



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 25, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Parking)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	232 Elsie St	Case No.:	2014.0071V
Cross Street(s):	Eugenia Ave/Cortland Ave	Building Permit:	N/A
Block / Lot No.:	5670/009	Applicant/Agent:	Andy Forrest
Zoning District(s):	RH-2 / 40-X (Bernal SUD)	Telephone:	(415) 602-9997
Area Plan:	N/A	E-Mail:	andy@seismiczone.net

PROJECT DESCRIPTION

The proposal includes a remodel and 15'-0" horizontal rear addition to an existing single family residence in the Bernal Heights Special Use District.

PER SECTION 242(e)(2) OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 45% of the lot depth (or 31'-6"). The proposal would encroach 13'-1" into the required rear yard with an intrusion that exceeds half the width of the lot without providing the required offset by otherwise permitted coverage in the rear of the subject property; therefore, the project requires a variance.

PER SECTION 242(e)(4) OF THE PLANNING CODE, the subject property is required to provide two off-street parking spaces since the proposed alteration adds over 200 square feet of usable floor area, thereby requiring that parking be provided based on the entire building's usable floor area. The property provides and maintains one off-street parking space; therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christopher Townes** Telephone: **415-575-9195** Mail: Chris.Townes@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0071V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

FLOOR AREA:

	(E) GROSS AREA	(N) GROSS AREA	(E) HABITABLE AREA	(N) HABITABLE AREA	(E) NON-HABITABLE	(N) NON-HABITABLE
2ND FLOOR	804 SQ. FT.	975 SQ. FT.	804 SQ. FT.	975 SQ. FT.	0 SQ. FT.	0 SQ. FT.
1ST FLOOR	690 SQ. FT.	999 SQ. FT.	0 SQ. FT.	803 SQ. FT.	690 SQ. FT.	190 SQ. FT.
TOTAL	1494 SQ. FT.	1974 SQ. FT.	804 SQ. FT.	1778 SQ. FT.	690 SQ. FT.	190 SQ. FT.

△ = 480 SQ. FT.

(E) 1974 SQ. FT.

(N) 1494 SQ. FT.

32% INCREASE IN GROSS FLOOR AREA

△ = 975 SQ. FT.

△ = <=> 500 SQ. FT.

PROPERTY INFO TABLE

USE: SINGLE FAMILY DWELLING

OCCUPANCY: R-3

ZONING: RH-2, (BERNAL HTS. SUD)

YEAR BUILT: 1907

LOT SIZE: 25.667' X 70'

LOT AREA: 1797 SQ. FT.

SCOPE OF WORK:

1. REMODEL (E) HOME AND 15 FT., 2 STORY HORIZONTAL EXTENSION AT REAR
2. (N) STAIR DOWN TO (N) OCCUPIED FLOOR W/ TWO (N) BEDROOMS, TWO (N) BATHS & (N) PLAYROOM
3. (N) 24" BOX STREET TREE
4. ADD STORAGE FOR TWO 'CLASS ONE' BICYCLE PARKING SPACES

LIST OF SHEETS:

A-0	SITE PLAN & NOTES
A-1	EXISTING FLOOR PLANS, DEMO PLAN
A-2	NEW FLOOR PLANS
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

2013 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
2013 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
2013 CALIFORNIA ENERGY CODE WITH SAN FRANCISCO AMENDMENTS
2013 SAN FRANCISCO HOUSING CODE
2013 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
2013 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS

Site plan (E) showing property boundaries, setbacks, and existing structures. The plan includes a 25% rear yard setback and a 45% rear yard setback. It also shows a second floor deck, a driveway, and a flat roof. The plan is oriented with North at the top.

1 (E) SITE PLAN

Scale: 1/8" = 1'-0"

Site plan (N) showing proposed horizontal rear extension and alterations. The plan includes a 25% rear yard setback and a 45% rear yard setback. It also shows a second floor deck, a driveway, and a flat roof. The plan is oriented with North at the top.

2 (N) SITE PLAN

Scale: 1/8" = 1'-0"

ANDY FORREST, P.E.

