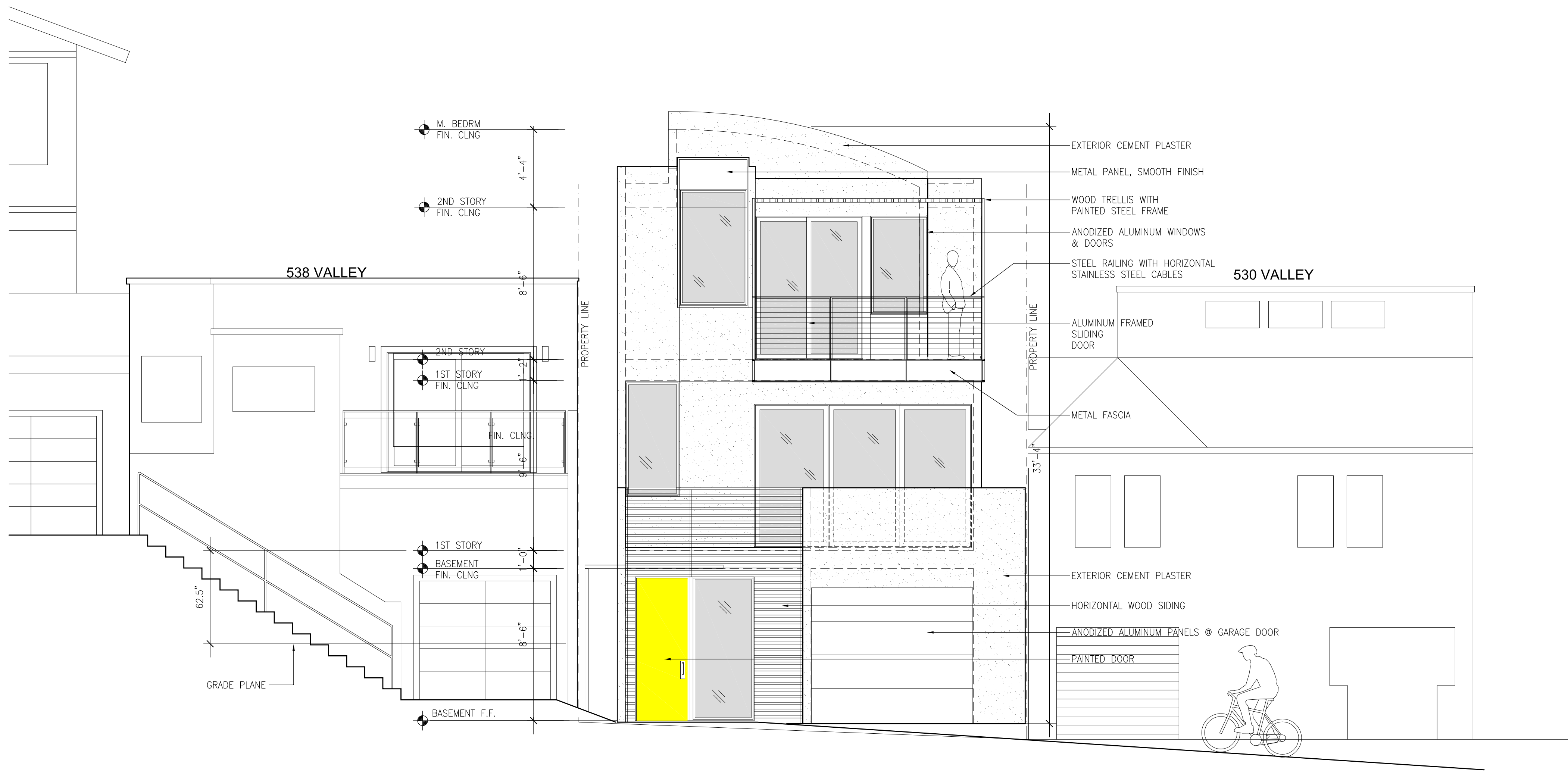
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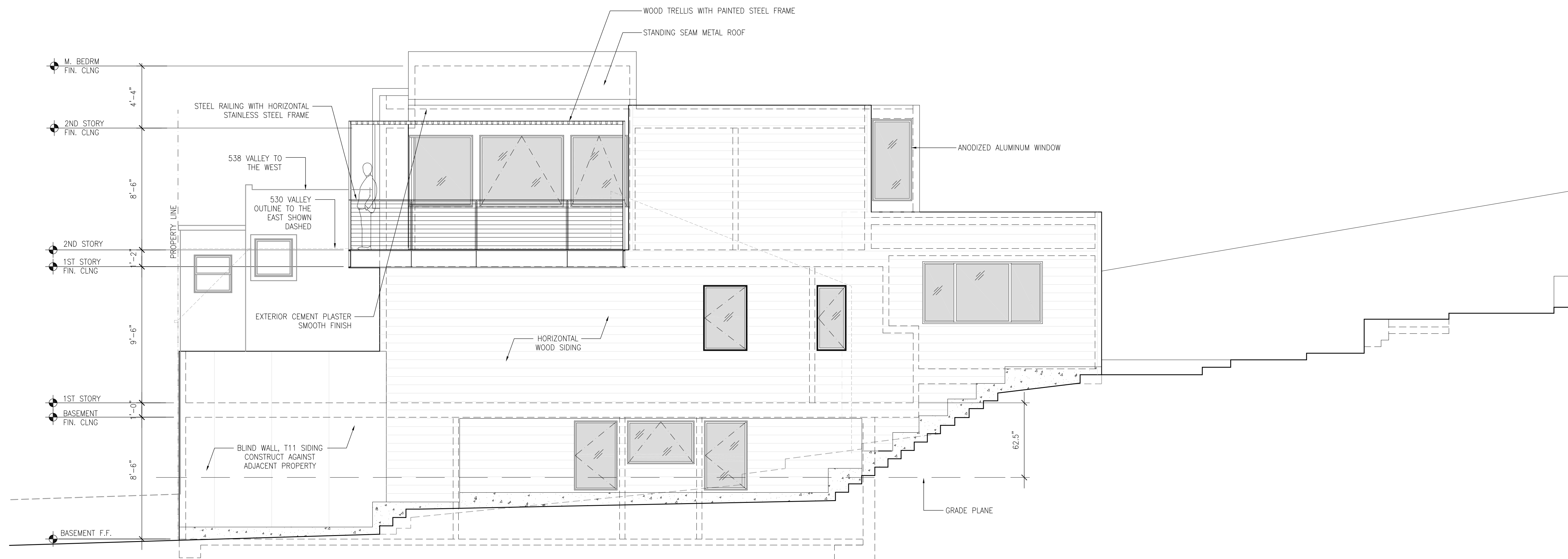
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CHECKED:
TK
SCALE:
1/4"=1'-0"

