

### SAN FRANCISCO PLANNING DEPARTMENT

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#### **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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#### SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# **NOTICE OF PUBLIC HEARING**

Hearir Time: Locati Case Hearir	4 dlett Place, Room 408			
PORPERTY INFORMATION			APPLICAT	ION INFORMATION
Project Address:	1150 Web	ster Street	Case No.:	2014.0031V
Cross Streets:	Turk, Web	ster & Eddy Street	Building Permit:	201312204778
Block / Lot No.:	0748/032		Applicant/Agent:	James Fagler
Zoning District:	RM-3 / 50-	X	Telephone:	415-346-4040
Area Plan:	Not applic	able	E-Mail:	jim@gelfand-partners.com

**PROJECT DESCRIPTION** 

The subject property is occupied by 68 dwelling units located in four buildings, three of which front on Webster, Turk and Eddy Streets. The proposal is to 1) remove four metal security enclosures and replace them with freestanding security walls and replace private street level patio fencing within the same footprint on two 3-story buildings fronting Webster and Eddy Streets; and 2) install 2-story moment frames (structures for seismic safety) with stucco surrounds at the front of a 2-story building fronting Turk Street.

Planning Code Section 132 requires that the subject property maintain a front setback of ten feet, six inches (10'-6") along the Webster Street frontage, four feet, two inches (4'-2") along the Turk Street frontage, and one foot, eight inches (1'-8") along the Eddy Street frontage. At the Webster Street frontage, the project proposes to construct security walls and patio fences that extend approximately 9' into the required front setback. At the Turk Street frontage, the project proposes to construct security walls and patio fences that extend 1'-10" into the required front setback. At the Eddy Street frontage, the project proposes to construct security walls and patio fences that extend 1'-8" into the required front setback. Therefore the project requires a variance from the front setback requirement of the Planning Code.

#### ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Laura Ajello Telephone: 415-575-9142 Mail: Laura.Ajello@sfgov.org

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2014.0031V.pdf

### **GENERAL INFORMATION ABOUT PROCEDURES**

#### VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

#### **BUILDING PERMIT APPLICATION INFORMATION**

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be perfromed separately.** 

#### **BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

#### ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <u>http://upn.sfplanning.org</u> for more information.

# BUCHANAN PARK APTS, 1150 WEBSTER ST., SAN FRANCISCO, CA

# ABBREV/IATION

ABBRE	EVIATION			SYMBOLS	
				(05)	
8,	AND	LIN	LINEAR		GRID-LINE INDICATION
لم ل	ANGLE	LTG	LIGHTING		
C	CENTERLINE	MATL	MATERIAL		
0	DIAMETER OR ROUND	MAX	MAXIMUM		ROOM IDENTIFICATION
# d	NUMBER PENNY	MB MECH	MACHINE BOLT MECHANICAL	CLASSROOM	
u (E)	EXISTING	MEGH	MANUFACTURER		
(N)	NEW	MIN	MINIMUM	A-123	
AC	AIR CONDITIONING ACCESS OR ACCESSIBLE	MISC		123 SF -	ROOM AREA [SQUARE FEET]
ACCS ACT	ACCESS OR ACCESSIBLE ACOUSTICAL CEILING TILE	MS N	MACHINE SCREW NORTH		INTERIOR ELEVATION KEY
AD	AREA DRAIN	NEG	NEGATIVE		ELEVATION NUMBER
ADJ	ADJACENT	NIC	NOT IN CONTRACT		ELEVATION SHEET
AFF	ABOVE FINISH FLOOR	NO	NUMBER		ELEVATION ORIENTATION
AL ALT	ALUMINUM ALTERNATE	NTS OC	NOT TO SCALE ON CENTER(S)	S -	
ANOD	ANODIZED	OD	OUTSIDE DIAMETER		SECTION KEY
APPROX	APPROXIMATE	OFCI	OWNER FURNISHED		SECTION NUMBER
ARCH	ARCHITECTURAL	0501	CONTRACTOR INSTALLED	2.01 -	SECTION SHEET
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	OFOI PERF	OWNER FURNISHED & OWNER INSTALLED PERFORATED		DETAIL KEY
AVG	AVERAGE	PERP	PERPENDICULAR		DETAIL NUMBER
BD	BOARD	PL	PLATE	2.01	DETAIL SHEET
BLDG	BUILDING	PLAM	PLASTIC LAMINATE		
BLK BOT	BLOCK, BLOCKING BOTTOM	PLBG PLY	PLUMBING PLYWOOD		EXTERIOR ELEVATION KEY
BUT	BETWEEN	PLY	PREFABRICATE(D)		ELEVATION NUMBER
BUR	BUILT-UP ROOF	PROP	PROPERTY	2.01 -	ELEVATION SHEET
CAB	CABINET	PSI	POUNDS PER SQUARE INCH		DOOR NUMBER
СВ	CATCH BASIN	PTD	PAINTED	* -	
CT CI	CERAMIC TILE CAST IRON	PT QTY	PRESSURE TREATED QUANTITY	(A21)	REFER TO DOOR SCHEDULE
CLG	CEILING	RCP	REFLECTED CEILING PLAN		ASTERISK INDICATES PANIC HARDWARE
CLR	CLEAR	RD	ROOF DRAIN		SIGNAGE NUMBER
CMU	CONCRETE MASONRY UNIT	REF	REFERENCE	C-01-a	REFER TO SIGNAGE SCHEDULE
COL	COLUMN	REINF REQD	REINFORCED REQUIRED		SIGN LETTER
CONC CONT	CONCRETE CONTINUOUS	REGD	RESILIENT		ROOM NUMBER
DBL	DOUBLE	RO	ROUGH OPENING		BUILDING LETTER
DEMO	DEMOLISH	RWL	RAIN WATER LEADER		
DF	DRINKING FOUNTAIN	S	SOUTH	<b>B05</b>	WINDOW NUMBER
DIA DIAG	DIAMETER DIAGONAL	SCD SCHED	SEE CIVIL DRAWINGS SCHEDULE; SCHEDULED		REFER TO WINDOW SCHEDULE
DIM	DIMENSION	SED	SEE ELECTRICAL DWGS.	$\land$	WALL TYPE
DN	DOWN	SF	SQUARE FOOT		REFER TO WALL TYPE SHEET
DR	DOOR	SHT	SHEET SIMILAR		
DWG EA	DRAWING EACH	SIM SLD	SIVILAR SEE LANDSCAPE DWGS.		WALL TYP (ABOVE TYPICAL WALL)
ELEV	ELEVATION	SMD	SEE MECHANICAL DWGS.	<u>~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~</u>	REFER TO WALL TYPE SHEET. SEE PLANS, EXTERIOR, & INTERIOR ELEVATIONS FOR
ELEC	ELECTRICAL	SPD	SEE PLUMBING DWGS.		LOCATIONS.
EXT	EXTERIOR	SPEC SSD	SPECIFICATIONS SEE STRUCTURAL DWGS.		
FAB FACP	FABRICATE FIRE ALARM CONTROL PANEL	SST	STAINLESS STEEL	(K02)	CASEWORK TYPE
FACE	FLOOR AREA RATIO	STD	STANDARD		REFER TO CASEWORK SCHEDULE
FD	FLOOR DRAIN	STL	STEEL	$\oplus$	WORK POINT
FDN	FOUNDATION	STRT SUSP	STRUCTURAL SUSPEND; SUSPENDED	Ý	(OR CONTROL OR DATUM POINT)
FE FFE	FIRE EXTINGUISHER FINISHED FLOOR ELEVATION	T&G	TONGUE AND GROOVE		MATCHLINE
FIN	FINISHED FLOOR ELE VATION	THRU	THROUGH		MATCHEINE
FIXT	FIXTURE	TOC	TOP OF CURB		
FLEX	FLEXIBLE	TP	TOP OF PAVEMENT TYPICAL	00	SHEET KEYNOTE
FLR FLUOR	FLOOR FLUORESCENT	TYP TW	TOP OF WALL		
FLOOR	FACE OF CONCRETE	UON	UNLESS OTHERWISE NOTED	00.00	PRODUCT KEYNOTE
FOF	FACE OF FINISH	VERT	VERTICAL		PREFIX DESIGNATES SPECIFICATION
FOS	FACE OF STUD	VDFG	VERTICAL GRAIN DOUGLAS FIR		DIVISION
FT	FEET, FOOT	W	WEST	A	ACCESSORY LETTER
FTG GA	FOOTING GAUGE	W/ W/O	WITH WITHOUT		REFER TO ACCESSORY SCHEDULE
GAL	GAUGE GALLON	WD	WOOD		
GALV	GALVANIZED	WF	WIDE FLANGE (STEEL)		FLUSH TRANSITION
GEN	GENERAL	WIN	WINDOW		BETWEEN ADJACENT SURFACES
GFCI	GROUND FAULT CIRCUIT INTERRUPTED	YD	YARD		
GND	GROUND			+ 8'-0"	CEILING HEIGHT
GSM GYP BD	GALVANIZED SHEET METAL GYPSUM WALLBOARD				
HB	HOSE BIB				
HM	HOLLOW METAL			DIM	DIMENSION POINT DIM POINT NOTATION IS THE INTERSECTION
HORZ	HORIZONTAL			POINT	OF THE CENTER LINES OF THE STUDS OF
HT ID	HEIGHT INSIDE DIAMETER (DIM)				EACH WALL ASSEMBLY
IN	INCH				
INFO	INFORMATION				
INSUL	INSULATION				
LAV	LAVATORY				

### **REGIONAL MAP**

LAV

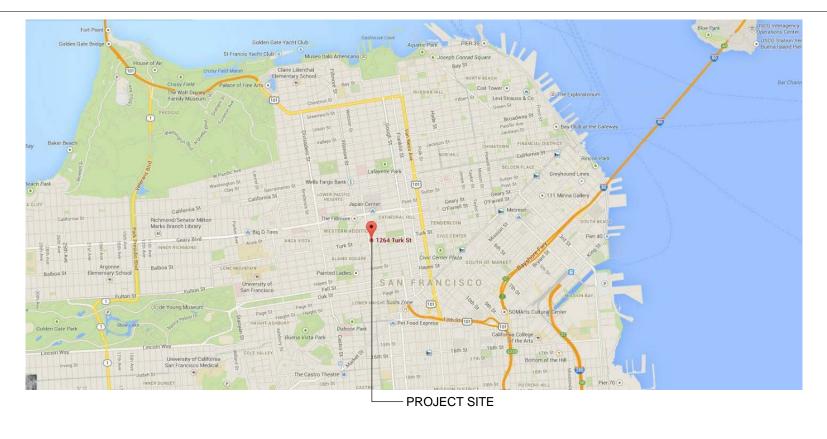
LB

LF

LAVATORY

LINEAR FEET

POUND



# VICINITY MAP

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### PROJECT NOTES

PROPERTY: 1150 WEBSTER ST. BLOCK: 748, LOT 32 NEIGHBORHOOD: WESTERN ADDITION PLANNING TEAM: NW TEAM DISTRICT: 5 BUILDING AREA: 67,563 SQ. FT PARCEL AREA: 91,948 SQ. FT **EXISTING RESIDENTIAL UNITS:** 1 BEDROOM: 24 2 BEDROOM: 24 3 BEDROOM: 20 TOTAL UNITS: 68 HEIGHT & BULK DISTRICT: 50-X SPECIAL USE DISTRICT: WITHIN 1/4 MILE OF AN EXISTING FRIN FINANCIAL SERVICE EXISTING: 2 2-STORY RESIDENTIAL BUILDINGS 2 3-STORY RESIDENTIAL BUILDINGS 1 COMMUNITY BUILDING **EXISTING PARKING SPACES: 48** PROPOSED PARKING SPACES: 48 TYPE: EXISTING: V-A, NON-RATED PROPOSED: V-A, NON-RATED

OCCUPANCY: EXISTING: R-2 PROPOSED: R-2

BUILDING 1: BUILDING 2: BUILDING 3: BUILDING 4:

AREAS:

19050 SF 19050 SF 19236 SF 8244 SF

## PROJECT TEAM

OWNER:

EAH 1269 E. FRANCISCO BLVD. SUITE B SAN RAFAEL, CA 94901 T: (415) 295-8886 F: (415) 295 8986 CONTACT: ETHAN DANIELS

**CONSTRUCTION MANAGER:** FINELINE CONSTRUCTION 42 DORE STREET SAN FRANCISCO, CA 94103 T: (415) 512-7677 F:(415) 512-7688

CONTACT: AIMEE LOPEZ

STRUCTURAL ENGINEER:

ARCHITECT:

GELFAND PARTNERS ARCHITECTS 165 10TH STREET, SUITE 100 SAN FRANCISCO, CA 94103 T: (415) 346-404(F: (415) 346-4103 CONTACT: JIM FAGLER

CORNERSTONE STRUCTURAL ENGINEERING, INC. 40 FEDERAL STREET SAN FRANCISCO, CA 94107 T: (415) 369-9100 F: (415) 369-9101 CONTÁCT: DANA HOOPER

M,E,P ENGINEER: E-DESIGN-C, INC 760 MARKET STREET, SUITE 338 SAN FRANCISCO, CA 94102 T:(415) 963-4303 F: (415) 963-4341

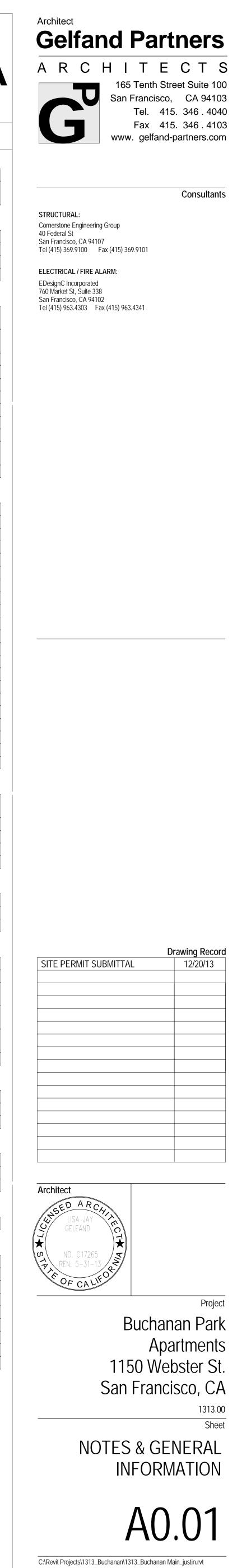
CÒNTÁCT: STEPHEN HOWÀRTÉR

- PROJECT SITE

# ACCESSIBILITY

EXISTING HANDICAPPED ACCESSIBILITY UNITS: 0 PROPOSED HANDICAPPED ACCESSIBILITY UNITS: 4 (5% OF 68 PROPOSED HEARING AND VISUALLY IMPAIRED UNITS: 2 EXISTING ACCESSIBLE PARKING: 2 **PROPOSED ACCESSIBLE PARKING: 2** 