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HORIZONTAL REAR EXTENSION W/ ALTERATIONS

232 ELSIE STREET
SAN FRANCISCO, CALIF.

SHEET TITLE:
SITE PLAN & NOTES

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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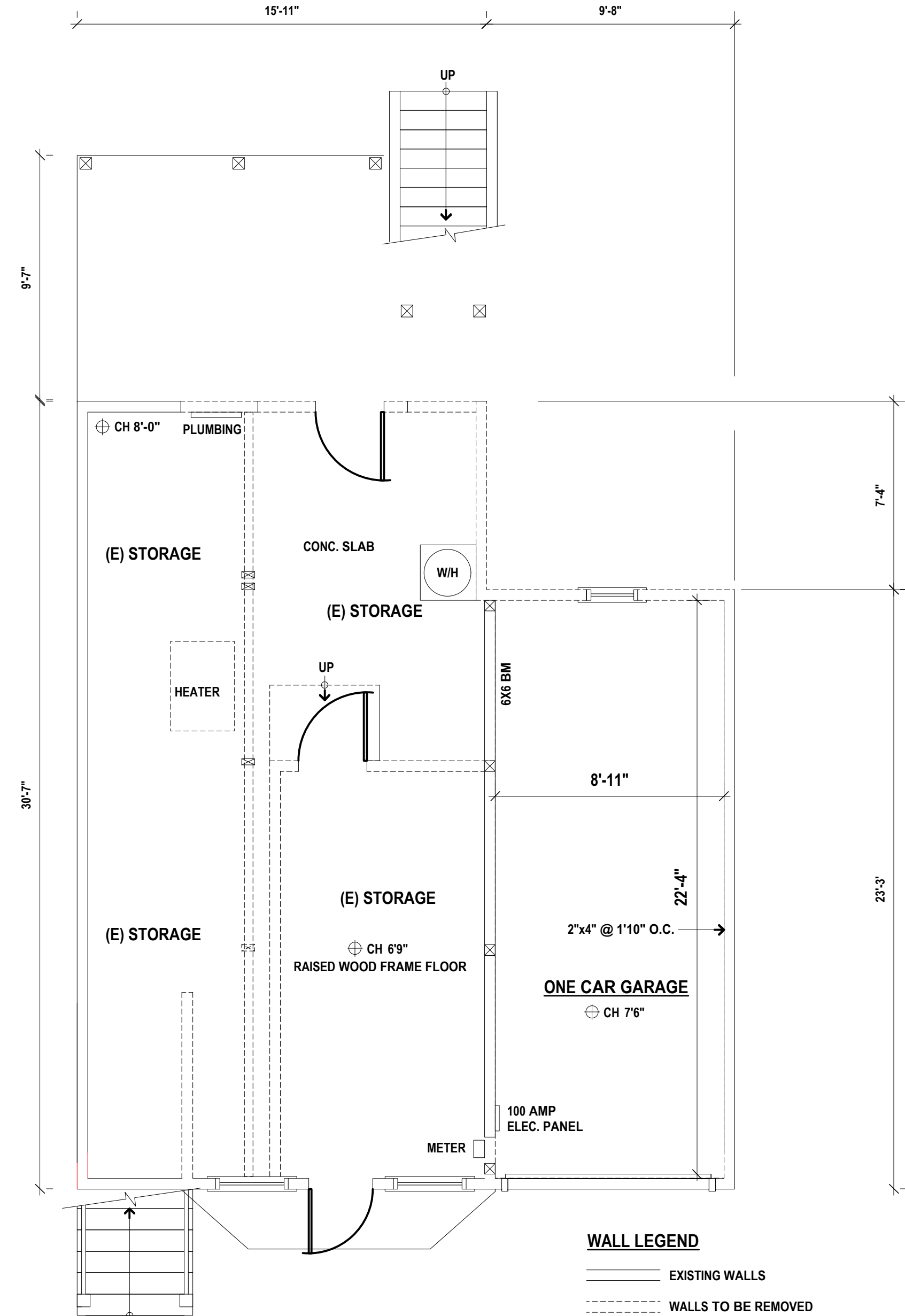
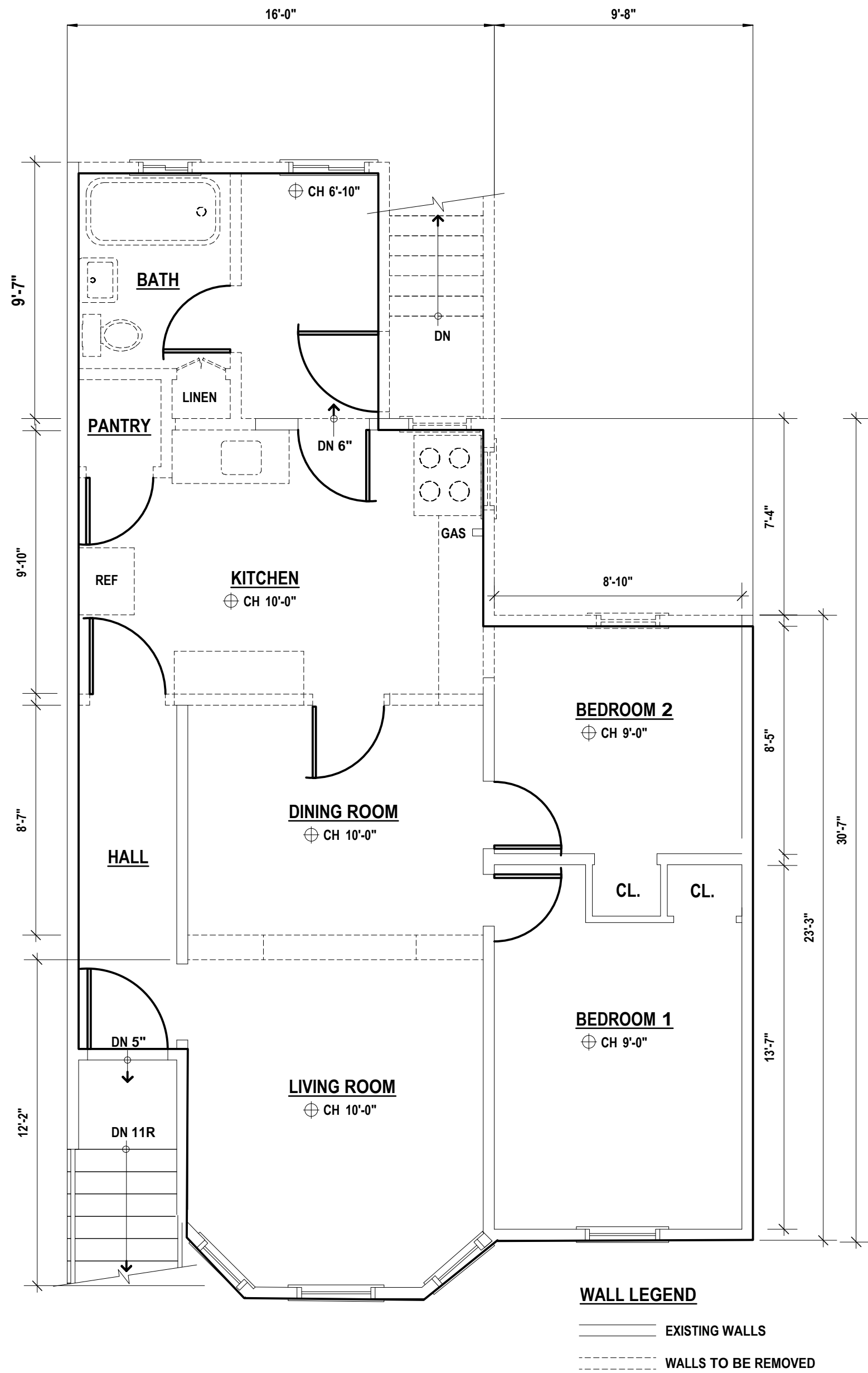
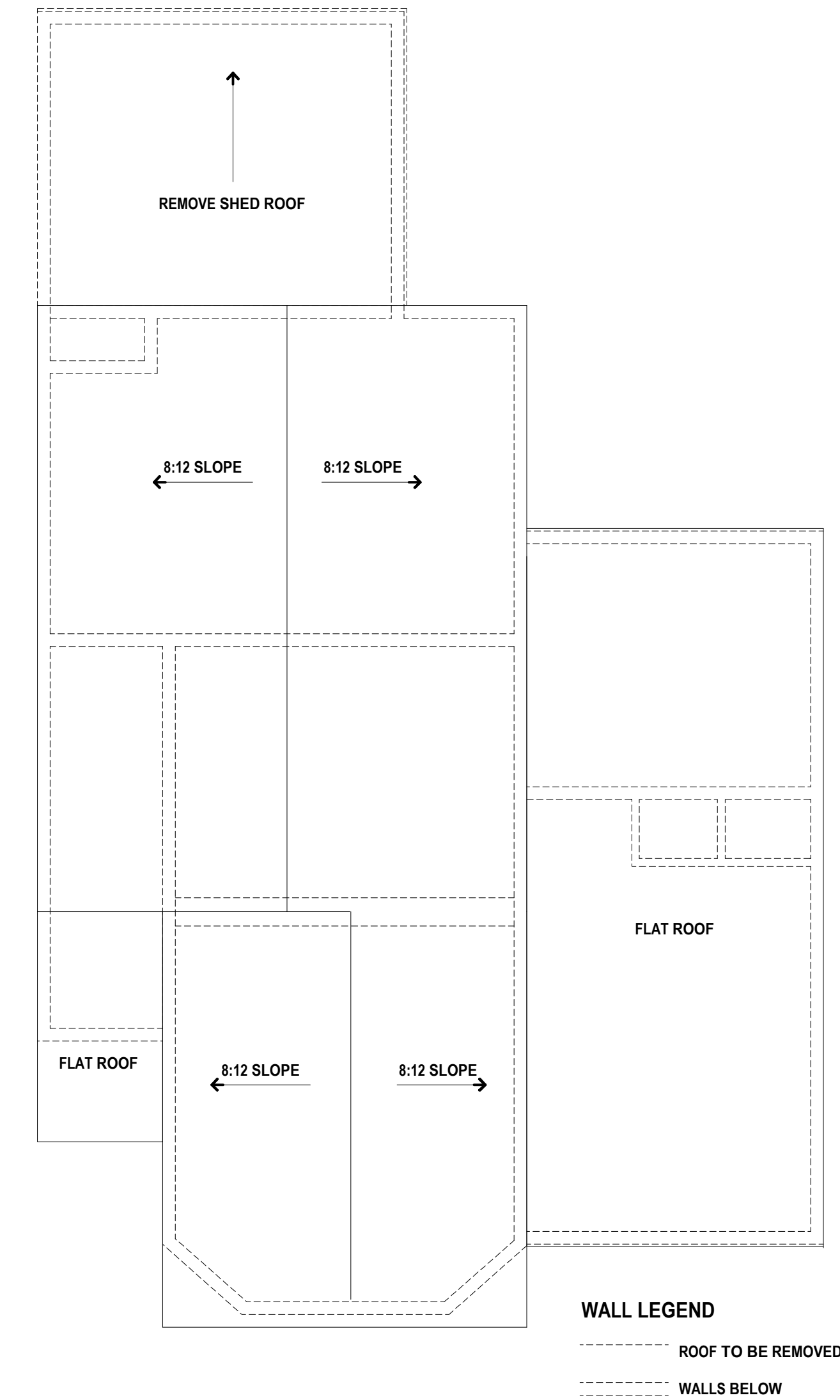
DATE: FEBRUARY 19, 2014