EXISTING ELEVATIONS

A3.0a



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

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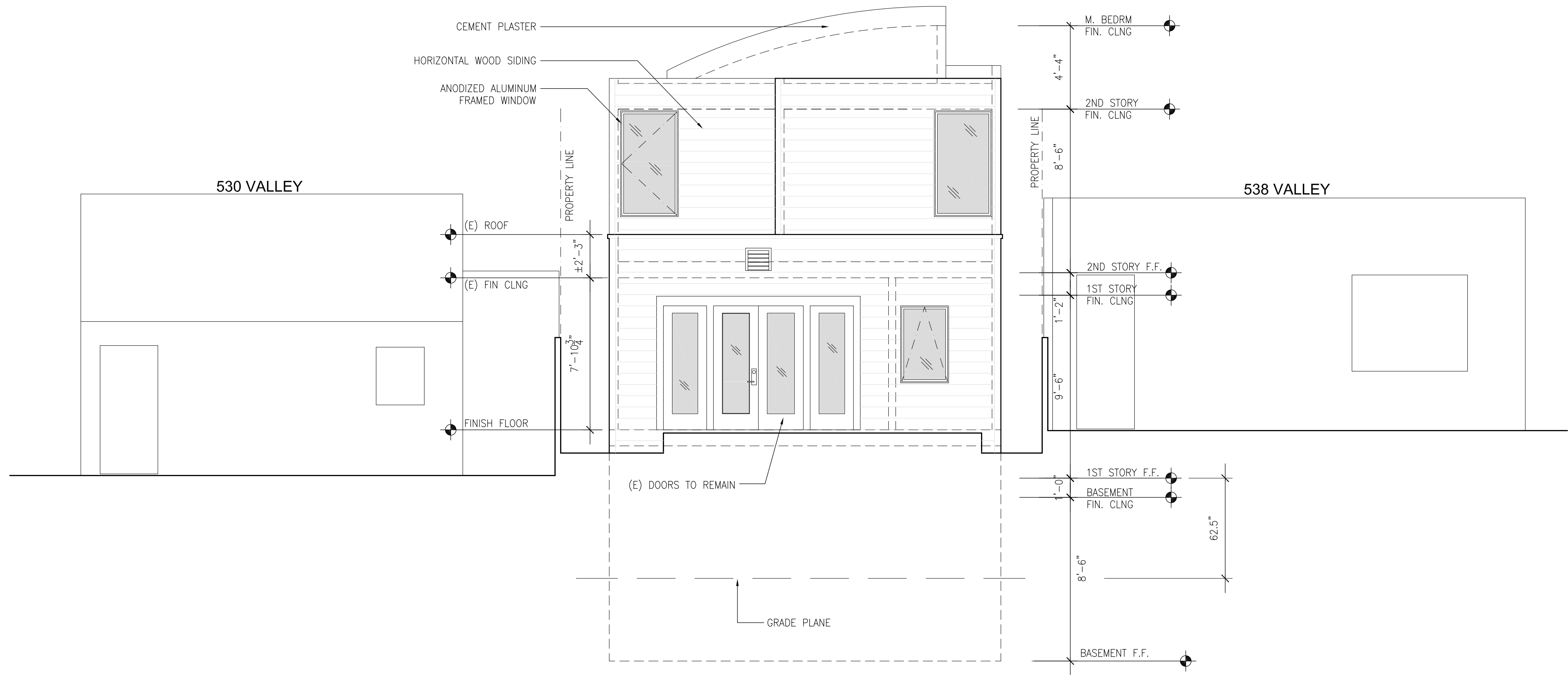
CONSULTANT
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APPROVAL

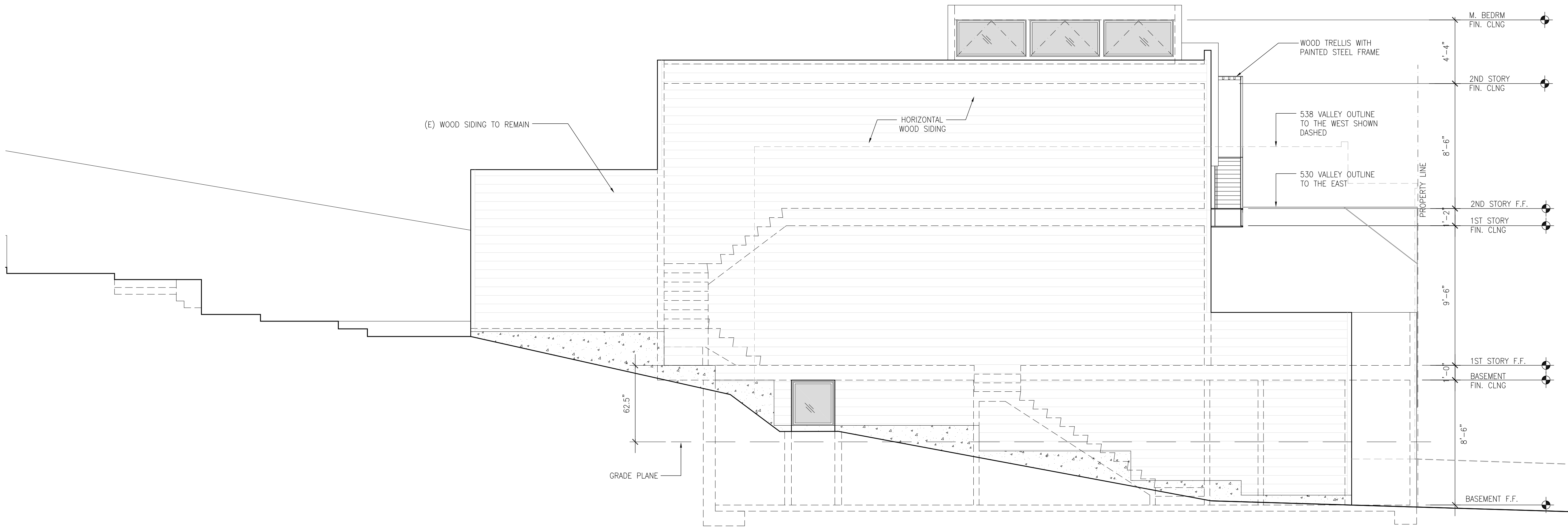
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TK
CHECKED:
TK
SCALE:
1/4" = 1'-0"