	VOLUNTARY SEISMIC UPGRADE TO FOUR RESIDENTIAL		SHEET LIST
	<ul> <li>BUILDINGS</li> <li>RENOVATION OF 4 UNITS TO HANDICAPPED ACCESSIBLE UNITS</li> </ul>	Sheet Number	Sheet Name
	<ul> <li>FINISH AND MEP UPGRADES TO ALL UNITS</li> <li>EXTERIOR BALCONY RENOVATIONS</li> </ul>	Architectura	al
	<ul> <li>EXTERIOR ENTRY RENOVATIONS</li> <li>NEW SOLAR THERMAL INSTALLATION</li> </ul>	A0.01	NOTES & GENERAL INFORMATION
	MISC SITE UPGRADES	A0.02 A0.03	ACCESSIBILITY CHECKLIST PHOTOS OF EXISTING CONDITIONS
	<ul> <li>MEP REPAIRS</li> <li><u>NO</u> WORK AT EXISTING COMMUNITY BUILDING</li> <li>DEMOVAL OF EXTERIOR METAL ENTRY. INSTALLATION OF</li> </ul>	A0.03	EXISTING ELEVATIONS AND CONTEXT
	<ul> <li>REMOVAL OF EXTERIOR METAL ENTRY, INSTALLATION OF NEW ENTRY WALL</li> </ul>	Architectura	al
		A2.01D	BUILDING 1 & 2 - 1ST & 2ND FLOOR DEMOLITION
		A2.02D	PLAN BUILDING 1 & 2 - 3RD FLOOR AND ROOF
		A2.03D	DEMOLITION PLAN BUIDING 3 - 1ST AND 2ND FLOOR DEMO
		A2.04D	BUILDING 3 ROOF DEMO
		A2.05D A3.00D	BUILDING 4 DEMO BUILDING 1 & 2 - EXISTING/DEMO ELEVATIONS
		A3.01D	BUILDING 3 - DEMO ELEVATIONS
		A3.02D A5.00D	TOWNHOUSE EXISTING / DEMO ELEVATIONSAPARTMENTS - TYPICAL UNIT DEMO PLANS
		A5.01D	APARTMENTS ACCESSIBLE UNITS - TYPICAL DEN PLANS
		A5.02D	TOWNHOUSE UNIT DEMO PLANS
		Architectura	al
		A2.01	BUILDING 1 & 2 - 1ST & 2ND FLOOR PLAN
		A2.02 A2.03	BUILDING 1 & 2 - 3RD AND ROOF PLAN BUILDING 3 - 1ST AND 2ND FLOOR PLAN
		A2.04	BUILDING 3 ROOF PLAN
		A2.05 A3.00	BUILDING 4 BUILDINGS 1 & 2 EXTERIOR ELEVATIONS
		A3.01	BUILDINGS 1 & 2 EXTERIOR ELEVATIONS
		A3.02 A3.03	BUILDING 3 - EXTERIOR ELEVATION BUILDING 3 EXTERIOR ELEVATIONS
		A3.04	BUILDING 4 - ELEVATIONS
		A3.05 A3.06	TOWNHOUSES EXTERIOR ELEVATIONS PERSPECTIVE VIEWS
		A4.00	NEW ENTRANCE PLANS AND SECTIONS
		A4.01 A4.02	NEW ENTRANCE PLANS AND SECTIONSAPARTMENT WALL AND BALCONY SECTIONS
	APPLICABLE CODES	A4.03	TOWNHOUSE MOMENT FRAMES
		A4.04 A4.10	ENLARGED WALL SECTIONS ENTRANCE WALL PERSPECTIVES
	Current Codes	A5.00 A5.01	APARTMENTS - TYPICAL UNIT PLANS APARTMENTS - ACCESSIBLE UNIT PLANS
	2010 Building Standards Administrative Code, Part 1, Title 24 C.C.R. 2010 California Building Code (CBC), Part 2, Title 24 C.C.R.	A5.01 A5.02	TOWNHOUSES - TYPICAL FLOOR PLANS
	(2009 International Building Code and 2010 California Amendments)	Structural	
	2010 California Electrical Code (CEC), Part 3, Title 24 C.C.R. (2008 National Electrical Code and 2010 California	S0.01	MATERIALS SPECIFICATIONS AND PROJECT
	Amendments)	S0.02	INFORMATION TESTING AND SPECIAL INSTRUCTIONS
	2010 California Mechanical Code (CMC) Part 4, Title 24 C.C.R. (2009 Uniform Mechanical Code and 2010 California	S1.01	TYPICAL DETAILS
	Amendments) 2010 California Plumbing Code (CPC), Part 5, Title 24 C.C.R.	S2.00 S3.00	BUILDING KEY PLANS DETAILS
	(2009 Uniform Plumbing Code and 2010 California Amendments)		
	2010 California Energy Code (CEC), Part 6, Title 24 C.C.R. 2010 California Fire Code, Part 9, Title 24 C.C.R.	Architectura A10.01	TYPICAL ACCESSIBILITY DETAILS
	(2009 International Fire Code and 2010 California Amendments)	A10.02	SIGNAGE DETAILS
	2010 California Green Building Standards Code (CALGreen), Part 11, Title 24 C.C.R.	A10.03	SITE DETAILS
	2010 California Referenced Standards, Part 12, Title 24 C.C.R. Title 19 C.C.R., Public Safety, State Fire Marshal Regulations.	Mechanical MP0.01	MECHANICAL SCHEUDLES, LEGENDS AND NOTE
	Current Standards	MP0.01 MP0.02	PLUMBING TITLE SHEET
		MP2.01	BUILDING 1 & 2 - 1ST AND 2ND FLOOR MECHANIC & PLUMBING
	NFPA 13Automatic Sprinkler Systems 2010 EditionNFPA 14Standpipe Systems (CA Amended) 2007 Edition	MP2.02	BUILDING 1 & 2 - 3RD AND ROOF MECHANICAL &
	NFPA 17a Wet Chemical Systems 2002 Edition NFPA 20 Stationary Pumps 2007 Edition	MP2.03	PLUMBING BUILDING 3 - 1ST AND 2ND MECHANICAL &
	NFPA 24 Private Fire Mains (CA Amended) 2010 Edition NFPA 72 National Fire Alarm Code (CA Amended) 2010 Edition	MP2.05	PLUMBING BUIDING 4 - 1ST AND 2ND MECHANICAL & PLUMB
	NFPA 80 Fire Door and Other Opening Protectives 2007 Edition NFPA 2001 Clean Agent Fire Extinguishing Systems 2008 Edition		
	Reference code section for NFP A standards - 2010 CBC (SFM) Chapter 35.	Mechanical M5.00	APARTMENT UNITS - MECHANICAL
	See Chapter 35 for State of California amendments to NFPA standards.	M5.01	ACCESSIBLE UNITS MECHANICAL
		M5.02	TOWNHOUSE UNITS - MECHANICAL
		Plumbing	
		P5.00 P5.01	APARTMENT UNITS - PLUMBING ACCESSIBLE UNITS - PLUMBING
		- P5.02	TOWNHOUSE UNITS - PLUMBING
	SPRINKLER	Plumbing	
	EXISTING BUILDINGS ARE NOT SPRINKLERED	MP6.01	ISOMETRIC PLUMBING SHEET
4)		Electrical	
		E0.01 E1.00	ELECTRICAL - SCHEDULES, LEGENDS, NOTES ELECTRICAL SITE PLAN
		E1.00 E2.01	BUILDING 1 & 2 - 1ST AND 2ND ELECTRICAL
		E2.02 E2.03	BUILDING 1 & 2 - 3RD AND ROOF ELECTRICAL BUILDING 3 - 1ST AND 2ND ELECTRICAL
		E2.05	BUILDING 4 - ELECTRICAL
		E5.00 E5.01	APARTMENT UNIT - ELECTRICAL ACCESSIBLE UNITS - ELECTRICAL
		E5.02	TWONHOUSE UNITS - ELECRICAL
		E5.01	ACCESSIBLE UNITS - ELECTRICAL





EXISTING FACADE - TOWNHOUSES - TURK STREET ELEVATION



EXISTING FACADE - TURK STREET TOWNHOUSES - REAR ELEVATION



EXISTING METAL SECURITY GATE AT APARTMENT BUILDINGS



EXISTING FACADE - TOWNHOUSES - COURTYARD FRONT ELEVATION

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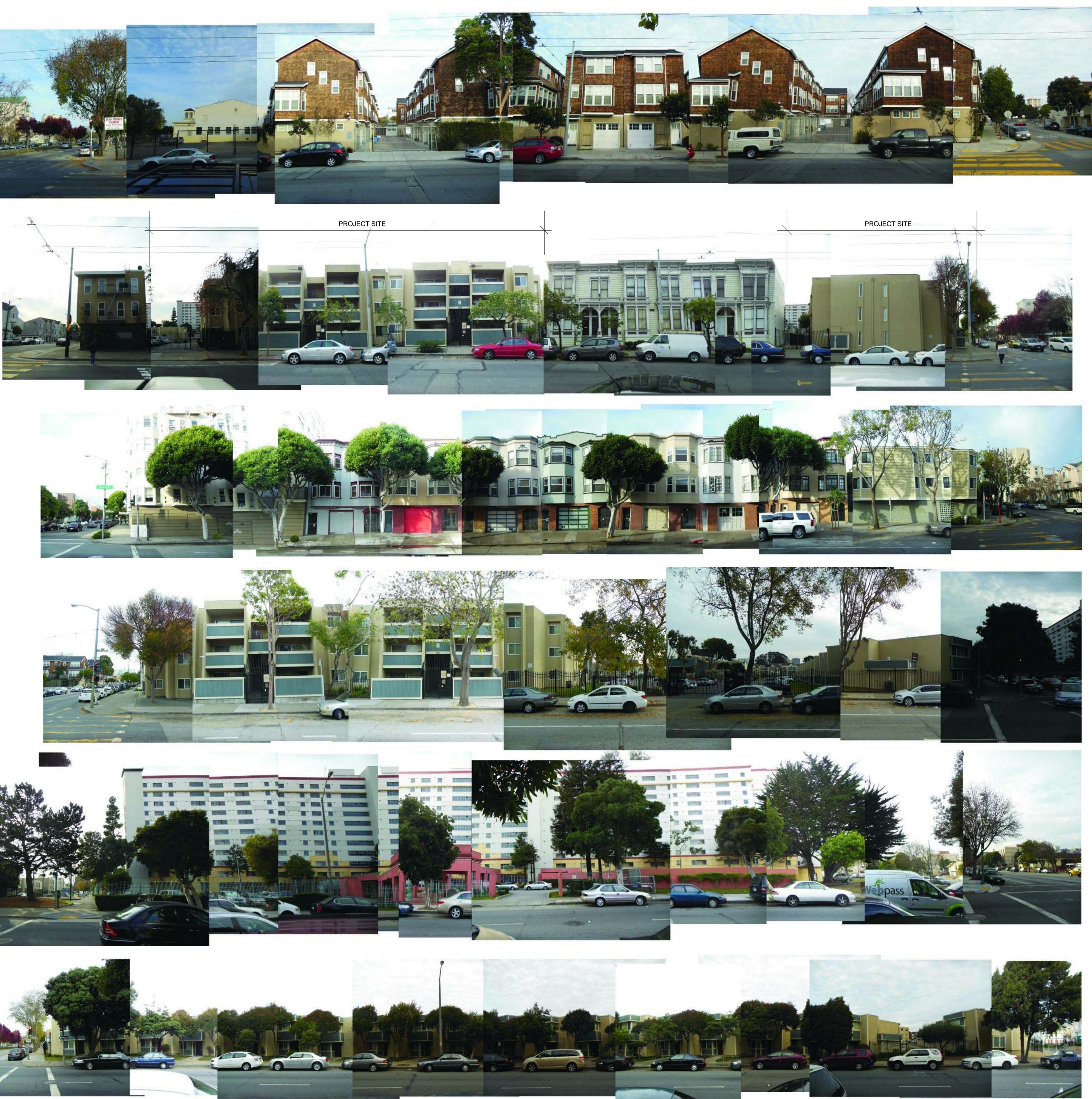
EXISTING FACADE - APARTMENT BUILDING EDDY STREET ELEVATION

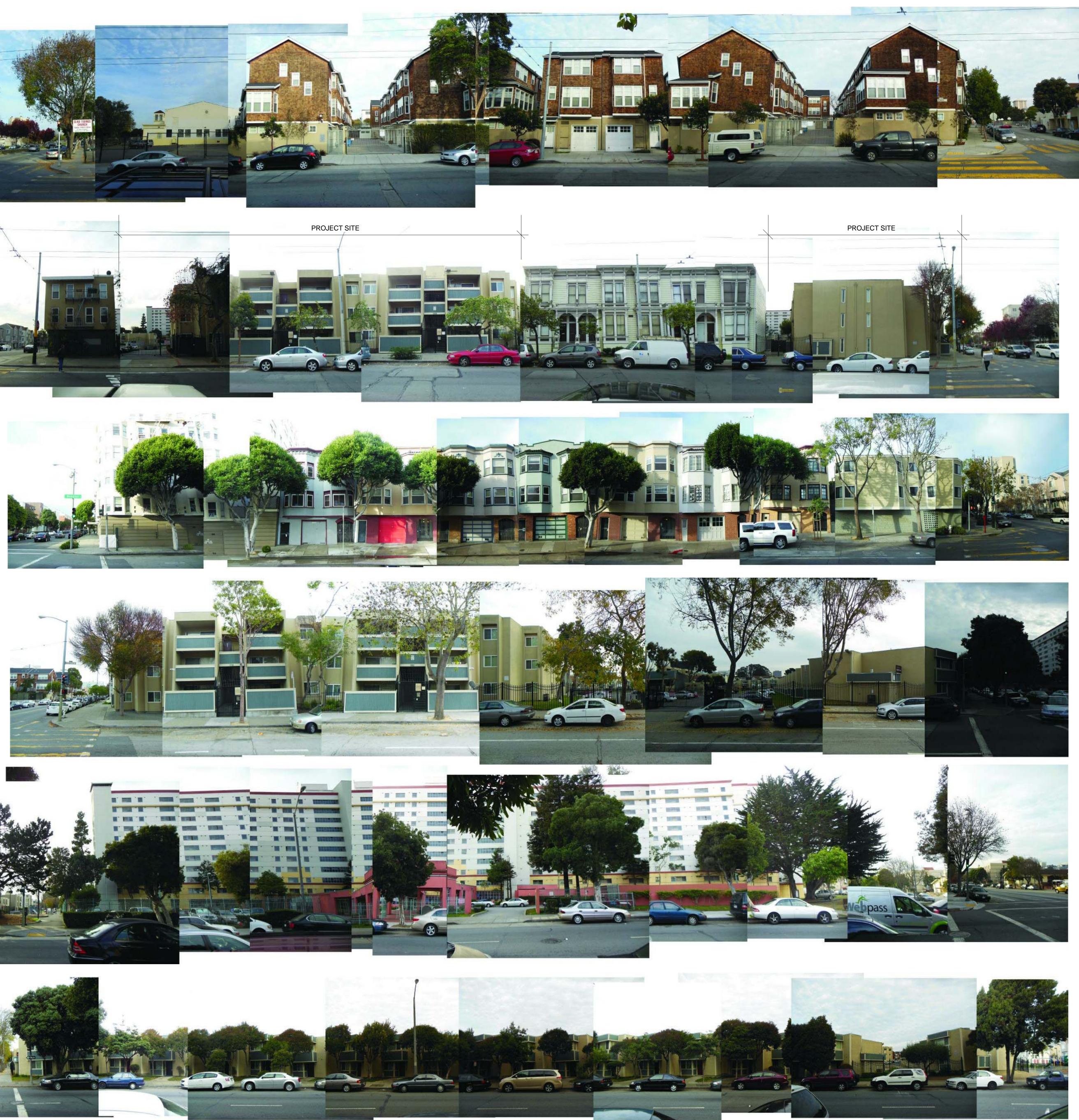


EXISTING FACADE - APARTMENT BUILDING COURTYARD ELEVATION















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### EDDY STREET ELEVATION - LOOKING NORTH

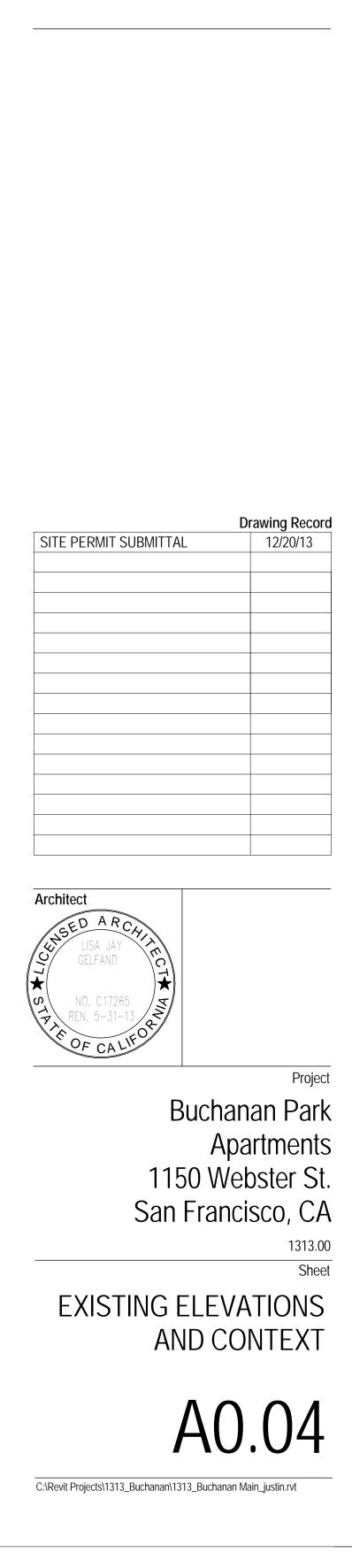
### EDDY STREET ELEVATION - LOOKING SOUTH