DRAWN BY: KK/AF

CHECKED BY: AF

SCALE: AS NOTED

A-0



COMMENTS / REVISIONS

6/6/14 CITY PLANNING COMMENTS

REGISTERED PROFESSIONAL ENGINEER

ANDY FORREST

No. C 236320

Exp. 3-31-15

CIVIL

STATE OF CALIFORNIA

HORIZONTAL REAR EXTENSION W/ ALTERATIONS

232 ELSIE STREET

SAN FRANCISCO, CALIF.

SHEET TITLE:

(E) FLOOR PLANS,

DEMO PLAN

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FEBRUARY 19, 2014

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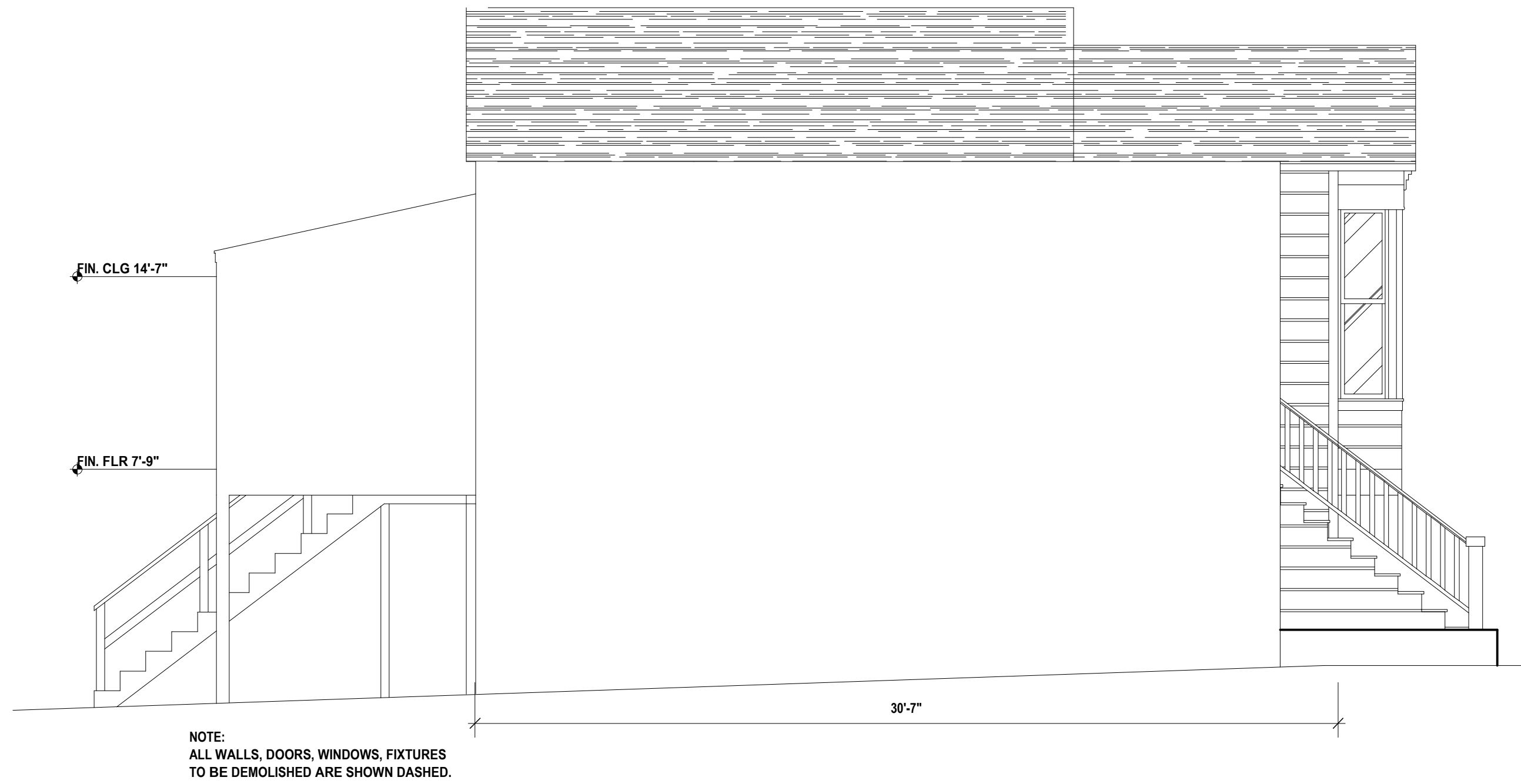
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AF

SCALE:

AS NOTED

A-1



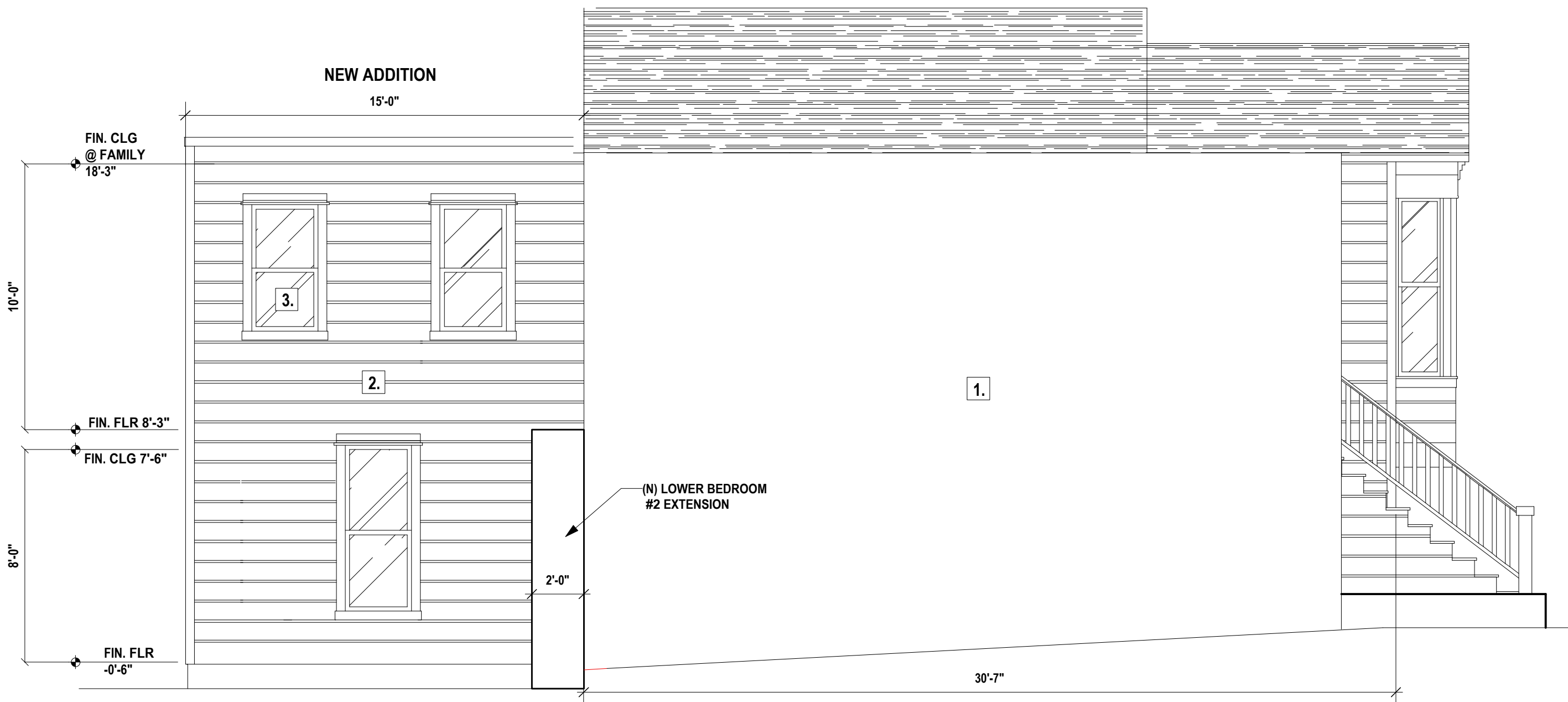
(E) SOUTH ELEVATION