PROPOSED ELEVATIONS

A3.1



14 PROPOSED NORTH ELEVATION
SCALE: 1/4"= 1'-0"



13 PROPOSED WEST ELEVATION
SCALE: 1/4"= 1'-0"

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APPROVAL

DRAWN:
TK
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED ELEVATIONS

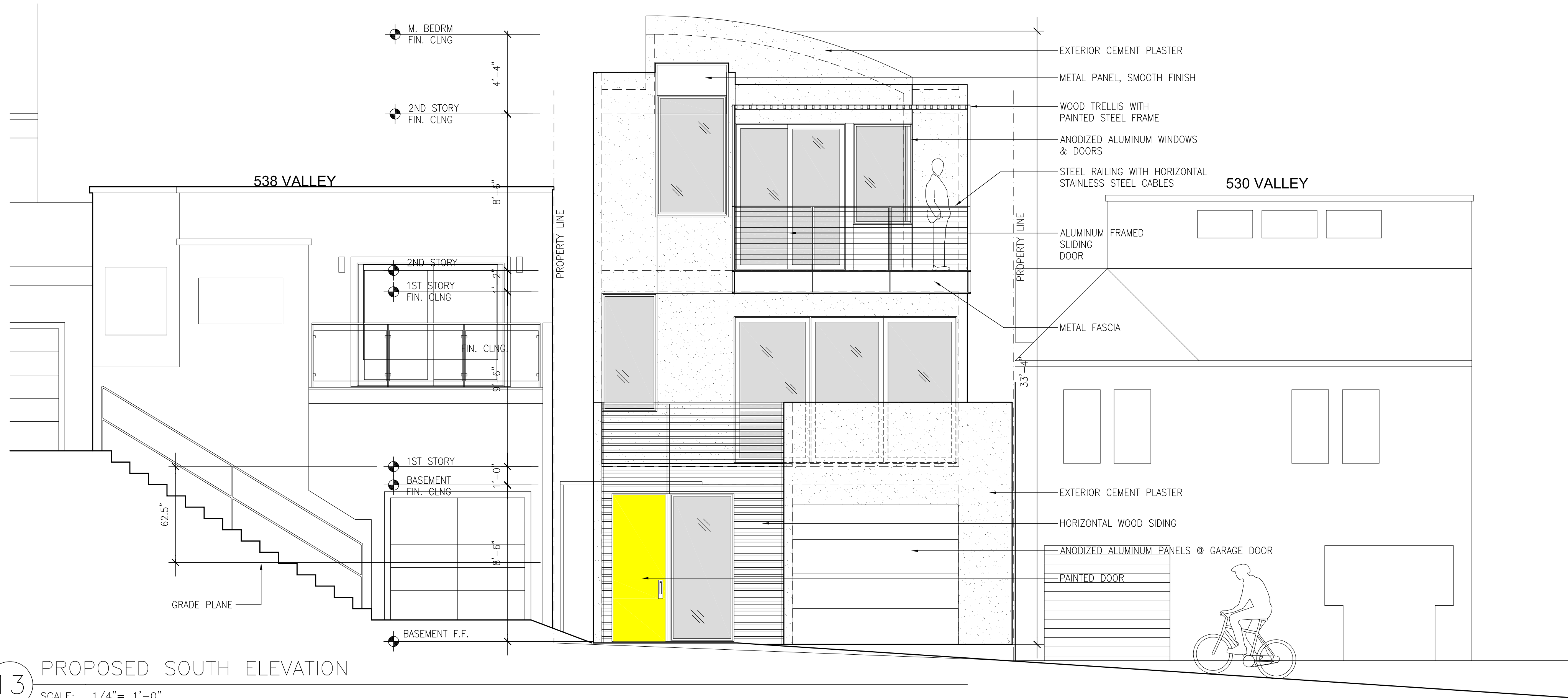
A3.2

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14 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