### WEBSTER ST ELEVATION LOOKING WEST

### WEBSTER ST ELEVATION LOOKING EAST

### TURK ST ELEVATION LOOKING SOUTH

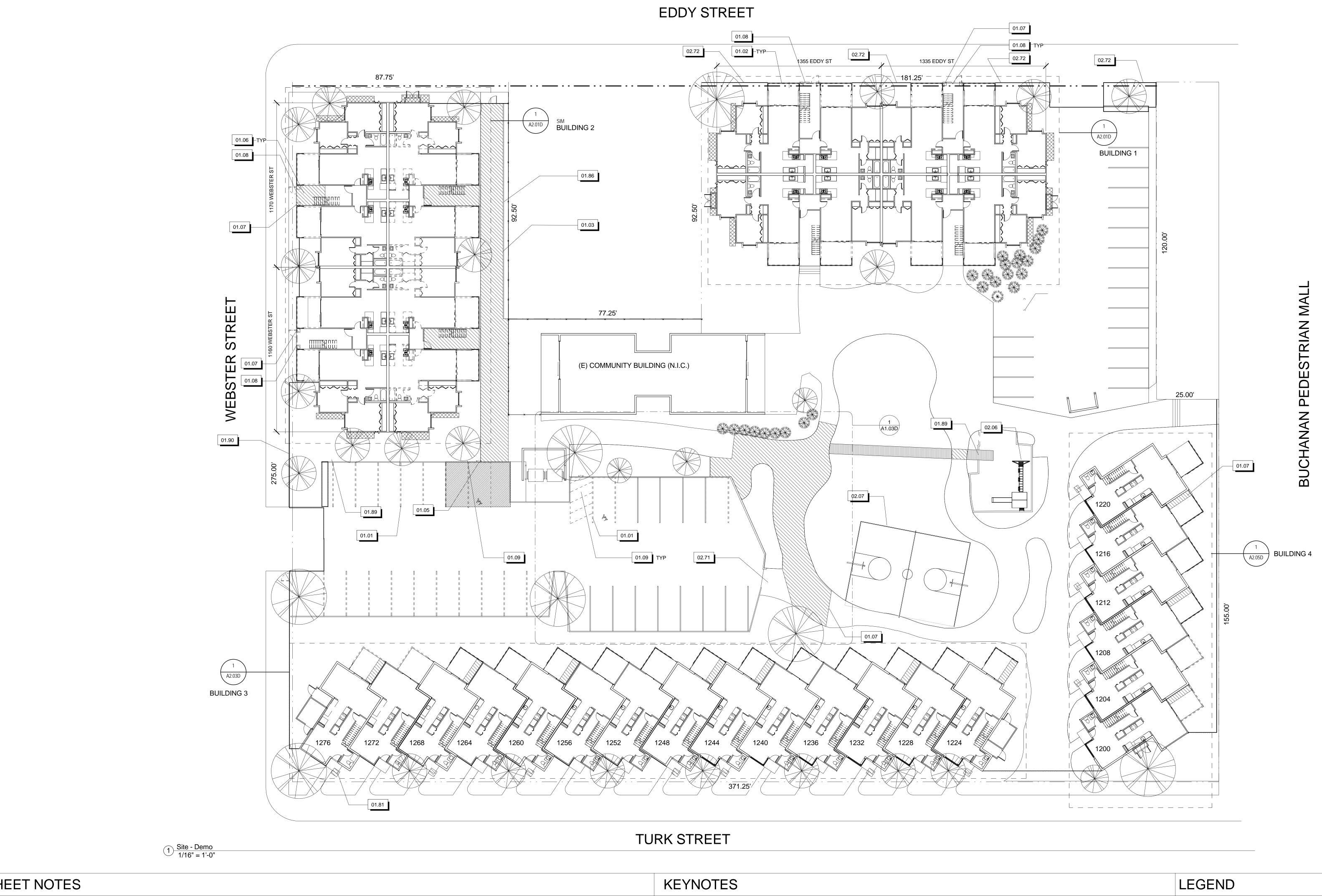
### TURK ST ELEVATION LOOKING NORTH



Cornerstone Engineering Group 40 Federal St San Francisco, CA 94107 Tel (415) 369.9100 Fax (415) 369.9101 ELECTRICAL / FIRE ALARM: EDesignC Incorporated 760 Market St, Suite 338 San Francisco, CA 94102 Tel (415) 963.4303 Fax (415) 963.4341

STRUCTURAL:





# SHEET NOTES

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01.01	REMOVE (E) PARKING STRIPING AND PAINTING
01.02	REMOVE (E) PATIO FENCING AND POSTS AT ALL UNITS
01.03	REMOVE (E) CONCRETE WALKWAY
01.04	REMOVE (E) CONCRETE RAMP
01.05	REMOVE (E) CONCRETE CURB FOR NEW RAMP
01.06	REMOVE (E) CONCRETE STAIRS AND SLAB
01.07	REMOVE (E) CONCRETE SLAB AND PREPARE FOR (N) CONCRETE FOOTING
01.08	REMOVE (E) METAL SECURITY GATE, FENCING AND FOOTINGS - PRESERVE CALL BOX AND CARD READER FOR REINSTALLATION
01.09	REMOVE (E) HANDICAP PARKING SPACE SIGN - PRESERVE FOR RELOCATION
01.81	CHIPOUT (E) CONCRETE STOOP AS NECESSARY FOR INSTALLATION OF (N) MOMENT FRAME AND PIER
01.86	(E) CONCRETE CURB TO REMAIN
01.89	DEMO (E) CURB FOR NEW PATH
01.90	DEMO (E) METAL FENCE FOR INSTALLATION OF NEW GATE
02.06	(E) PLAY STRUCTURE
02.07	(E) BASKETBALL COURT AND FENCE
02.71	(E) CONCRETE WALK TO REMAIN
02.72	REMOVE (E) FENCE FOR RELOCATION - PRESERVE FOR REINSTALLATION

LEGEND	
	REMOVE (E) CONCRETE
	EXCAVATE, PREPARE FOR (N) CONCRETE FOOTING - SSD
	PREP GRADE FOR NEW SIDEWALK
	REMOVE (E) ASPHALT

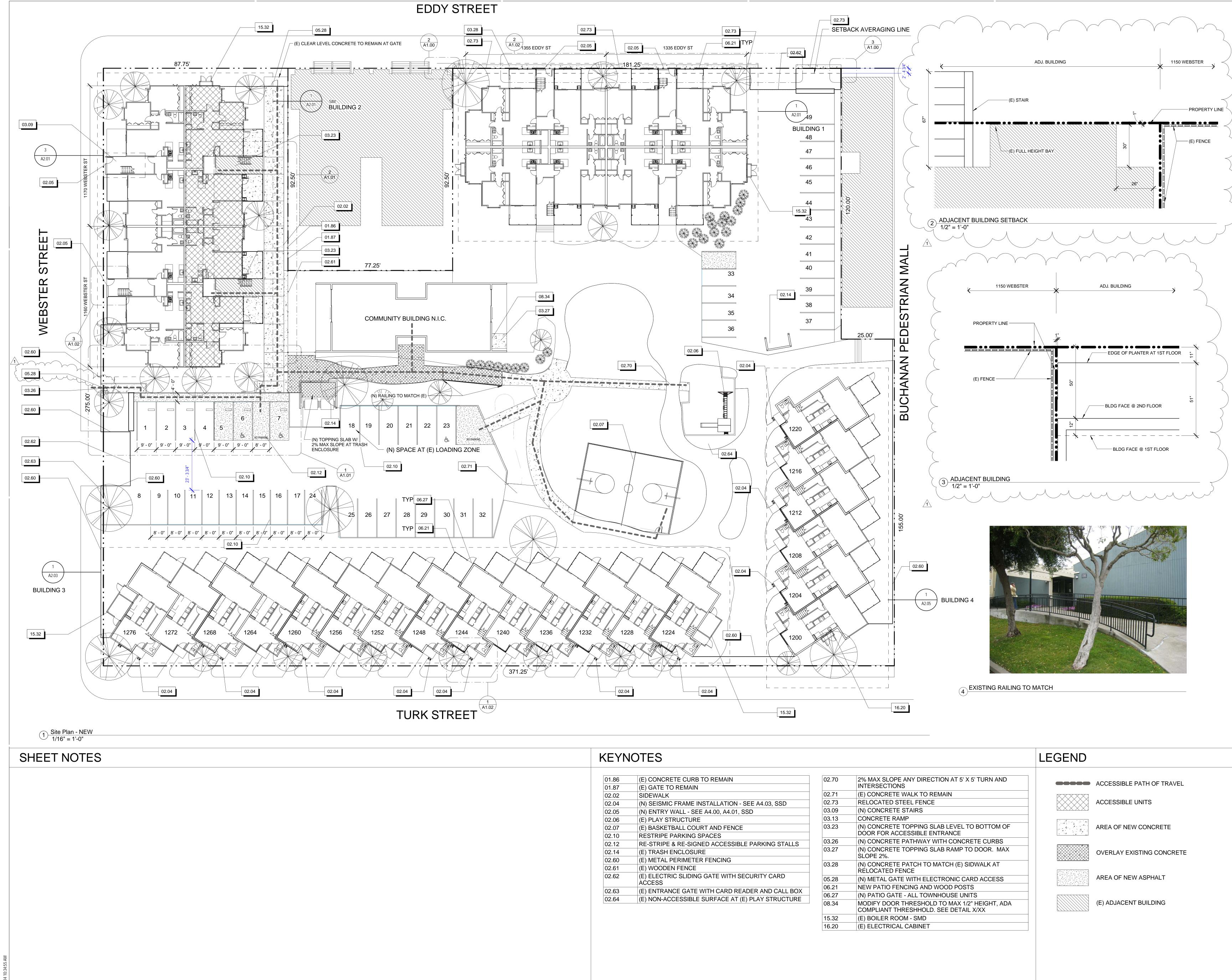


Drawing Record

SITE PERMIT SUBMITTAL

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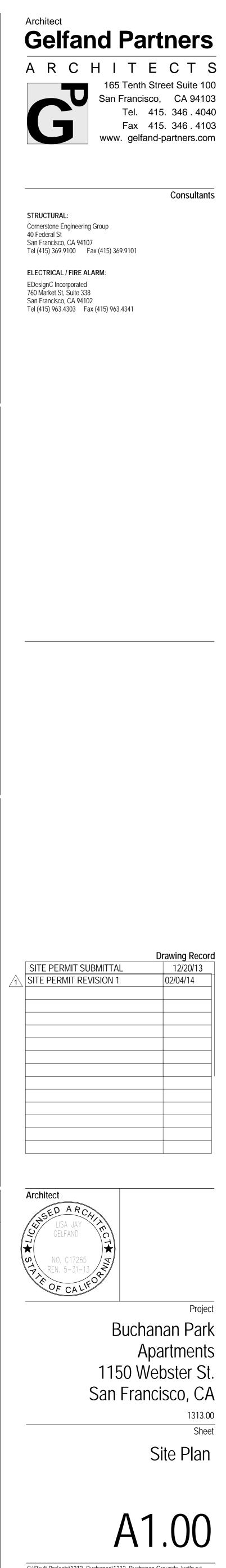
Architect **Gelfand Partners** ARCHITECTS Street Suite 100 ncisco, CA 94103 15. 346 . 4040 415. 346 . 4103 Fax www. gelfand-partners.com



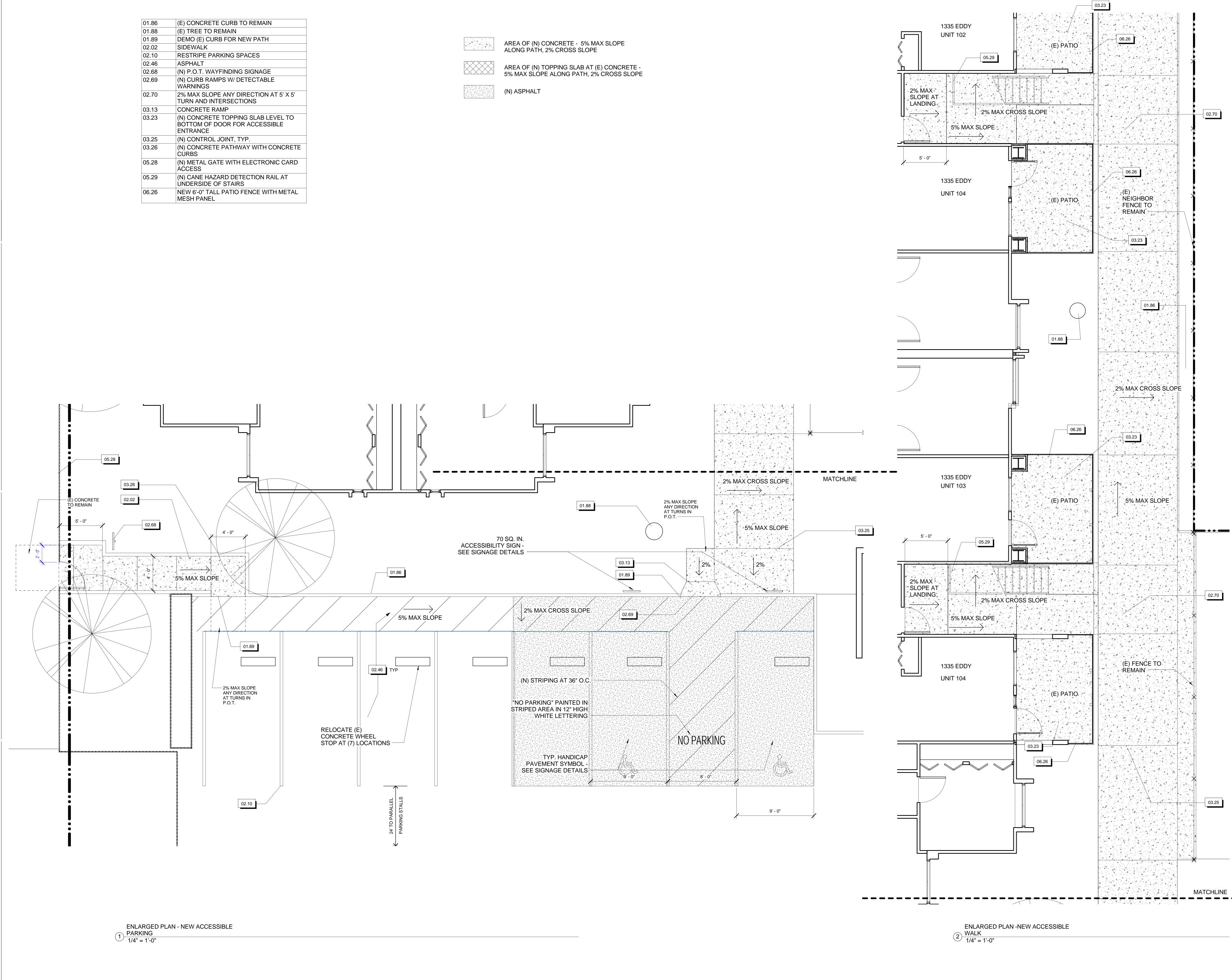
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01.86	(E) CONCRETE CURB TO REMAIN	02.70	2% MAX SLOPE ANY DIRECTION AT 5' X 5' TURN AND	ACCESSIBLE PATH OF TRAVEL
01.87	(E) GATE TO REMAIN		INTERSECTIONS	
02.02	SIDEWALK	02.71	(E) CONCRETE WALK TO REMAIN	
02.04	(N) SEISMIC FRAME INSTALLATION - SEE A4.03, SSD	02.73	RELOCATED STEEL FENCE	
02.05	(N) ENTRY WALL - SEE A4.00, A4.01, SSD	03.09	(N) CONCRETE STAIRS	
02.06	(E) PLAY STRUCTURE	03.13	CONCRETE RAMP	the second s
02.07	(E) BASKETBALL COURT AND FENCE	03.23	(N) CONCRETE TOPPING SLAB LEVEL TO BOTTOM OF	AREA OF NEW CONCRETE
02.10	RESTRIPE PARKING SPACES		DOOR FOR ACCESSIBLE ENTRANCE	
02.12	RE-STRIPE & RE-SIGNED ACCESSIBLE PARKING STALLS	03.26	(N) CONCRETE PATHWAY WITH CONCRETE CURBS	KXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
02.14	(E) TRASH ENCLOSURE	03.27	(N) CONCRETE TOPPING SLAB RAMP TO DOOR. MAX	OVERLAY EXISTING CONCRETI
02.60	(E) METAL PERIMETER FENCING		SLOPE 2%.	
02.61	(E) WOODEN FENCE	03.28	(N) CONCRETE PATCH TO MATCH (E) SIDWALK AT RELOCATED FENCE	
02.62	(E) ELECTRIC SLIDING GATE WITH SECURITY CARD	05.28	(N) METAL GATE WITH ELECTRONIC CARD ACCESS	AREA OF NEW ASPHALT
	ACCESS	06.21	NEW PATIO FENCING AND WOOD POSTS	
02.63	(E) ENTRANCE GATE WITH CARD READER AND CALL BOX	06.27	(N) PATIO GATE - ALL TOWNHOUSE UNITS	
02.64	(E) NON-ACCESSIBLE SURFACE AT (E) PLAY STRUCTURE	08.34	MODIFY DOOR THRESHOLD TO MAX 1/2" HEIGHT, ADA COMPLIANT THRESHHOLD. SEE DETAIL X/XX	(E) ADJACENT BUILDING
		15.32	(E) BOILER ROOM - SMD	
		16.20	(E) ELECTRICAL CABINET	