Scale: 1/4" = 1'-0"



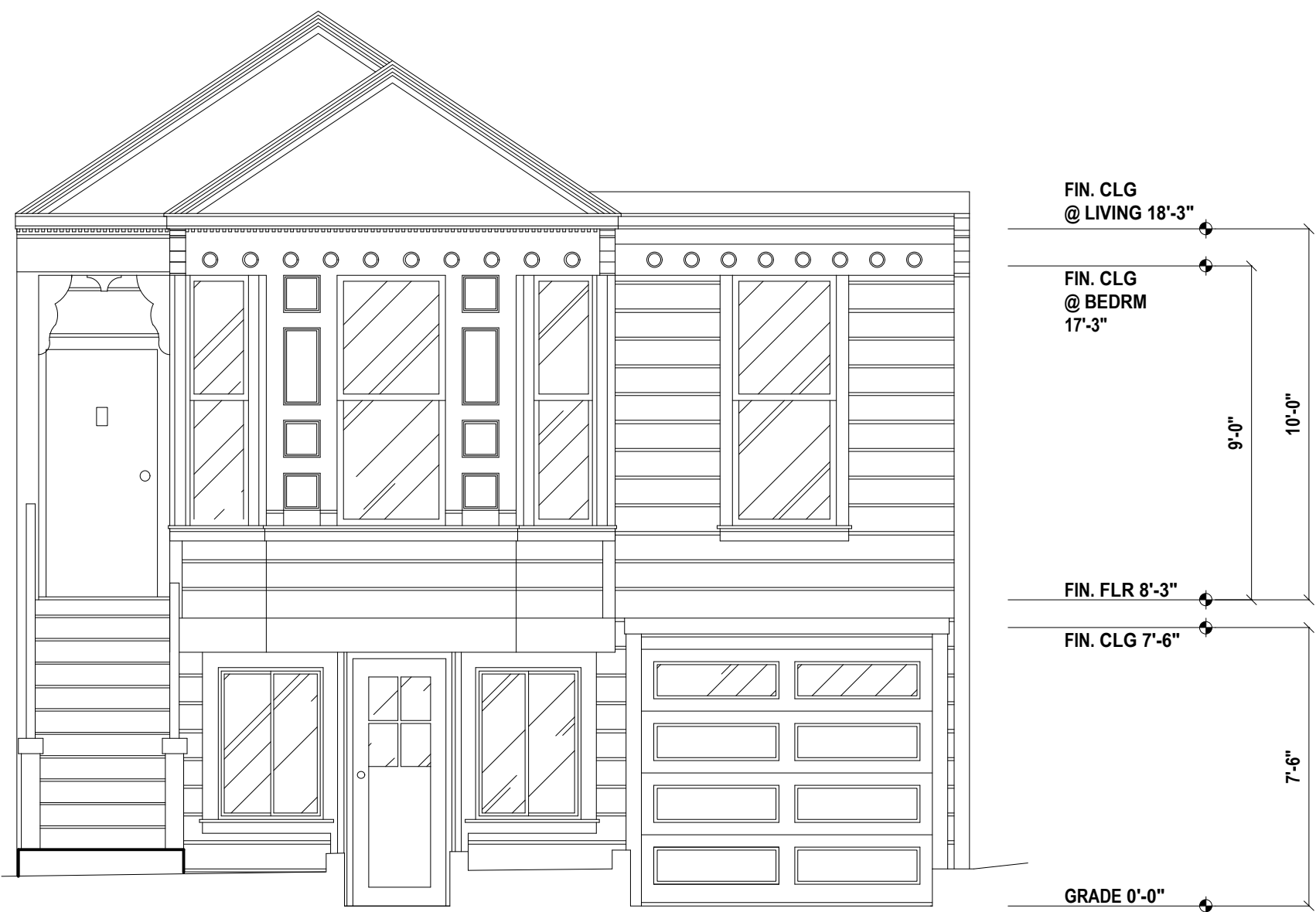
(E) EAST ELEVATION (FRONT)