13 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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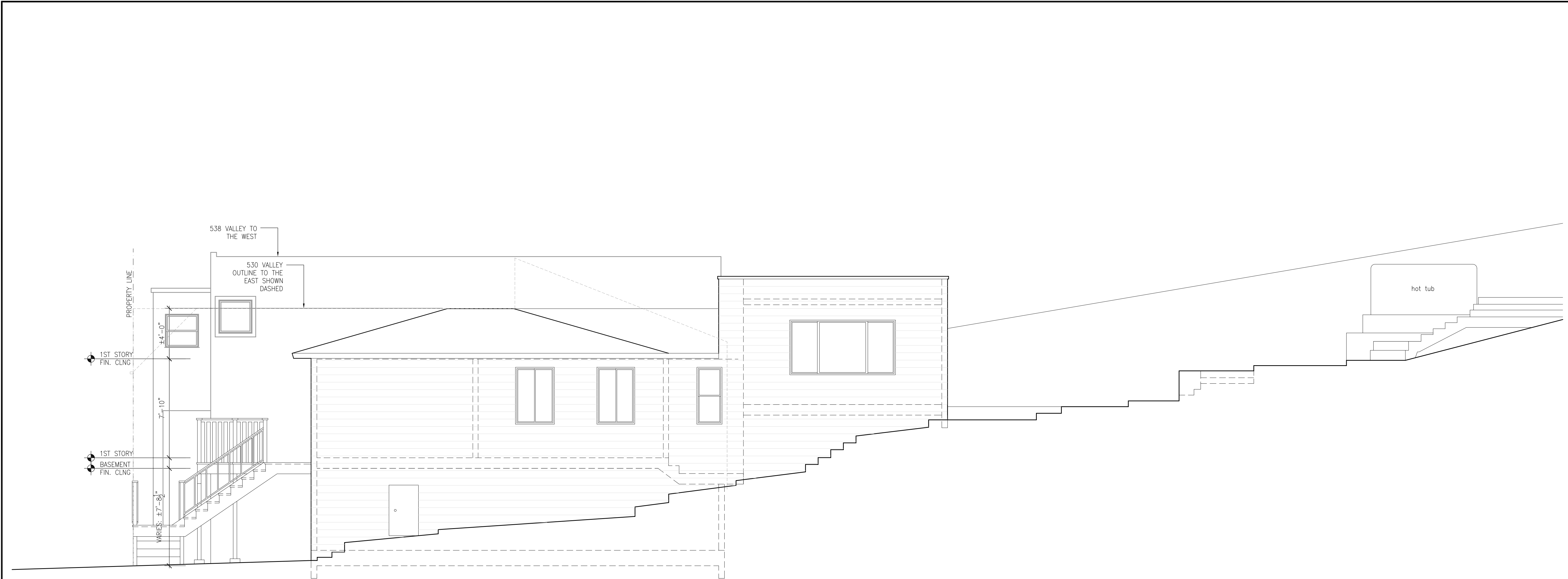
CONSULTANT
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APPROVAL

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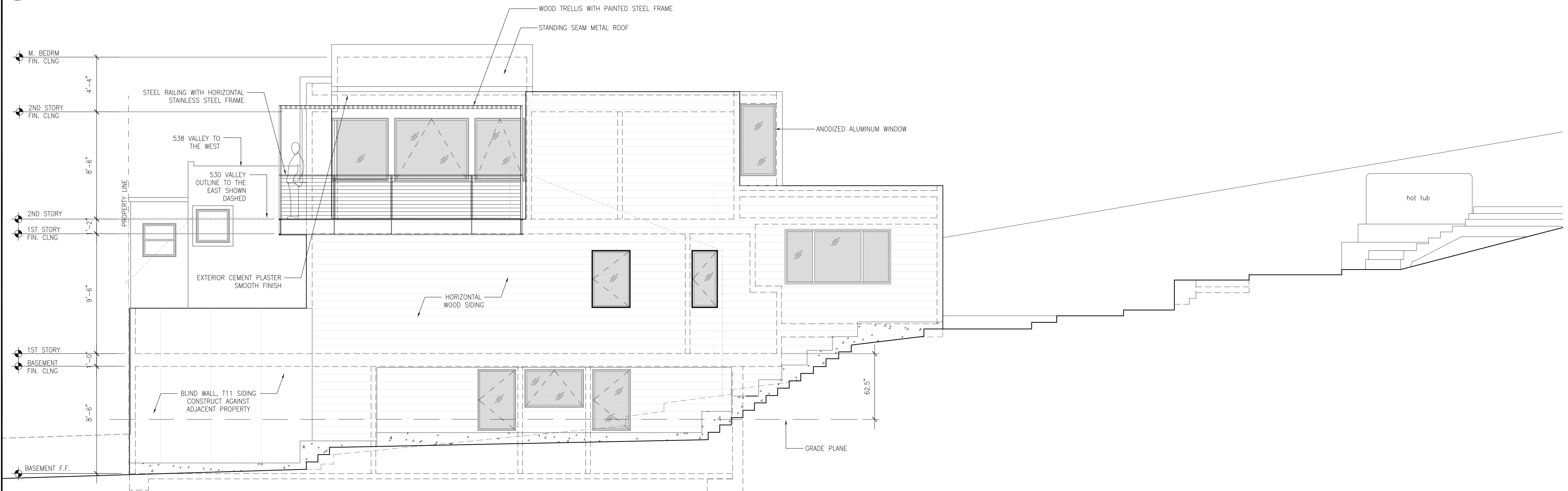
EXISTING &
PROPOSED ELEVATIONS

A3.0b



14 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



13 PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

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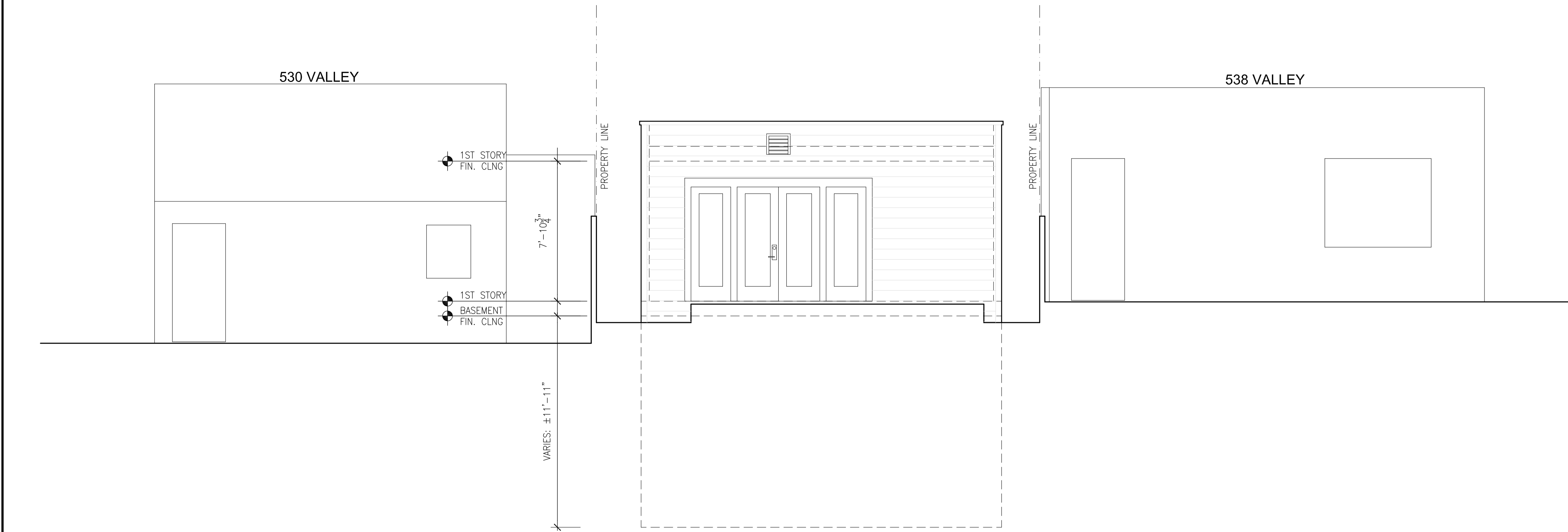
CONSULTANT
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APPROVAL