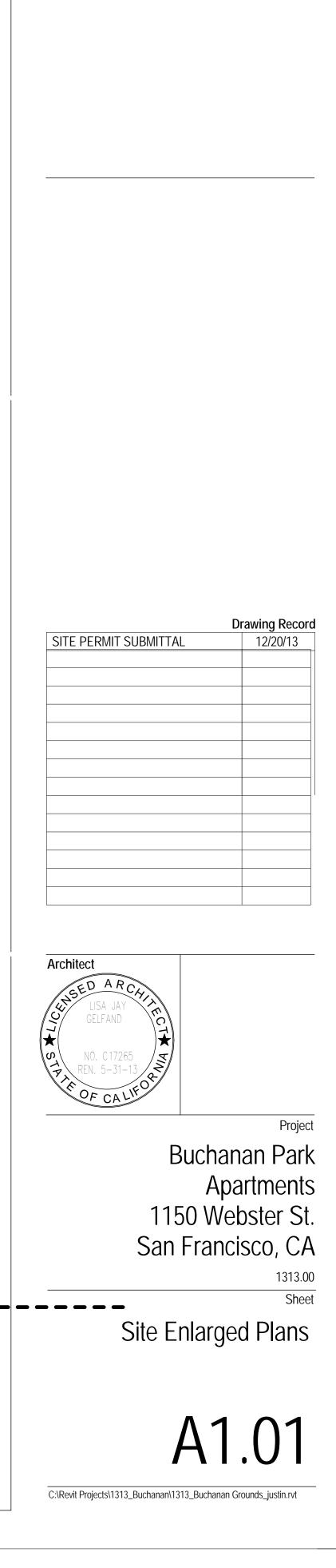
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01.86	(E) CONCRETE CURB TO REMAIN
01.88	(E) TREE TO REMAIN
01.89	DEMO (E) CURB FOR NEW PATH
02.02	SIDEWALK
02.10	RESTRIPE PARKING SPACES
02.46	ASPHALT
02.68	(N) P.O.T. WAYFINDING SIGNAGE
02.69	(N) CURB RAMPS W/ DETECTABLE WARNINGS
02.70	2% MAX SLOPE ANY DIRECTION AT 5' X 5' TURN AND INTERSECTIONS
03.13	CONCRETE RAMP
03.23	(N) CONCRETE TOPPING SLAB LEVEL TO BOTTOM OF DOOR FOR ACCESSIBLE ENTRANCE
03.25	(N) CONTROL JOINT, TYP.
03.26	(N) CONCRETE PATHWAY WITH CONCRETE CURBS
05.28	(N) METAL GATE WITH ELECTRONIC CARD ACCESS
05.29	(N) CANE HAZARD DETECTION RAIL AT UNDERSIDE OF STAIRS
06.26	NEW 6'-0" TALL PATIO FENCE WITH METAL MESH PANEL



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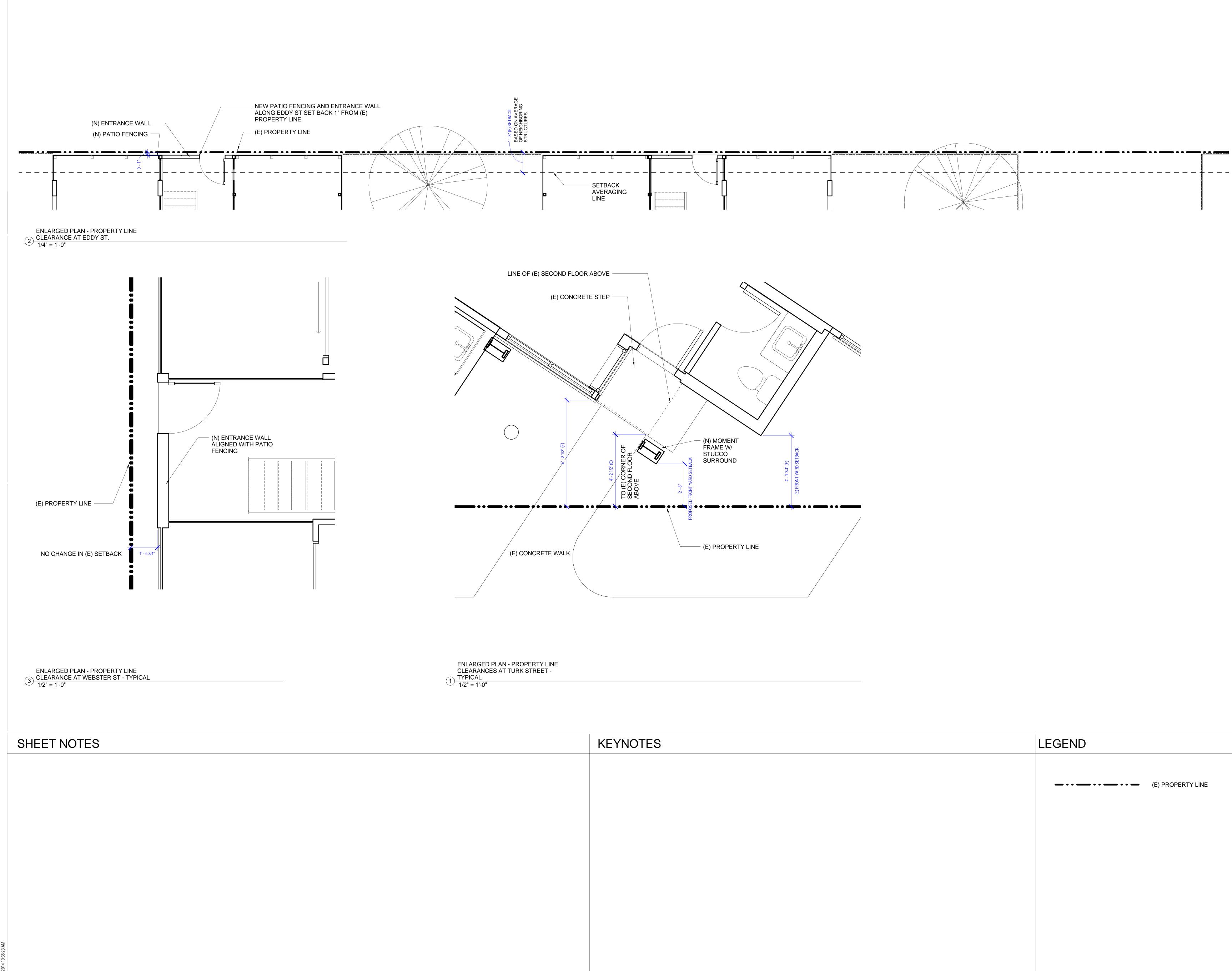
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Tel (415) 963.4303 Fax (415) 963.4341

STRUCTURAL:

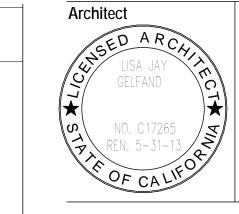
San Francisco, CA 94102





SHEET NOTES	KEYNOTES
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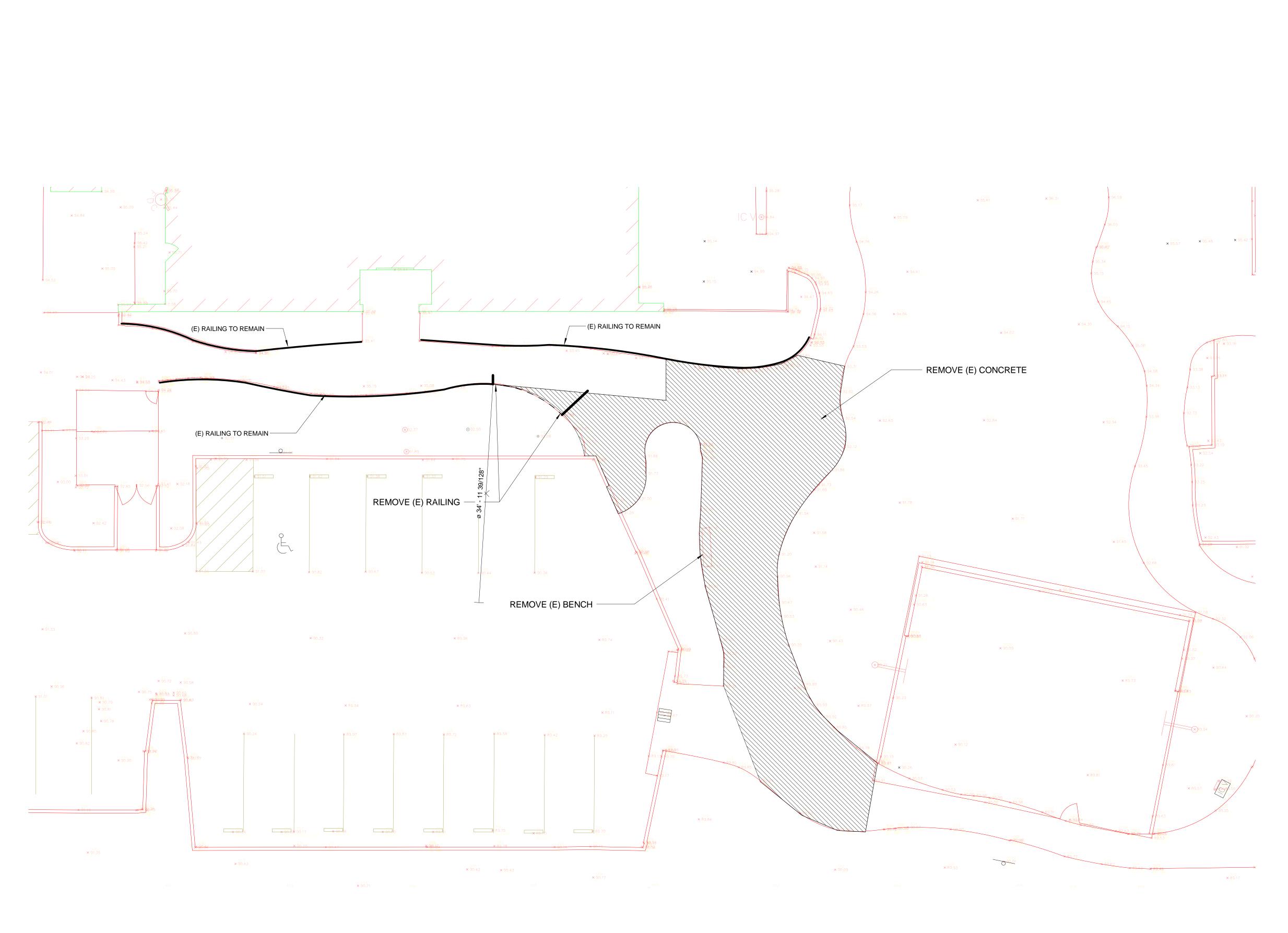




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 $1 \frac{\text{ENLARGED RAMP AND PATH DEMO}}{1/8" = 1'-0"}$ 

10.26.20 444

# SHEET NOTES

# KEYNOTES

# LEGEND

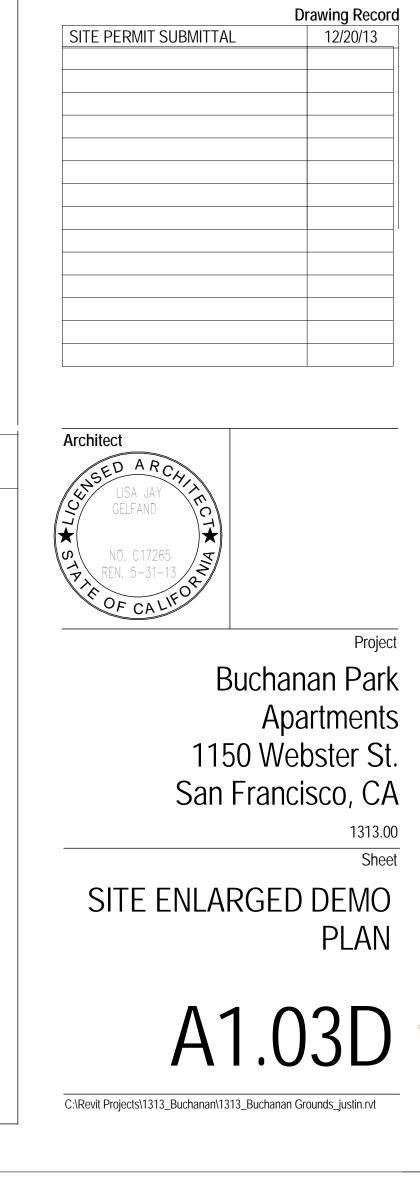
RE	MOVE (E) CONCRETE
----	-------------------

EXCAVATE, PREPARE FOR (N) CONCRETE FOOTING - SSD

PREP GRADE FOR NEW SIDEWALK

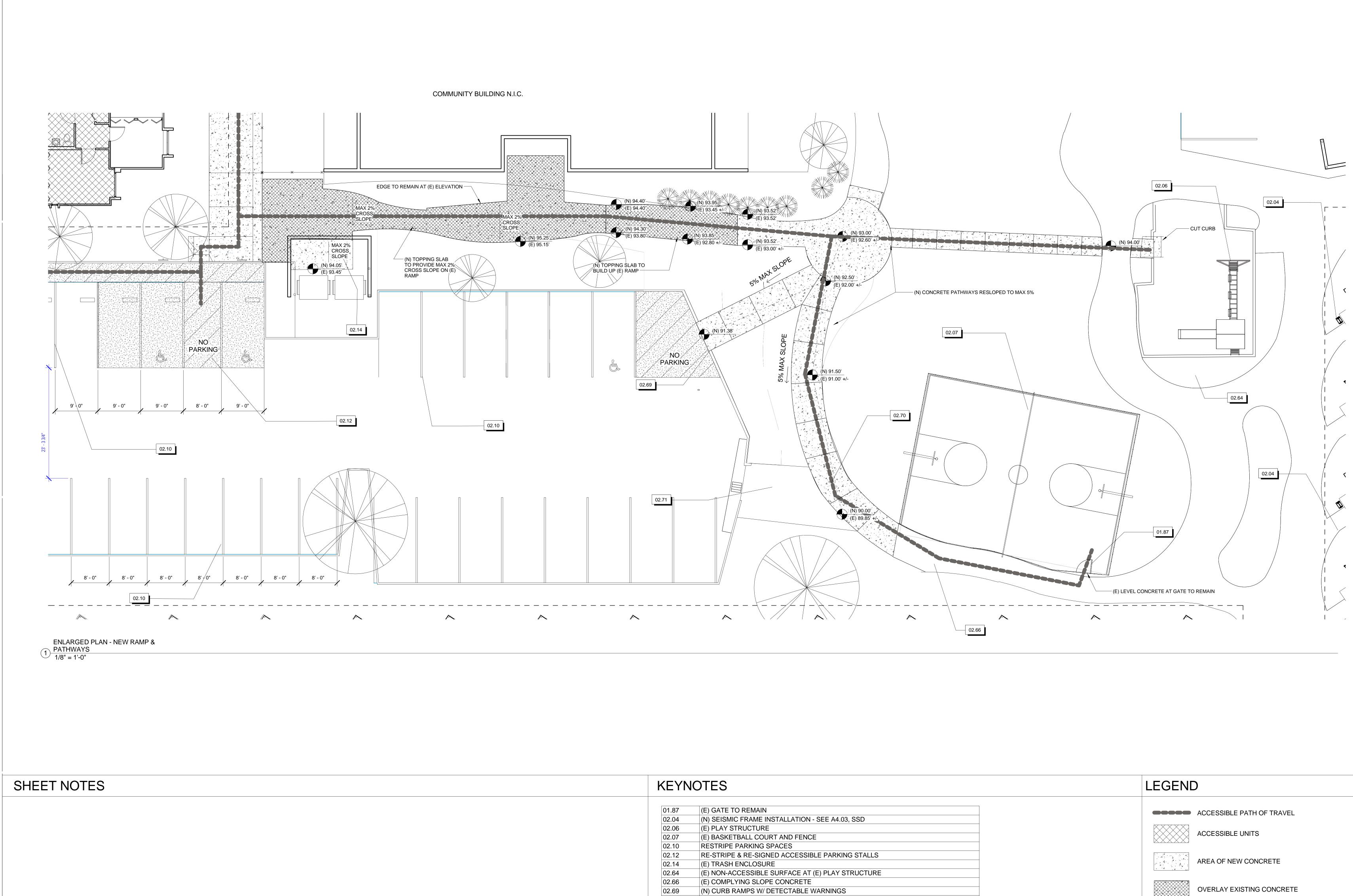
.....