Scale: 1/4" = 1'-0"



(N) SOUTH ELEVATION

Scale: 1/4" = 1'-0"



(N) EAST ELEVATION (FRONT) NO CHANGE

Scale: 1/4" = 1'-0"

COMMENTS / REVISIONS

6/6/14 CITY PLANNING COMMENTS

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ANDY FORREST

No. C 23820

Exp. 3-31-15

CIVIL

STATE OF CALIFORNIA

ADDITION & RENOVATION

232 ELSIE STREET

SAN FRANCISCO, CALIF.

SHEET TITLE:

(E) & (N) ELEVATIONS

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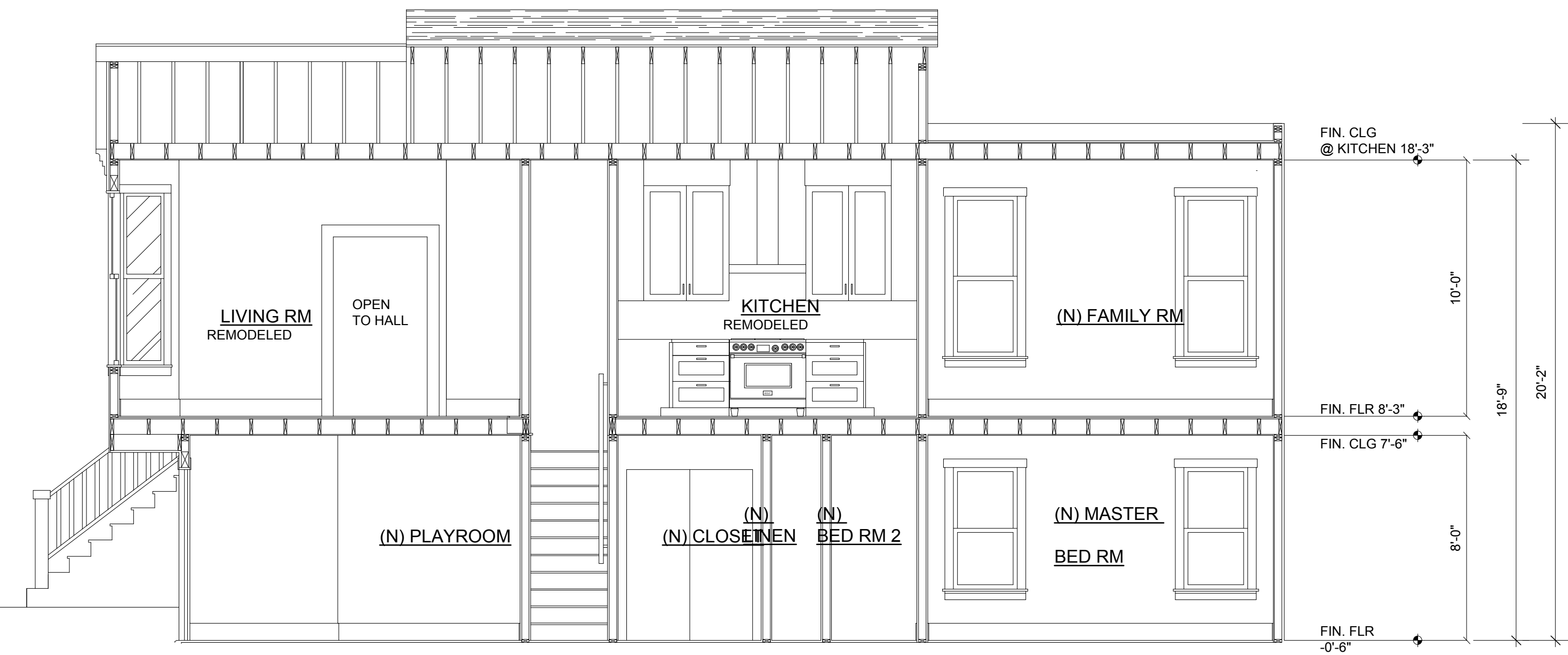
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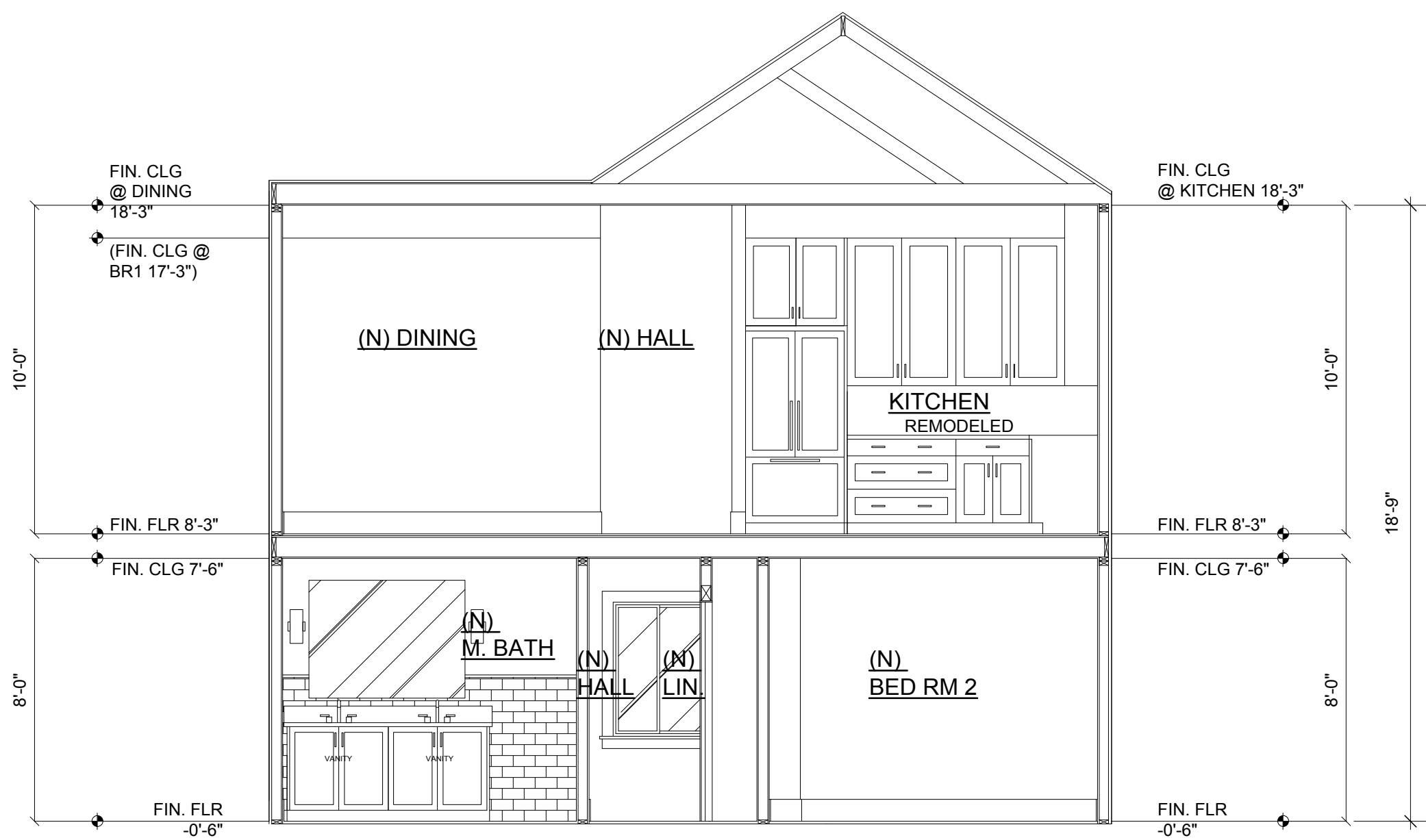
AS NOTED

A-4



SECTION 'A'

Scale: 1/4" = 1'-0"



SECTION 'B'

Scale: 1/4" = 1'-0"

COMMENTS / REVISIONS

6/6/14 CITY PLANNING COMMENTS

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SECTIONS

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CHECKED BY: AF

SCALE: AS NOTED

A-5