DRAWN:
TK
CHECKED:
TK
SCALE:
1/4" = 1'-0"

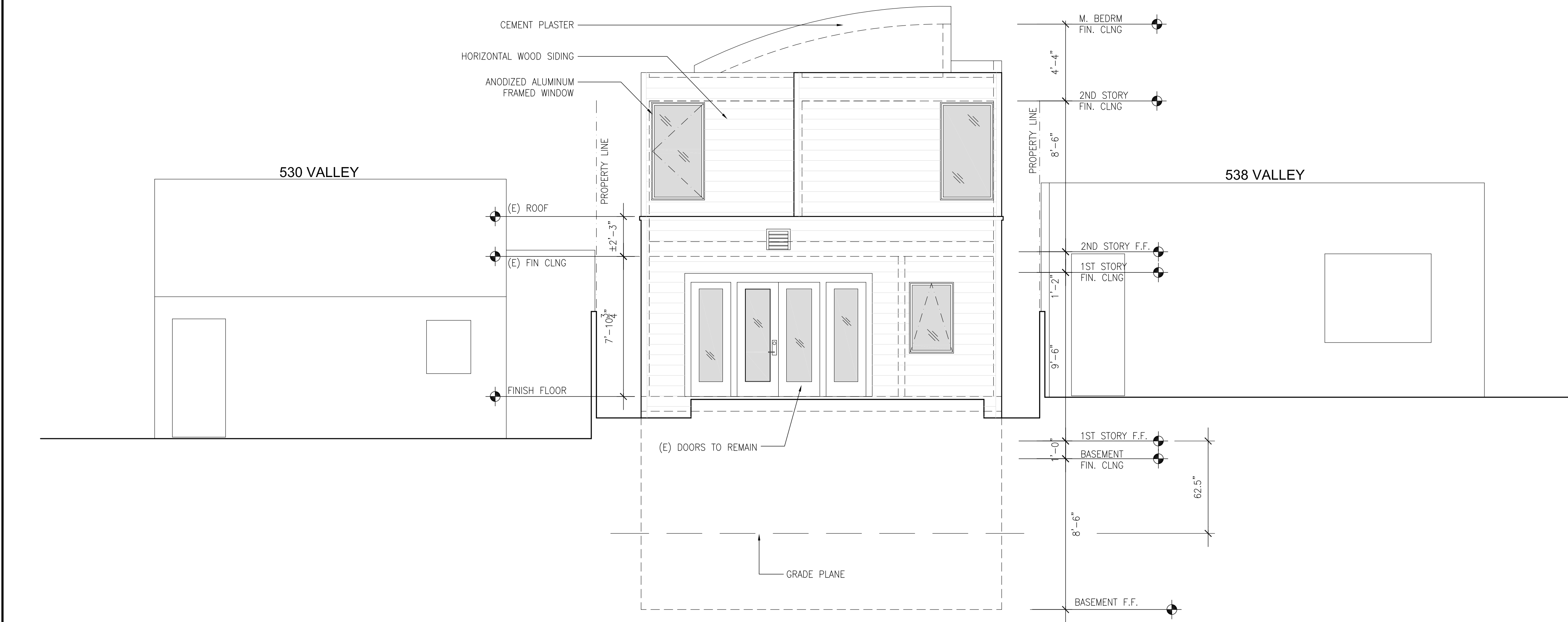
EXISTING &
PROPOSED ELEVATIONS

A3.1b



14 EXISTING NORTH ELEVATION

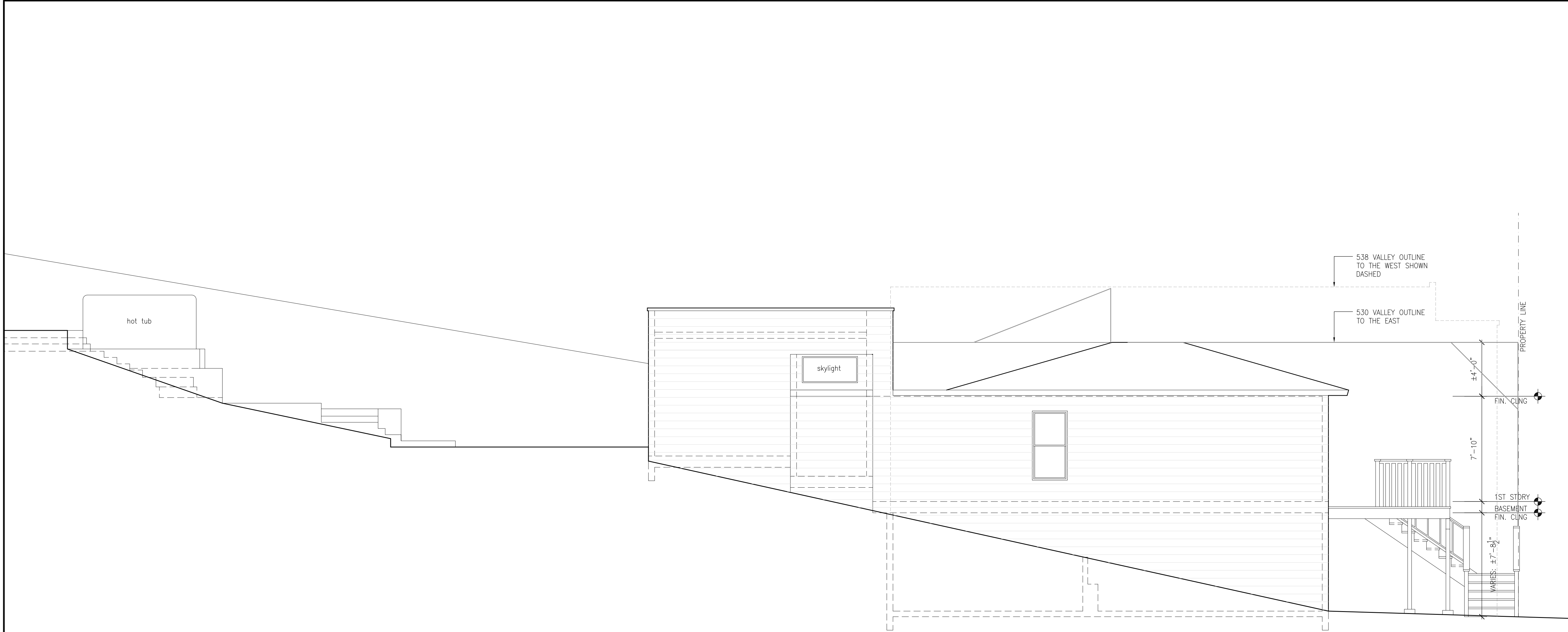
SCALE: 1/4"= 1'-0"



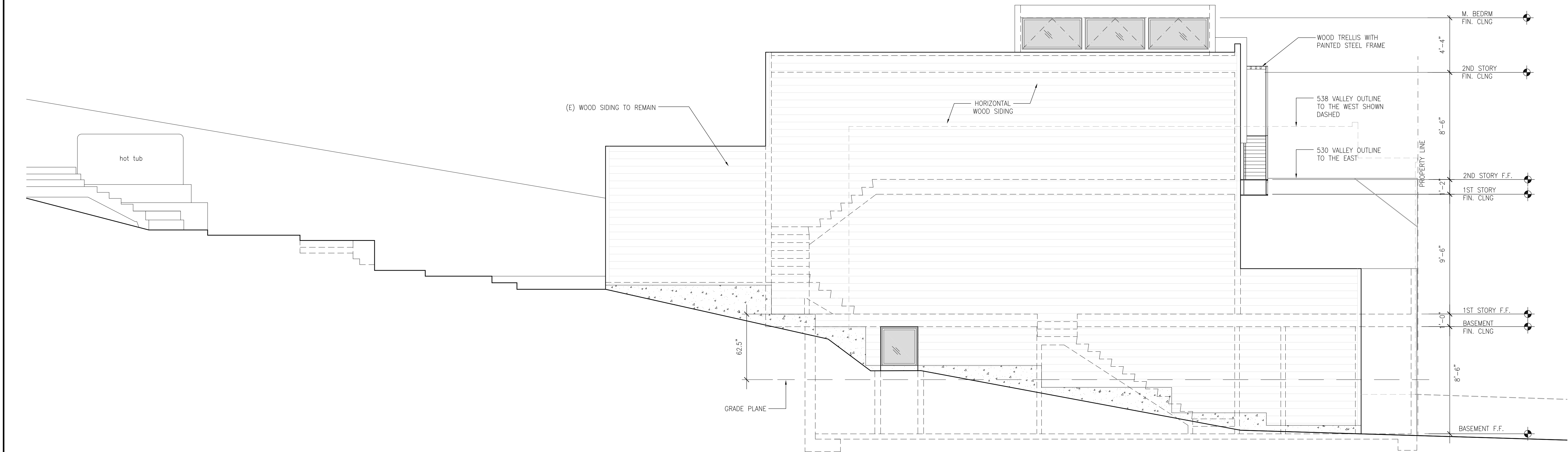
13 PROPOSED NORTH ELEVATION

SCALE: 1/4"= 1'-0"

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ISSUE:		DATE:	
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CONSULTANT			
-			
APPROVAL			
		DRAWN:	TK
		CHECKED:	TK
		SCALE:	1/4"=1'-0"
EXISTING & PROPOSED ELEVATIONS			
A3.2b			