REMOVE (E) ASPHALT



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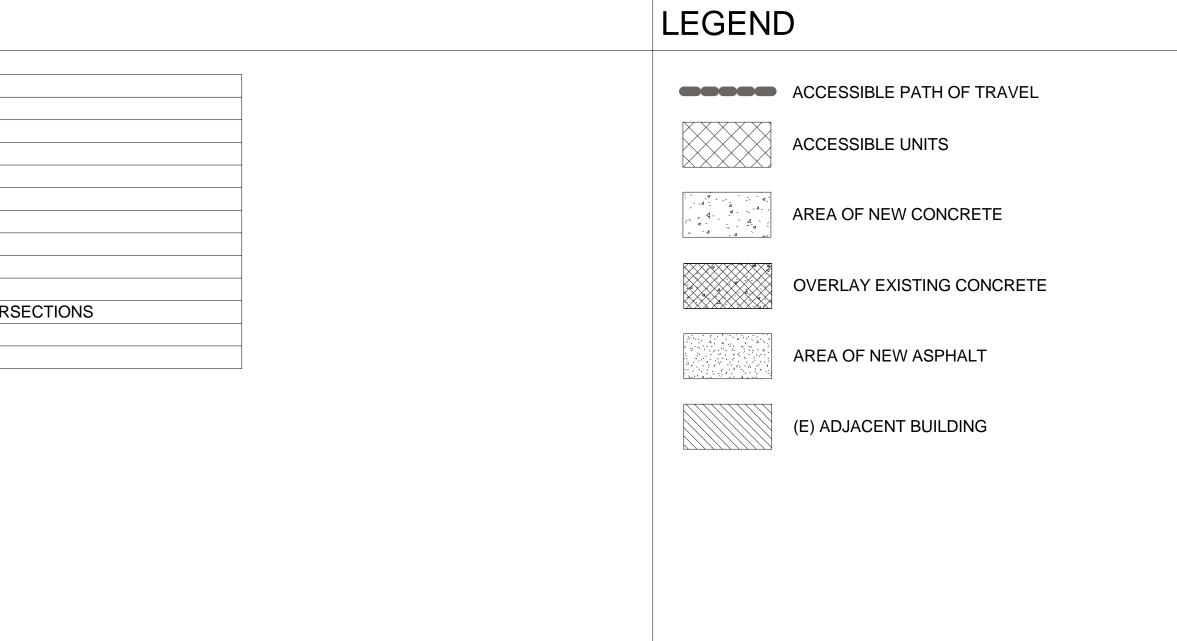




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KEYN	IOTES
01.87	(E) GATE TO REMAIN
02.04	(N) SEISMIC FRAME INSTALLATION - SEE A4.03, SSD
02.06	(E) PLAY STRUCTURE
02.07	(E) BASKETBALL COURT AND FENCE
02.10	RESTRIPE PARKING SPACES
02.12	RE-STRIPE & RE-SIGNED ACCESSIBLE PARKING STALLS
02.14	(E) TRASH ENCLOSURE
02.64	(E) NON-ACCESSIBLE SURFACE AT (E) PLAY STRUCTURE
02.66	(E) COMPLYING SLOPE CONCRETE
02.69	(N) CURB RAMPS W/ DETECTABLE WARNINGS
02.70	2% MAX SLOPE ANY DIRECTION AT 5' X 5' TURN AND INTERS
02.71	(E) CONCRETE WALK TO REMAIN
03.13	CONCRETE RAMP

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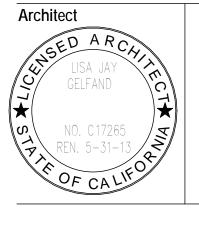




Project

Buchanan Park

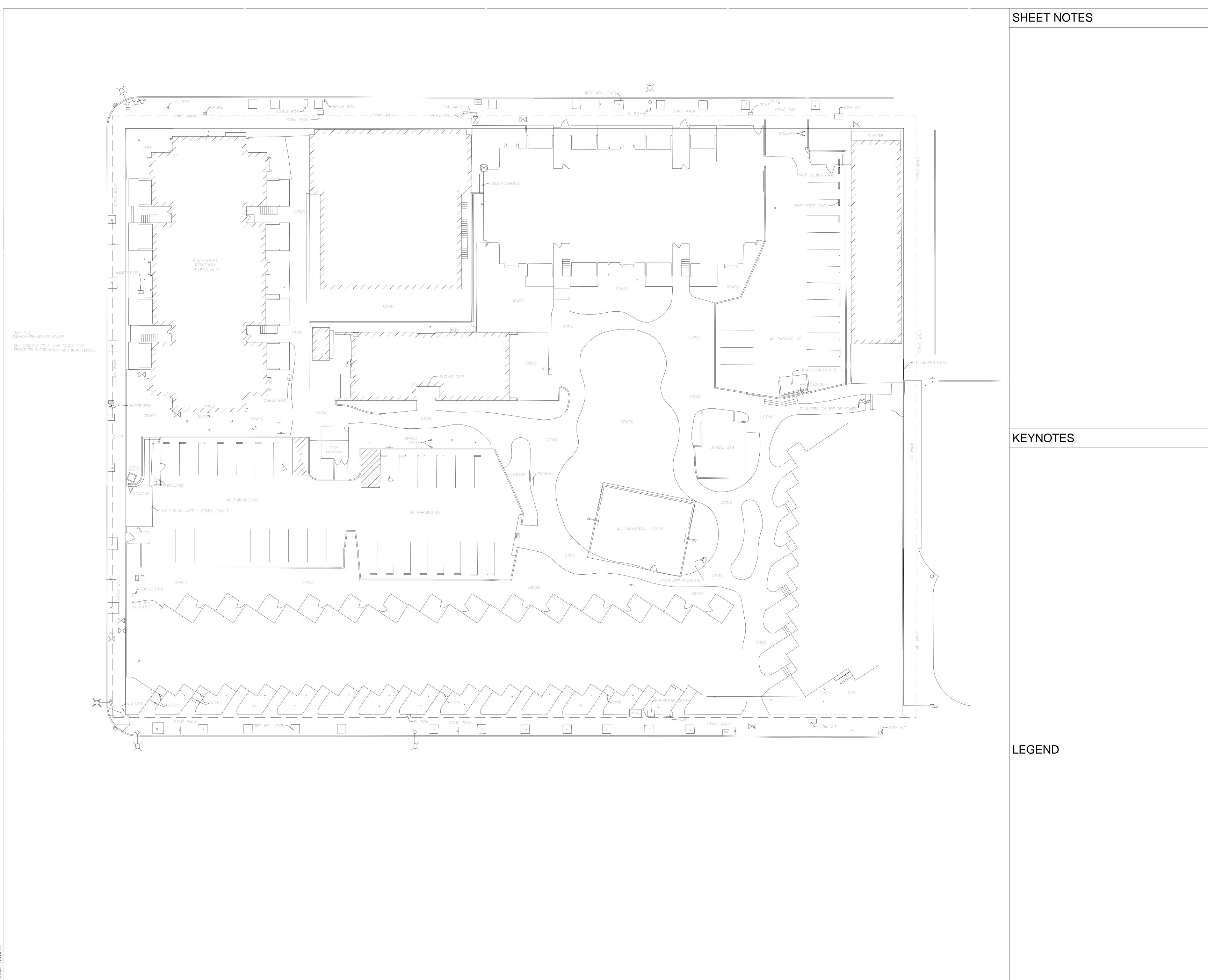
Apartments 1150 Webster St.



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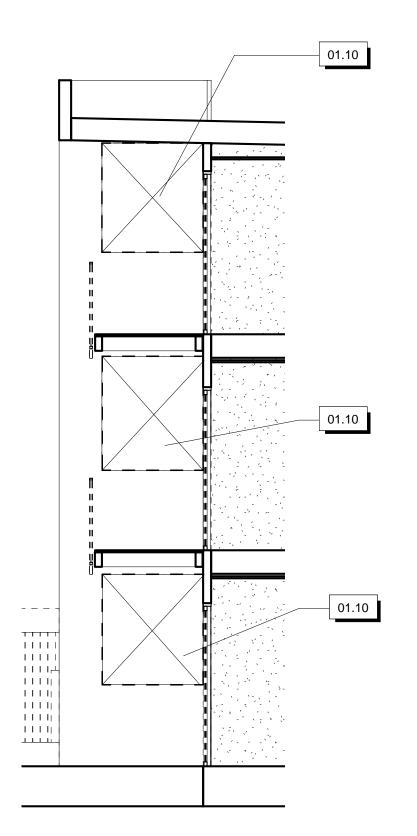


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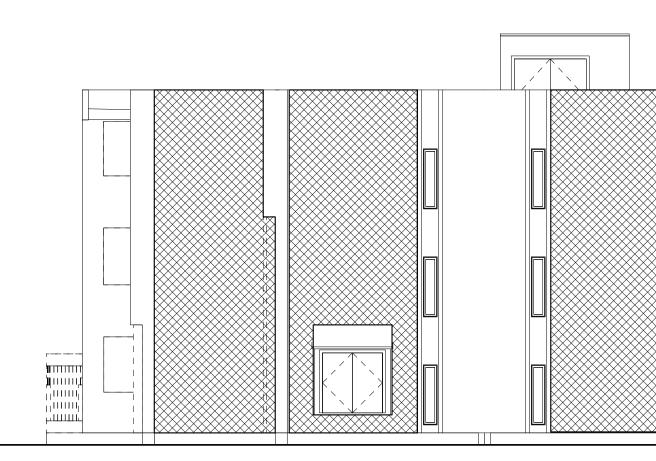


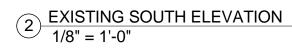
5 DEMO ELEVATION - BALCONY FIN WALL 1/4" = 1'-0"

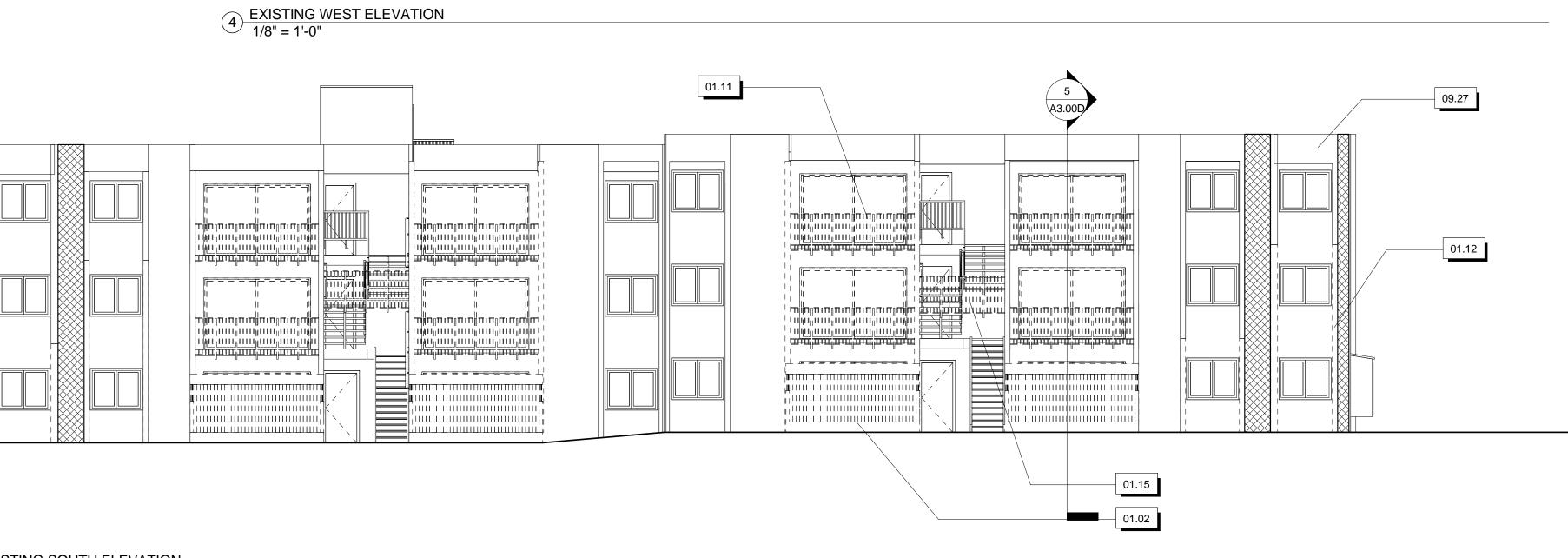


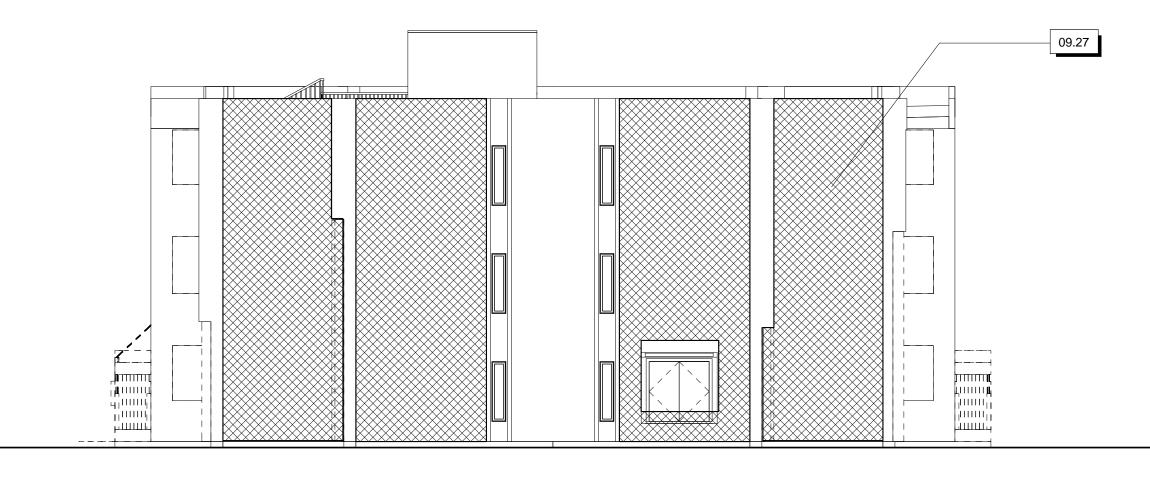
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# 3 EXISTING EAST ELEVATION1/8" = 1'-0"









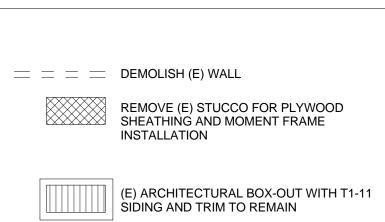
# SHEET NOTES

1. CLEAN AND PREPARE ALL (E) STUCCO SURFACES FOR NEW PAINT

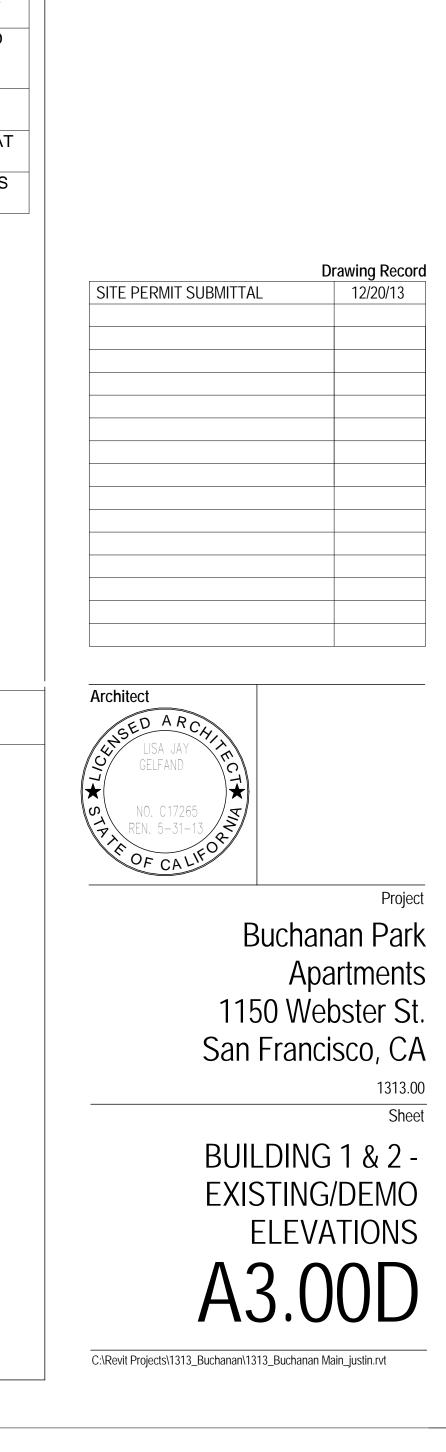
# KEYNOTES

01.02	REMOVE (E) PATIO FENCING AND POSTS AT ALL
01.00	UNITS
01.08	REMOVE (E) METAL SECURITY GATE, FENCING AND FOOTINGS - PRESERVE CALL BOX AND CARD READEF FOR REINSTALLATION
01.10	CUT OPENING IN (E) CEMENT PLASTER WALLS AT 2 BR UNITS - SEE 5/A3.00D
01.11	REMOVE (E) WING WALLS, RAILINGS, DECKING AND FRAMING AT BALCONIES AT 1-BR UNITS FOR (N) MOMENT FRAME CONNECTIONS
01.12	REMOVE (E) FIN WALL - SEE ELEVATION FOR LOCATIONS
01.15	REMOVE (E) WOOD DECKING AND WOOD RAILING AT LANDINGS. (E) FRAMING TO REMAIN
09.27	PATCH AND REPAIR EXISTING CEMENT PLASTER AS REQUIRED

# LEGEND



(E) ARCHITECTURAL BOX-OUT WITH T1-11 SIDING AND TRIM TO BE REMOVED

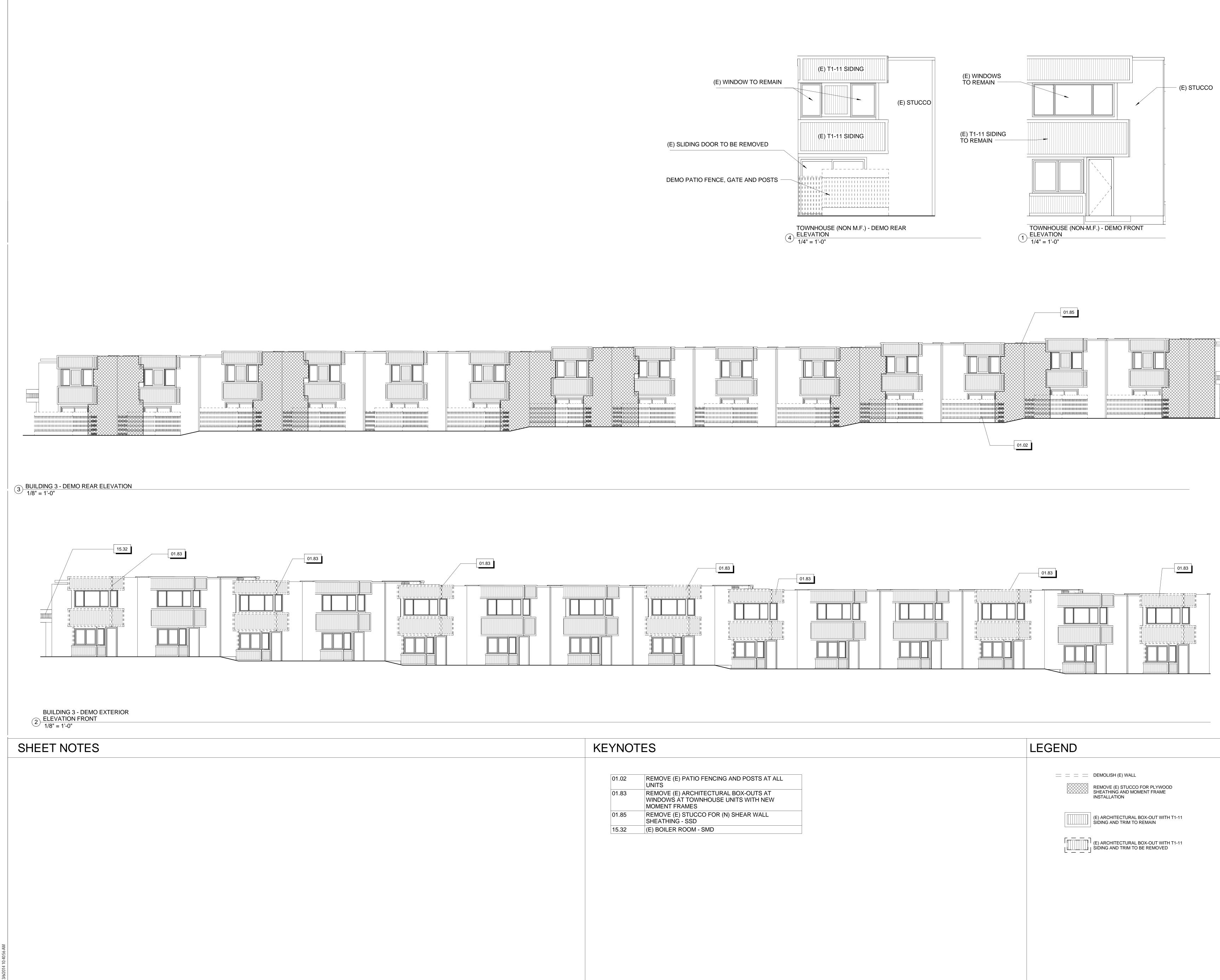


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STRUCTURAL:

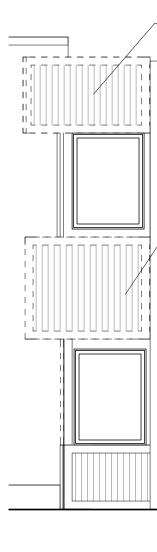




01.02REMOVE (E) PATIO FENCING AND POSTS AT A UNITS01.83REMOVE (E) ARCHITECTURAL BOX-OUTS AT WINDOWS AT TOWNHOUSE UNITS WITH NEW MOMENT FRAMES01.85REMOVE (E) STUCCO FOR (N) SHEAR WALL SHEATHING - SSD15.32(E) BOILER ROOM - SMD	SHEET NOTES	KEYNOTES
		01.83 REMOVE (E) ARCHITECTURAL BOX-OUTS A WINDOWS AT TOWNHOUSE UNITS WITH NE
15.32 (E) BOILER ROOM - SMD		01.85 REMOVE (E) STUCCO FOR (N) SHEAR WALL SHEATHING - SSD
		15.32 (E) BOILER ROOM - SMD

LEGEND
REMOVE (E) STUCCO FOR PLYWOOD SHEATHING AND MOMENT FRAME INSTALLATION
(E) ARCHITECTURAL BOX-OUT WITH T1-11 SIDING AND TRIM TO REMAIN
(E) ARCHITECTURAL BOX-OUT WITH T1-11 SIDING AND TRIM TO BE REMOVED





M.F. TOWNHOUSE - SIDE DEMO 6 ELEVATION FRONT 1/4" = 1'-0"

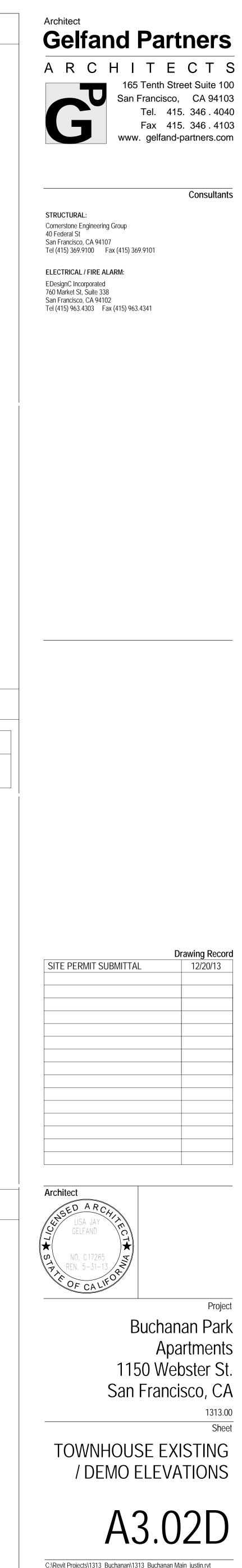
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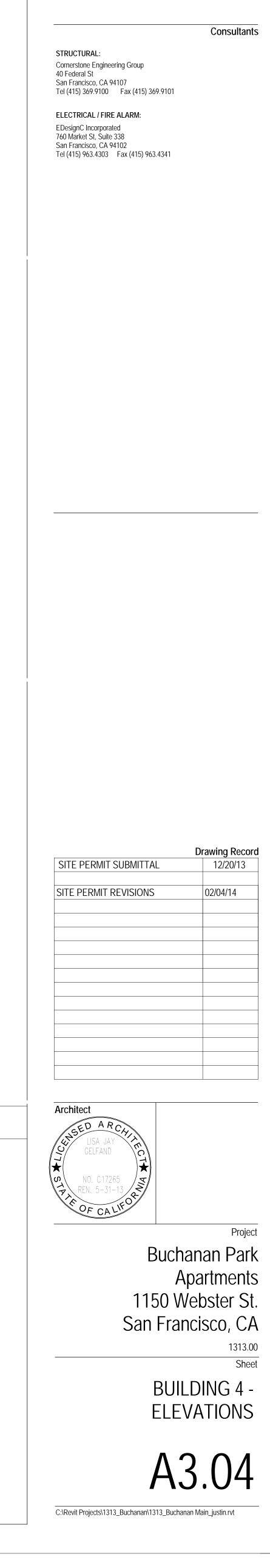


M.F. TOWNHOUSE - REAR DEMO	M.F. TOWNHOUSE - DEMO SIDE
ELEVATION	ELEVATION - REAR
<u> </u>	4 1/4" = 1'-0"









Architect

**Gelfand Partners** 

ARCHITECTS

Street Suite 100 CA 94103 . 346 . 4040

415. 346 . 4103

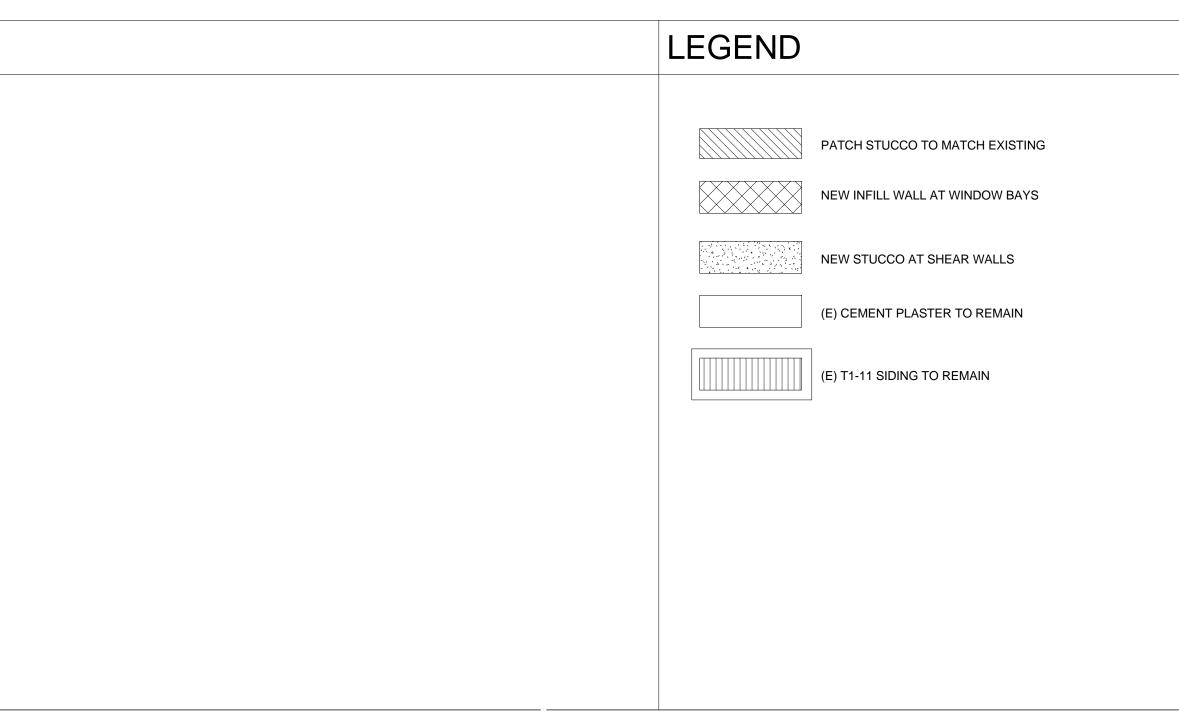
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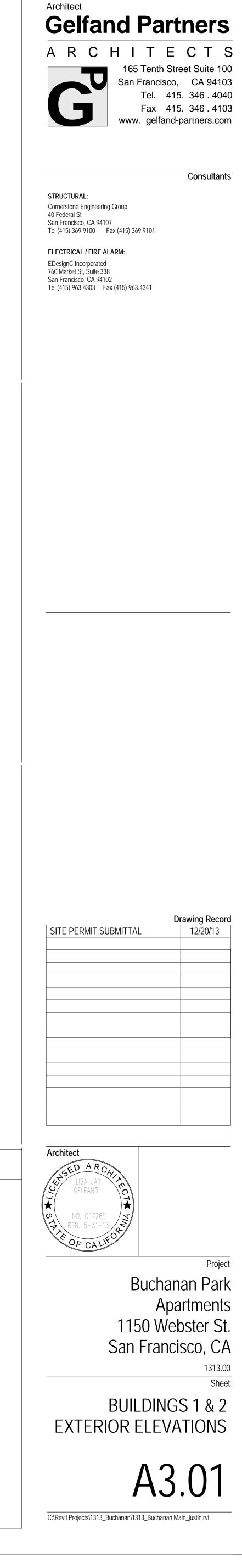


05.22	NEW METAL RAILING PANEL SYSTEM AT BALCONIES
05.23	NEW METAL RAILING PANEL SYSTEM AT STAIR LANDINGS
06.24	INFILL WALL AT WINDOW BAY FIN WALLS - SEE ELEVATIONS FOR LOCATIONS
06.26	NEW 6'-0" TALL PATIO FENCE WITH METAL MESH PANEL
08.32	(N) REDUCED WIDTH SLIDING DOOR AND INFILL WALL
08.33	(N) SLIDING GLASS DOOR IN (E) OPENING
16.20	(E) ELECTRICAL CABINET



	05.20	METAL MESH ENCLOSURE AT ENTRANCE
	06.26	NEW 6'-0" TALL PATIO FENCE WITH METAL MESH
	00120	PANEL
	16.20	(E) ELECTRICAL CABINET
	10.20	
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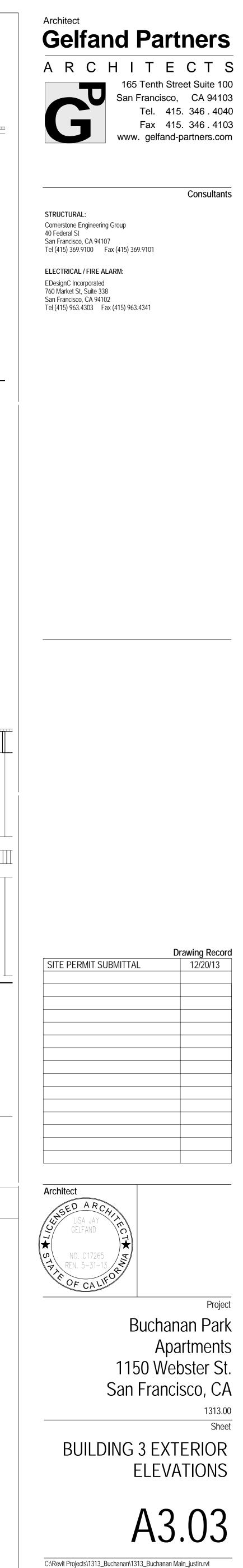