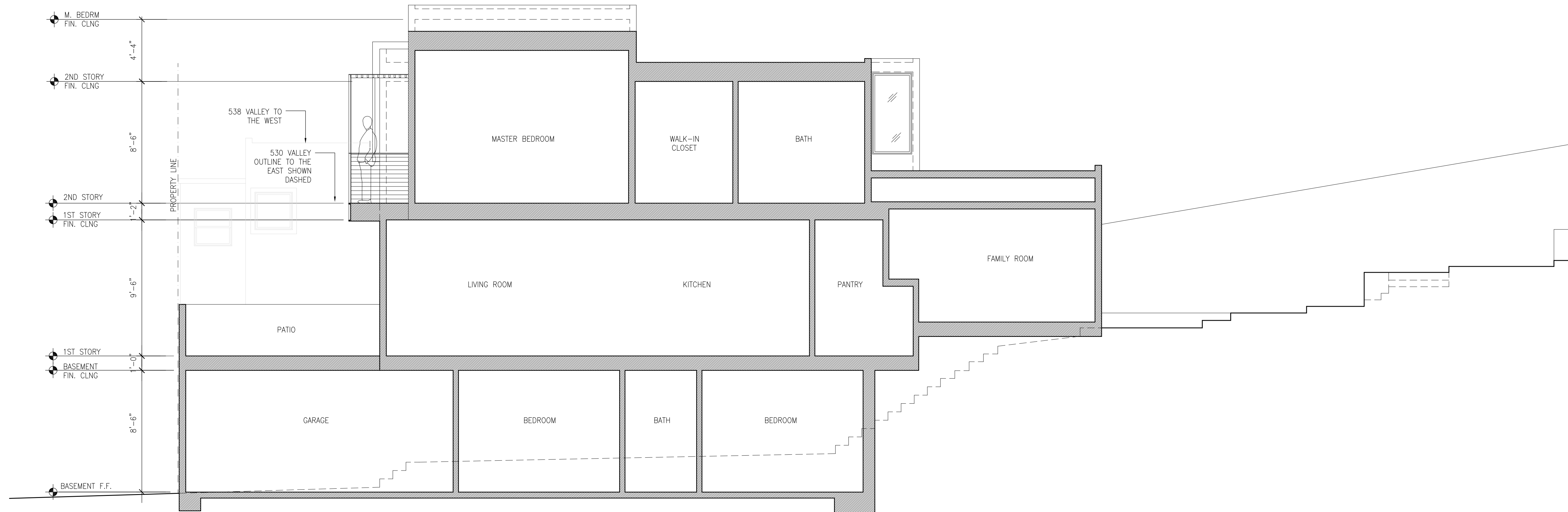


14 EXISTING WEST ELEVATION
SCALE: 1/4"= 1'-0"



13 PROPOSED WEST ELEVATION
SCALE: 1/4"= 1'-0"

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CONSULTANT -	
APPROVAL	
	DRAWN: TK CHECKED: TK SCALE: 1/4"=1'-0"
EXISTING & PROPOSED ELEVATIONS	
A3.3b	



1 PROPOSED SOUTH NORTH SECTION LOOKING WEST

SCALE: 1/4"= 1'-0"

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DRAWN:
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CHECKED:
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SCALE:
1/4"=1'-0"