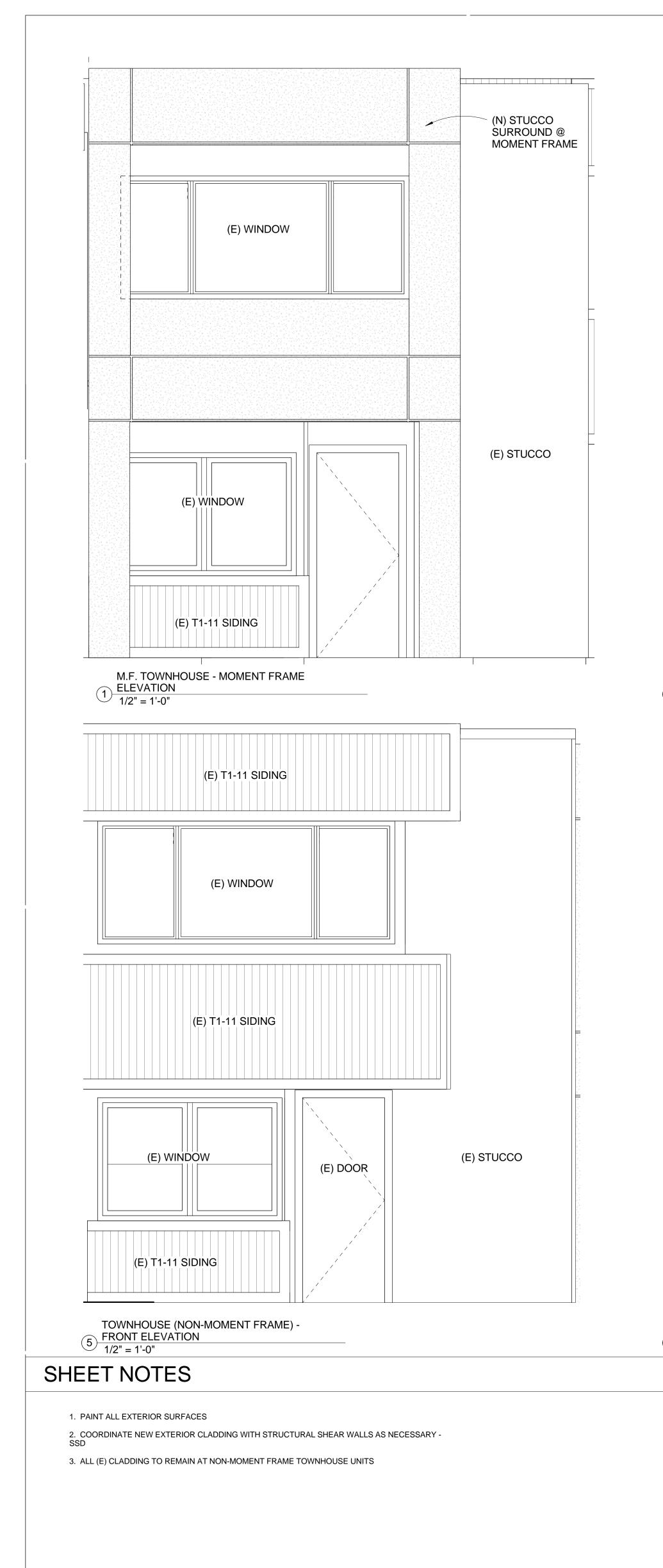




KEYNOTES
06.26 NEW 6'-0" TALL PATIO FENCE WITH METAL MESH PANEL

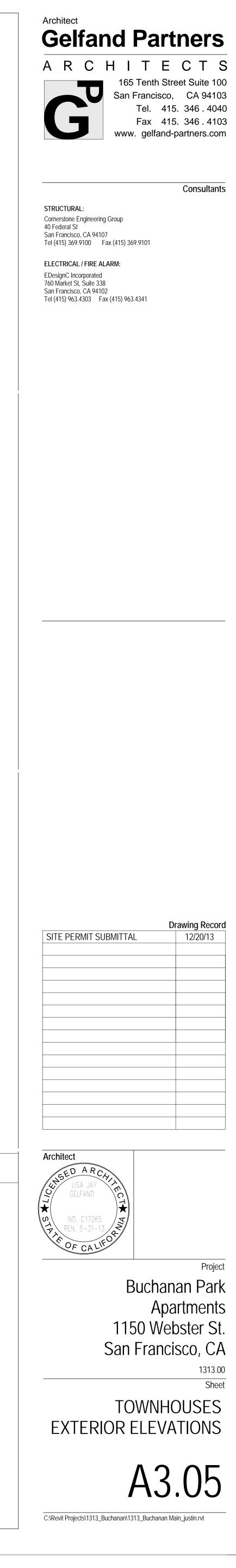








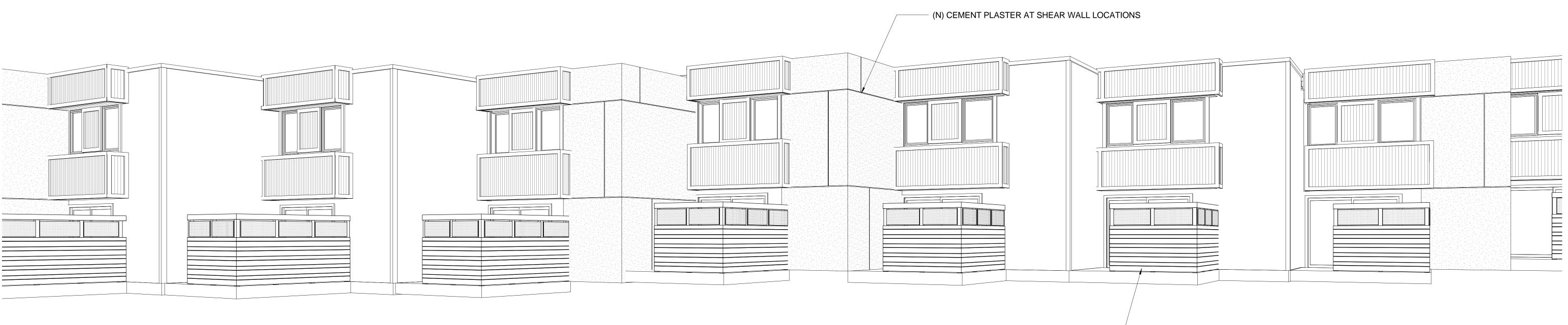
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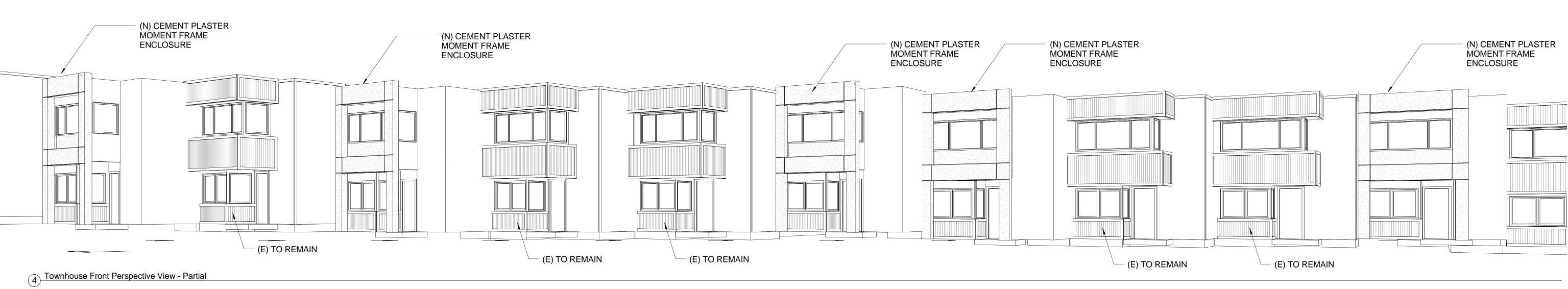


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2 Apt Building Courtyard Perspective