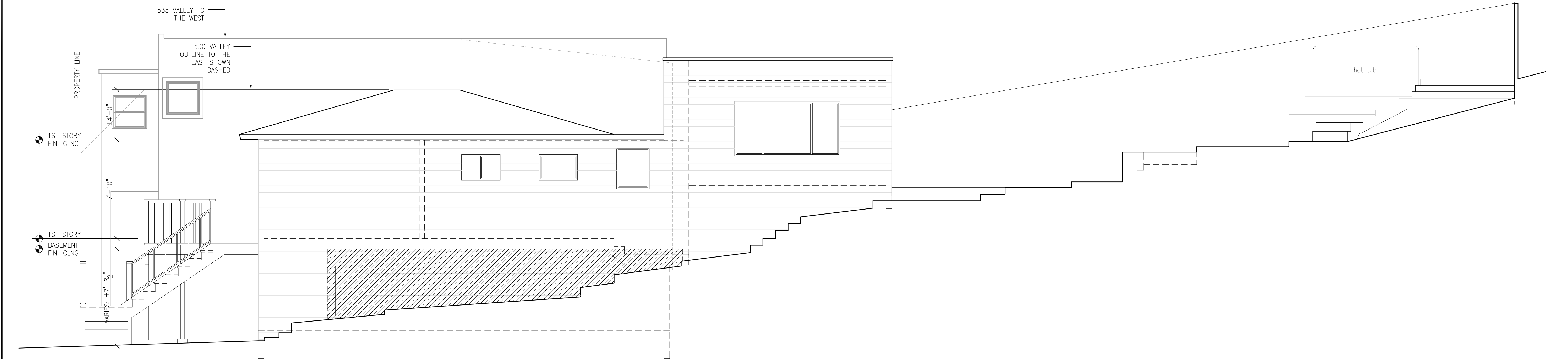
PROPOSED SECTION

A3.3

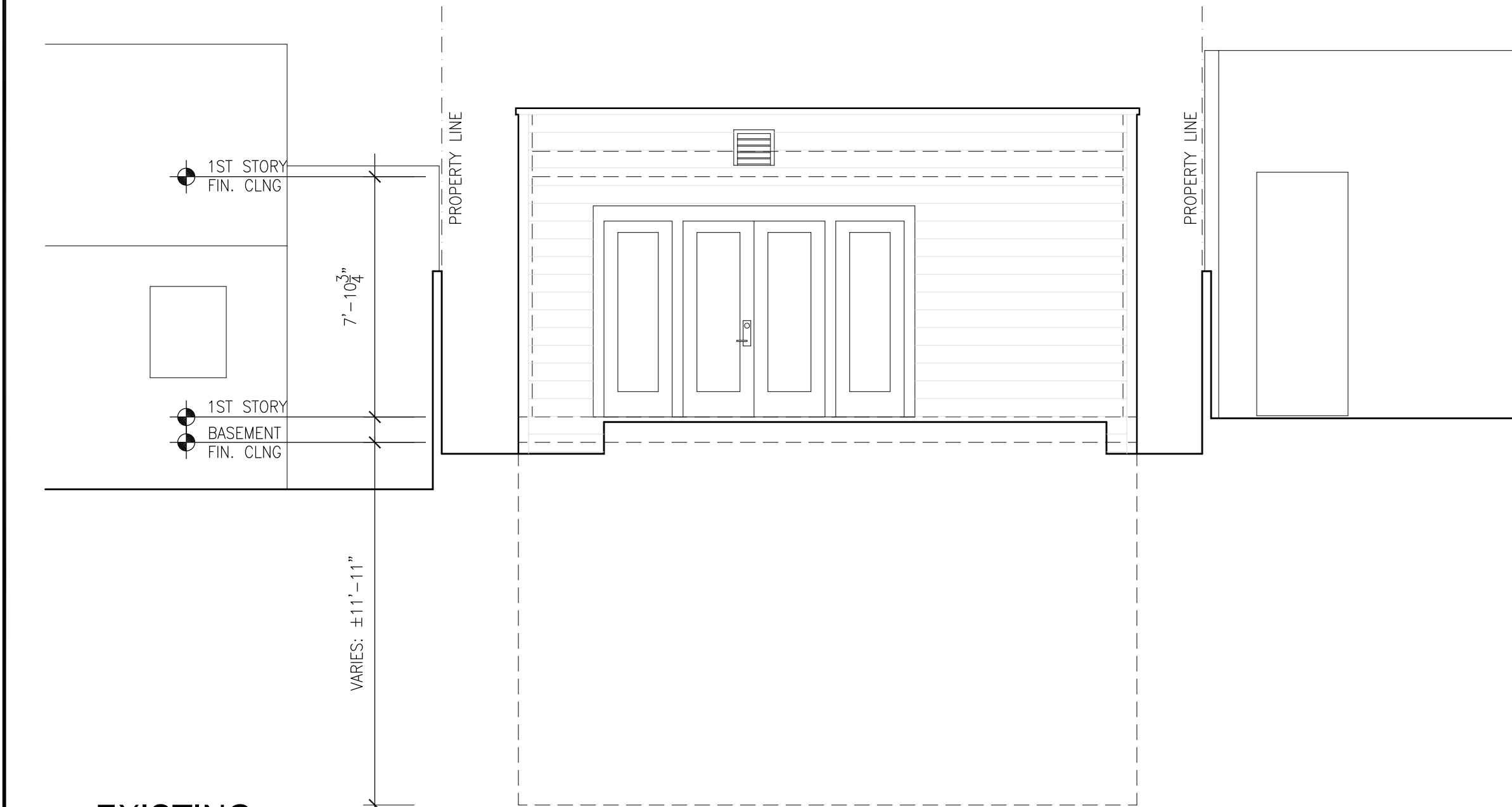


VERTICAL ENVELOPE ELEMENTS:			
	TOTAL AREA	AREA TO BE REMOVED	% REMOVED
(E) NORTH ELEVATION	230.9 SF	0 SF	0 %
(E) SOUTH ELEVATIONS	465.5 SF	465.5 SF	100 %
(E) EAST ELEVATIONS	676 SF	108.9 SF	16 %
(E) WEST ELEVATIONS	643.2 SF	66.6 SF	10 %
OVERALL VERTICAL DEMOLITION AREA	2015.6 SF	641 SF	32%
DEMOLITION CALCULATIONS: 641 / 2015.6 = .32 32% < 50 %			

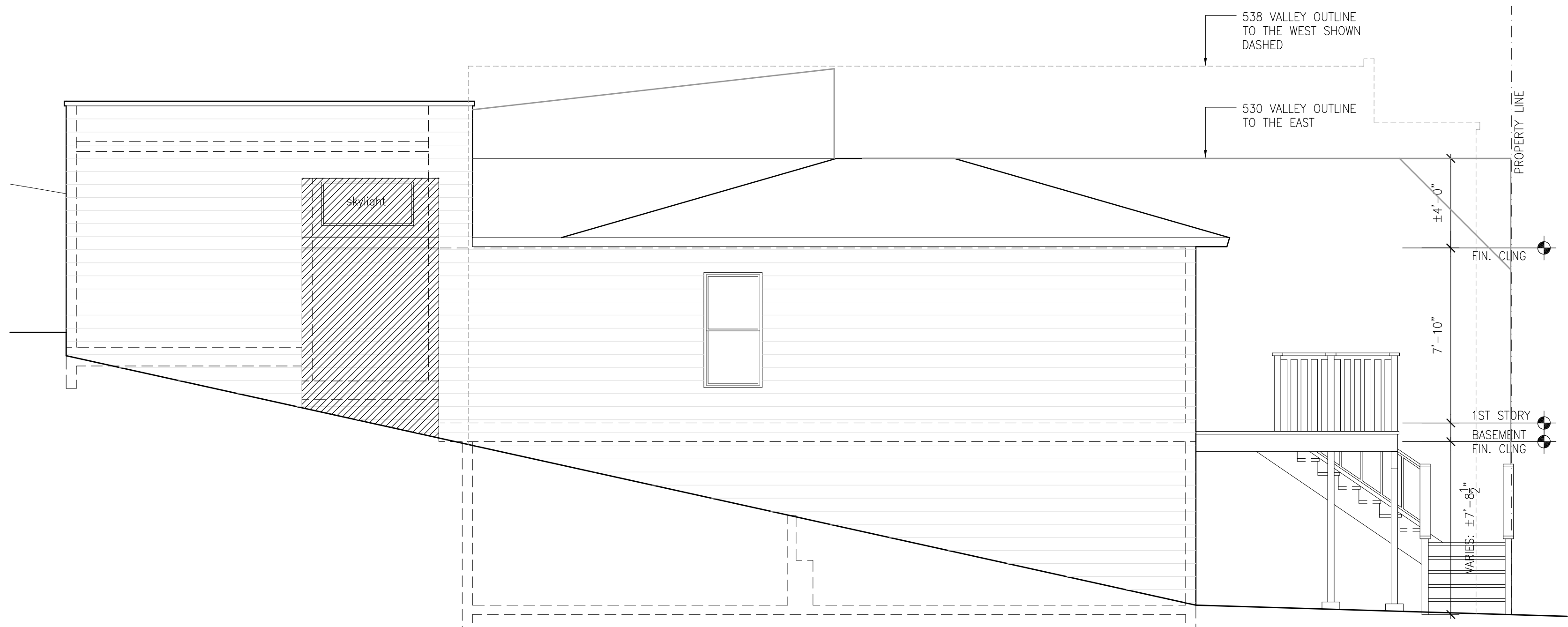
15 EXISTING SOUTH ELEVATION
SCALE: 1/4"= 1'-0"



14 EXISTING EAST ELEVATION
SCALE: 1/4"= 1'-0"



13 EXISTING PROPOSED NORTH ELEVATION
SCALE: 1/4"= 1'-0"



5 EXISTING WEST ELEVATION
SCALE: 1/4"= 1'-0"

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DRAWN:
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CHECKED:
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SCALE:
1/4"=1'-0"

VERTICAL DEMOLITION AREA

A3.4