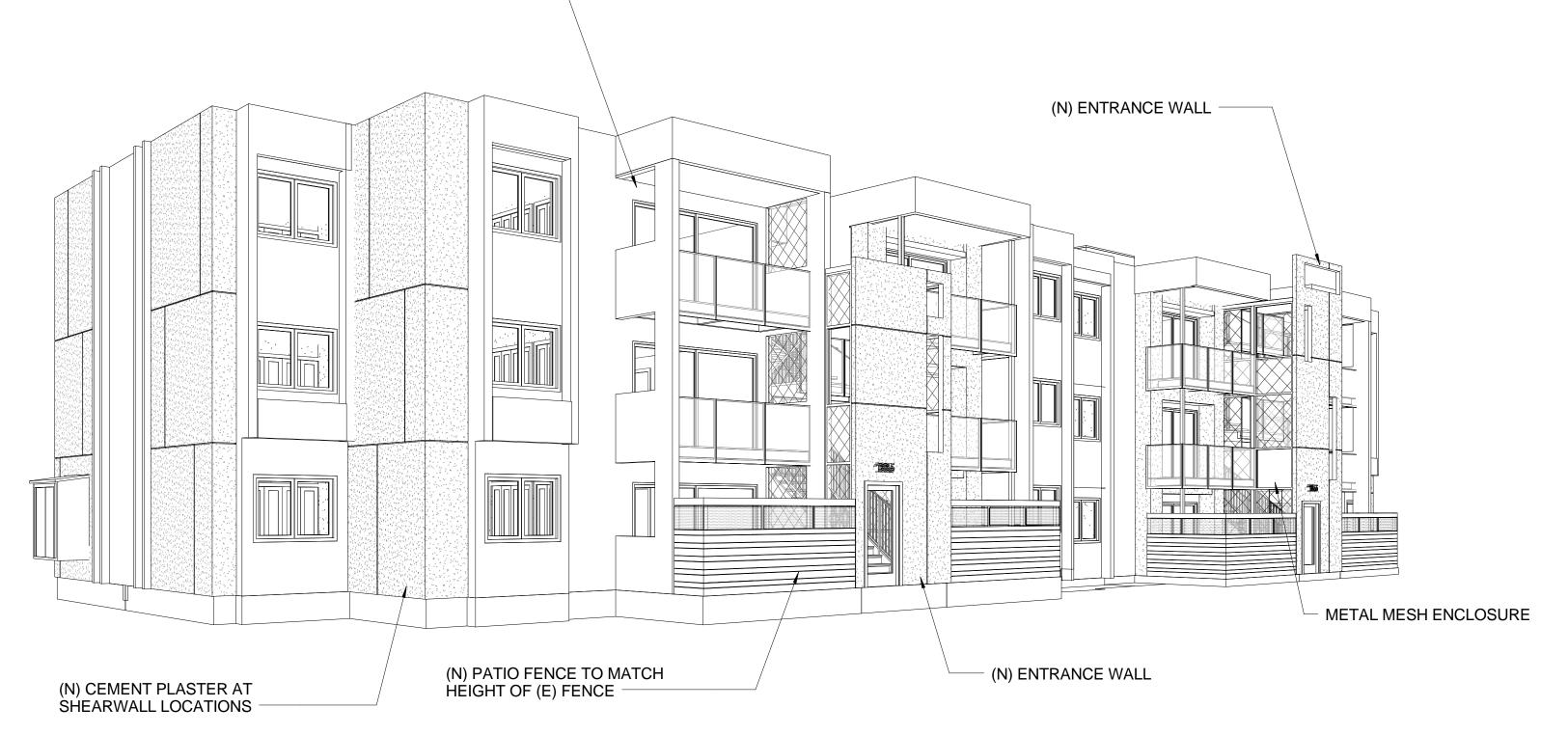


3 Townhouse Rear Perspective View - Partial



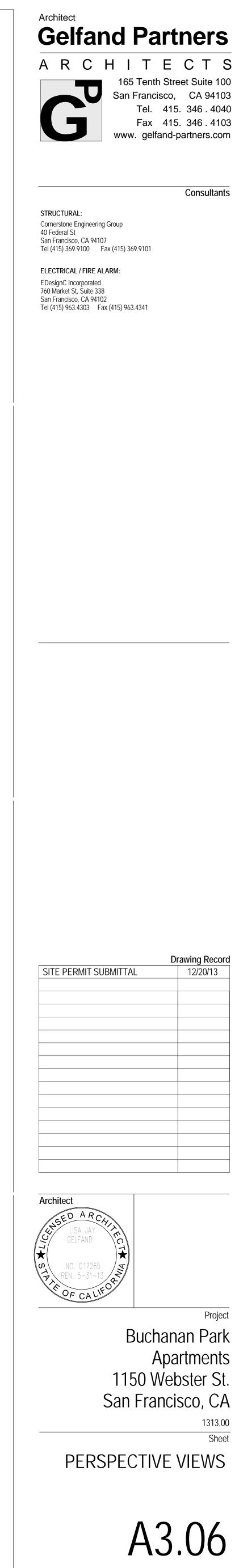
CUT OPENINGS IN (E) STUCCO WALLS

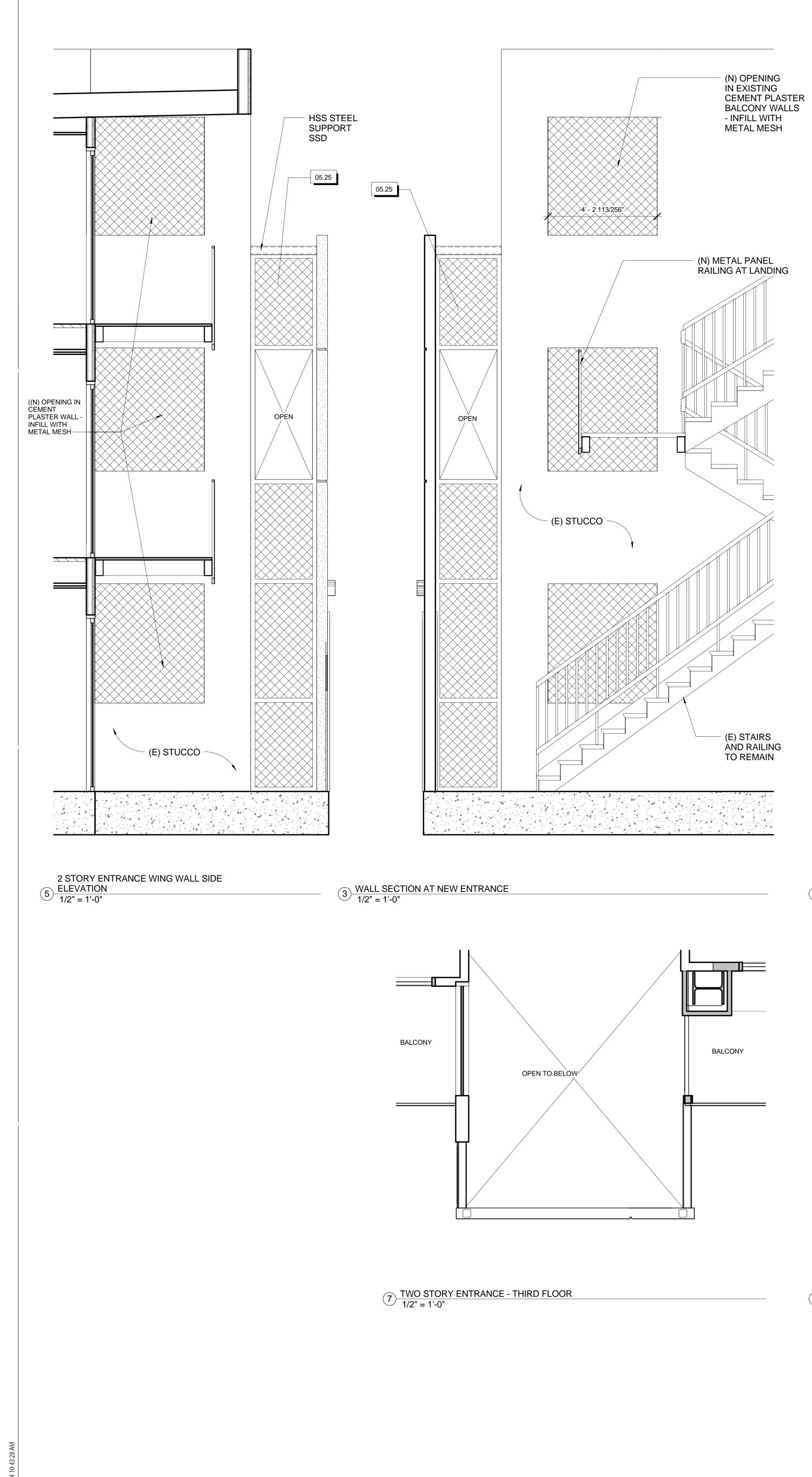
- NEW METAL PANEL RAILING AT BALCONIES



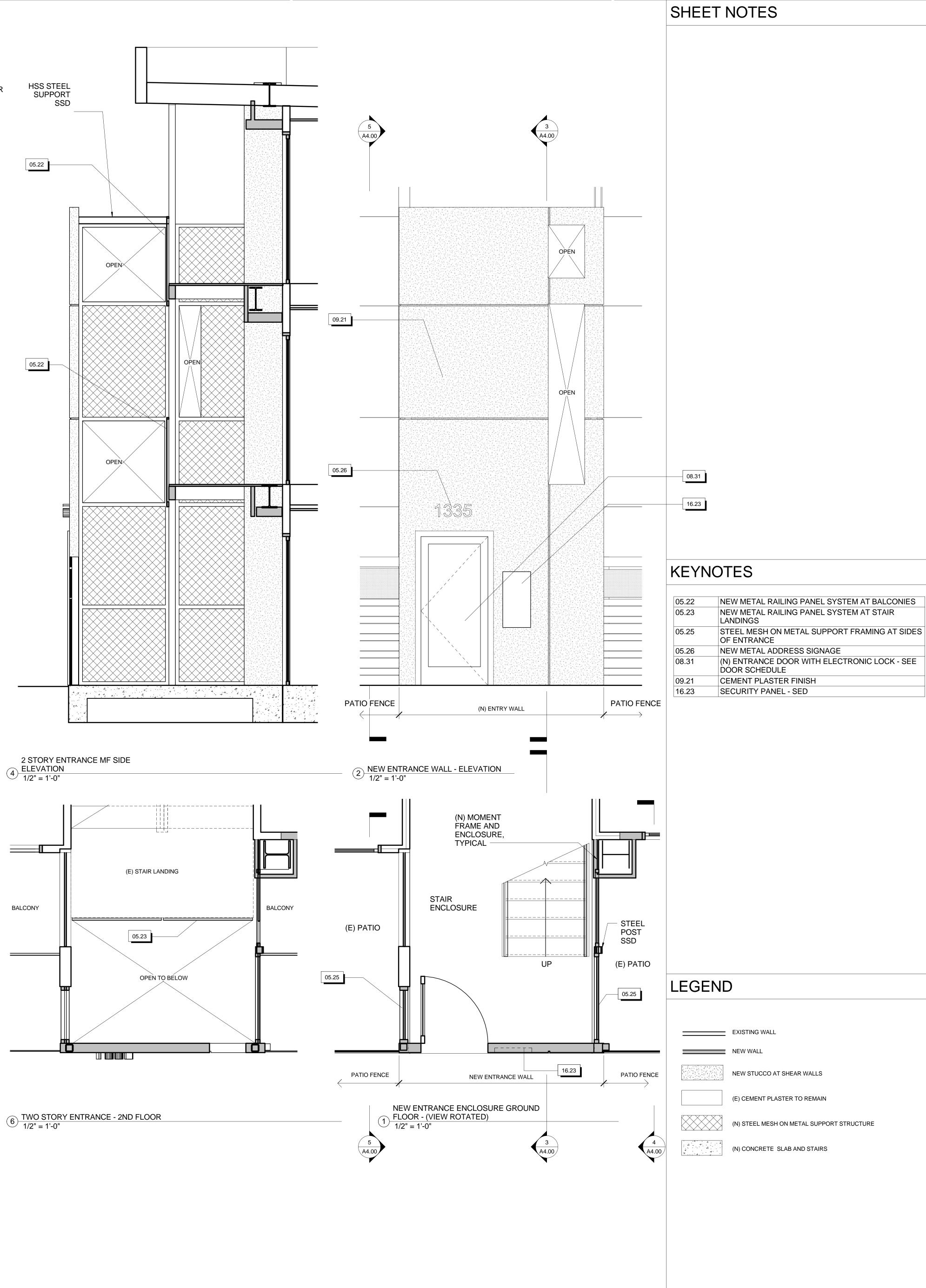
1 Apt Street Facade Perspective

(N) PATIO FENCING

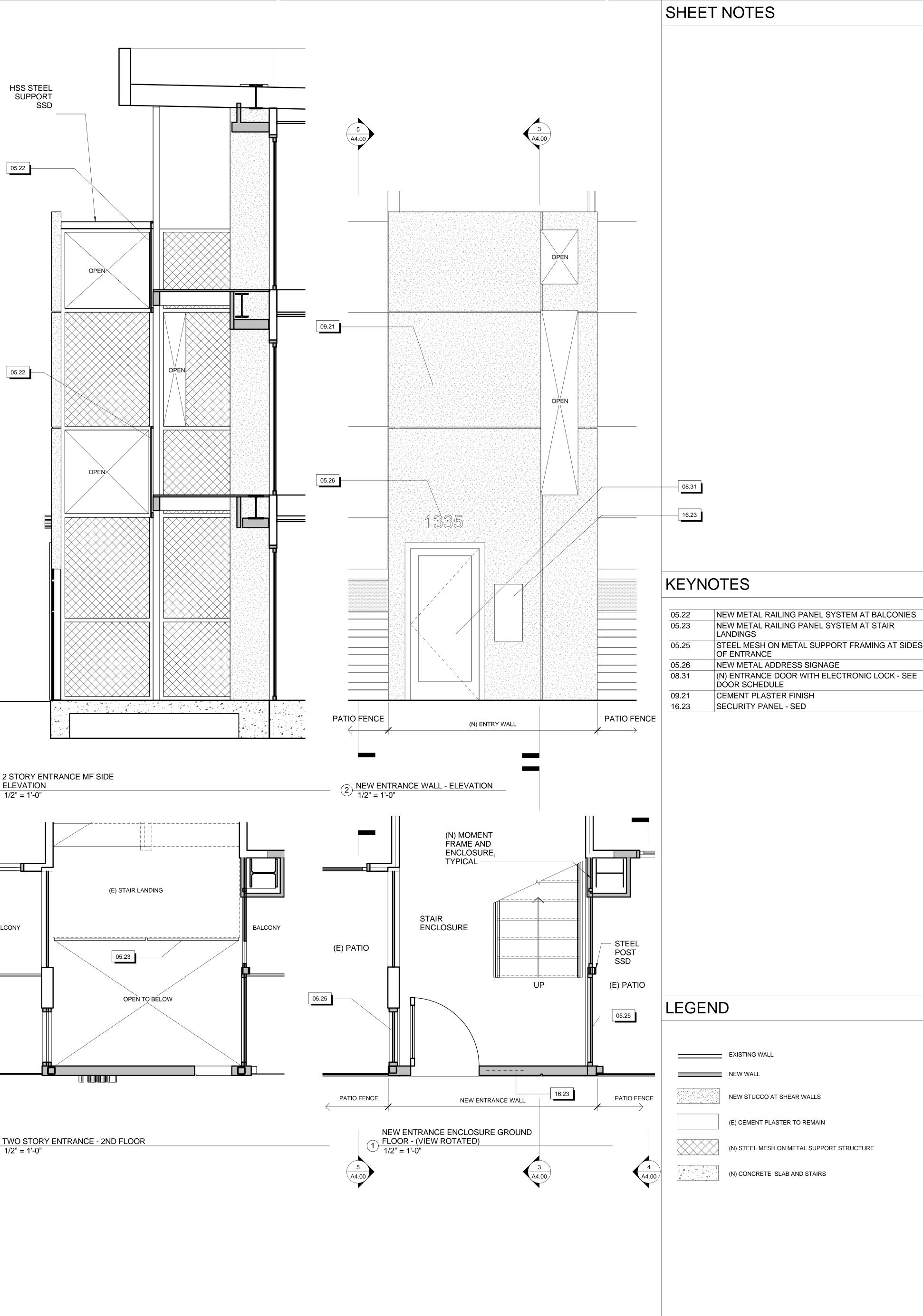


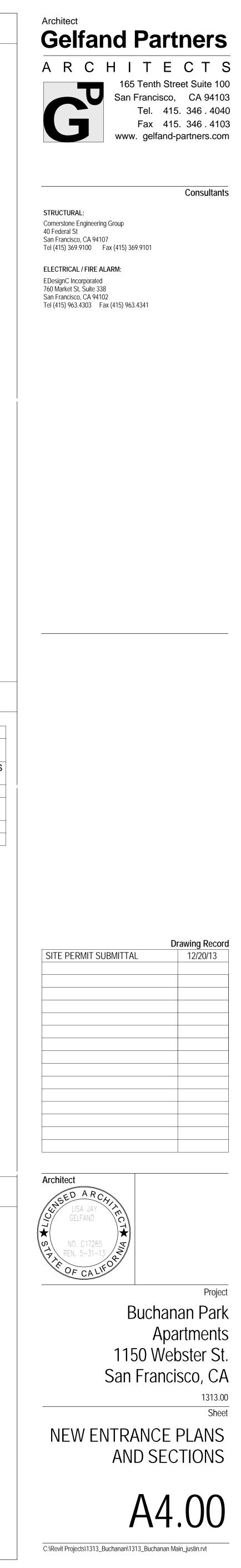


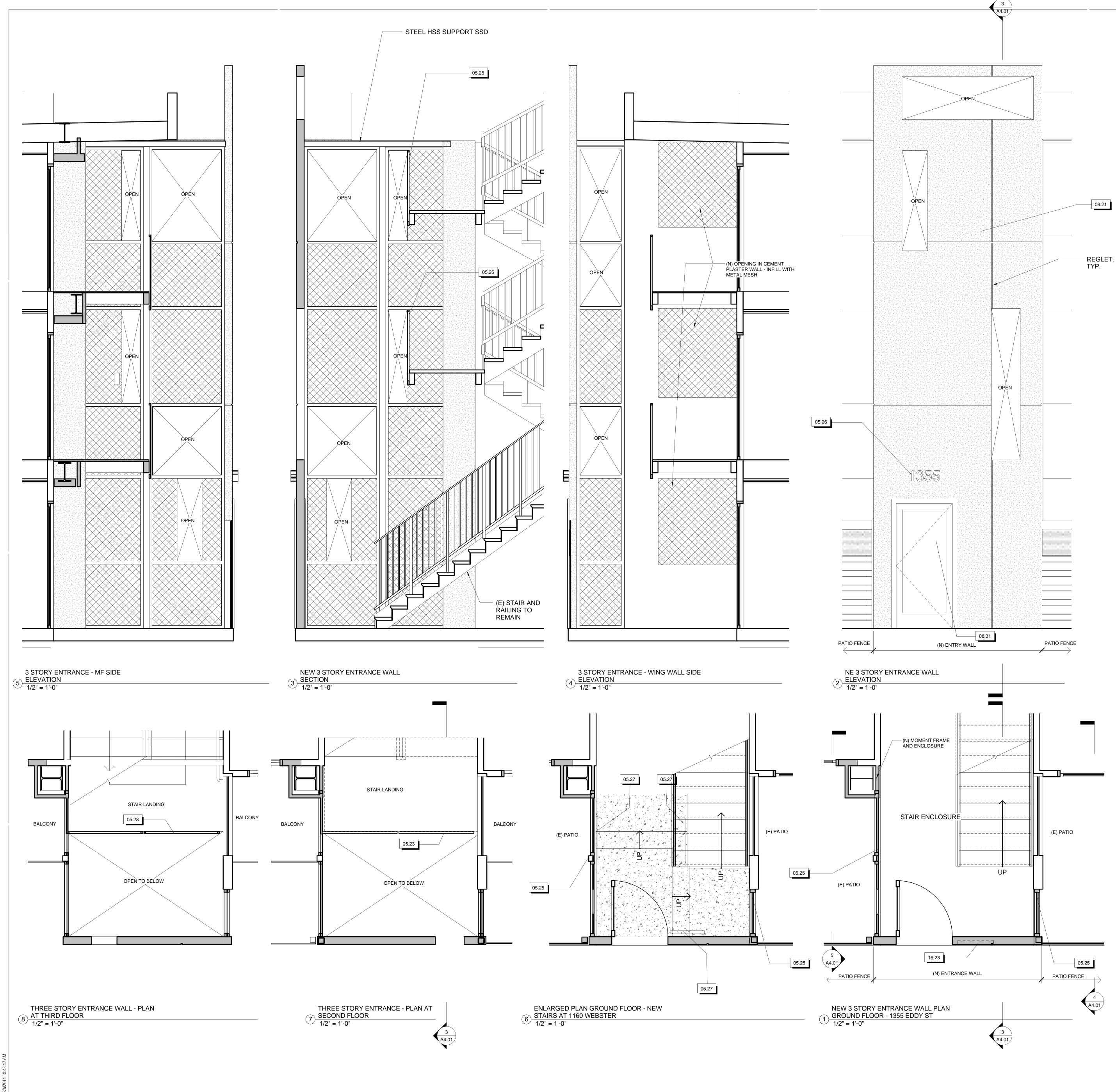
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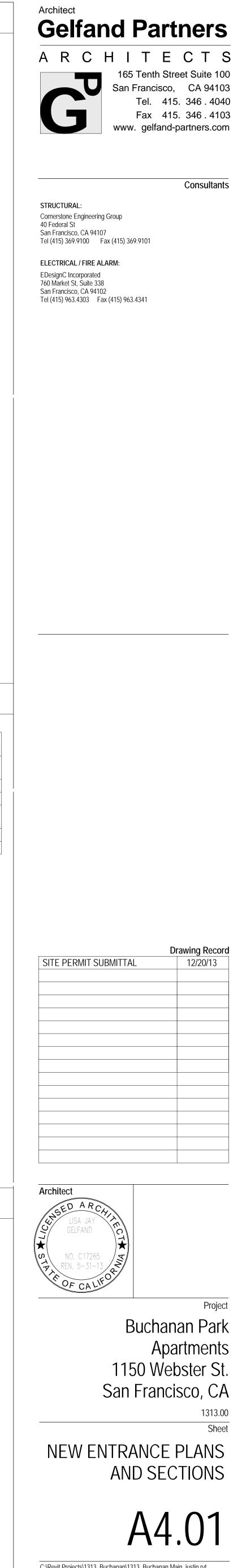
# SHEET NOTES

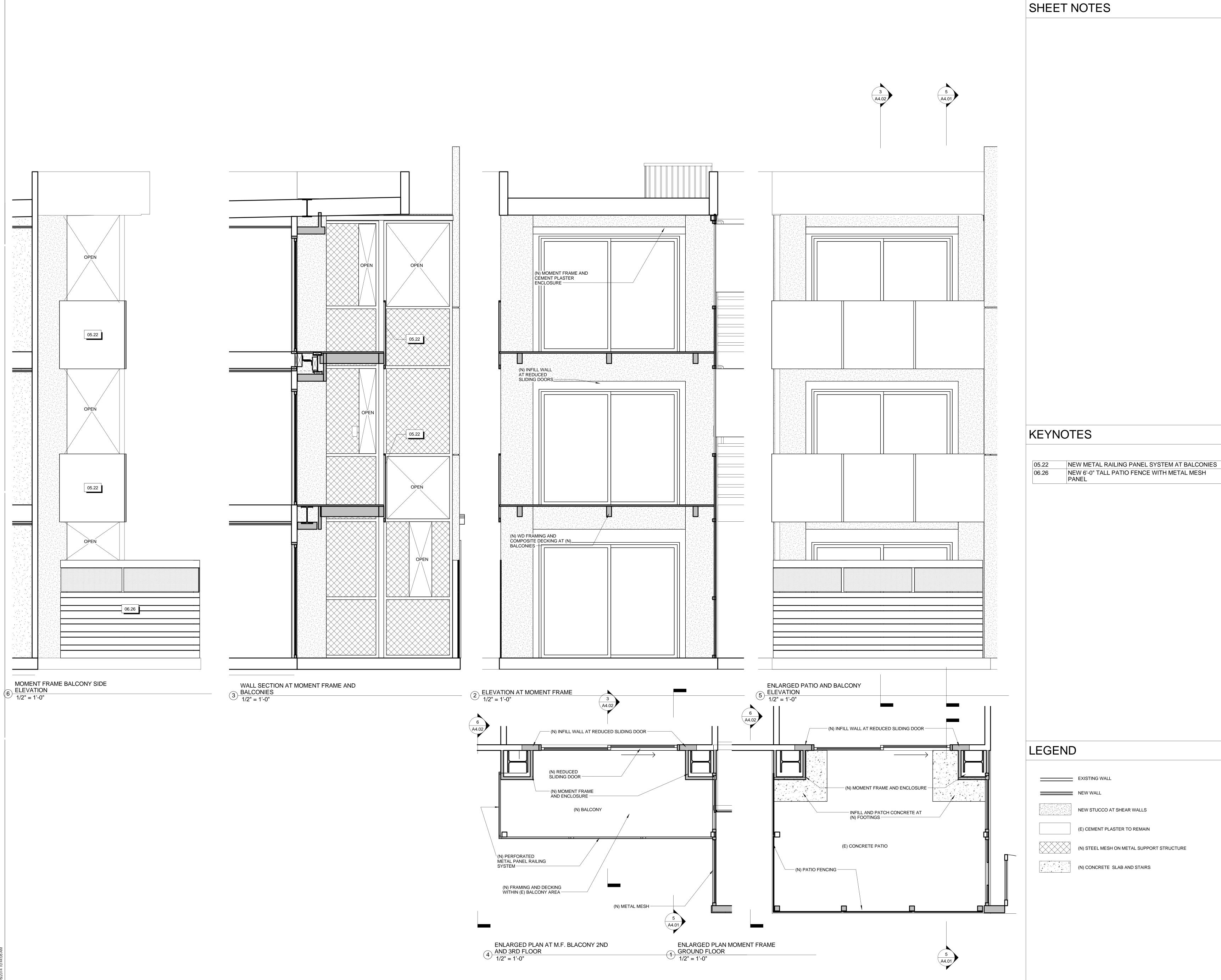
## KEYNOTES

05.23	NEW METAL RAILING PANEL SYSTEM AT STAIR LANDINGS
05.25	STEEL MESH ON METAL SUPPORT FRAMING AT SIDES OF ENTRANCE
05.26	NEW METAL ADDRESS SIGNAGE
05.27	NEW METAL RAILING
08.31	(N) ENTRANCE DOOR WITH ELECTRONIC LOCK - SEE DOOR SCHEDULE
09.21	CEMENT PLASTER FINISH
16.23	SECURITY PANEL - SED

# LEGEND

 EXISTING WALL
 NEW WALL
NEW STUCCO AT SHEAR WALLS
(E) CEMENT PLASTER TO REMAIN
(N) STEEL MESH ON METAL SUPPORT STRUCTURE
(N) CONCRETE SLAB AND STAIRS

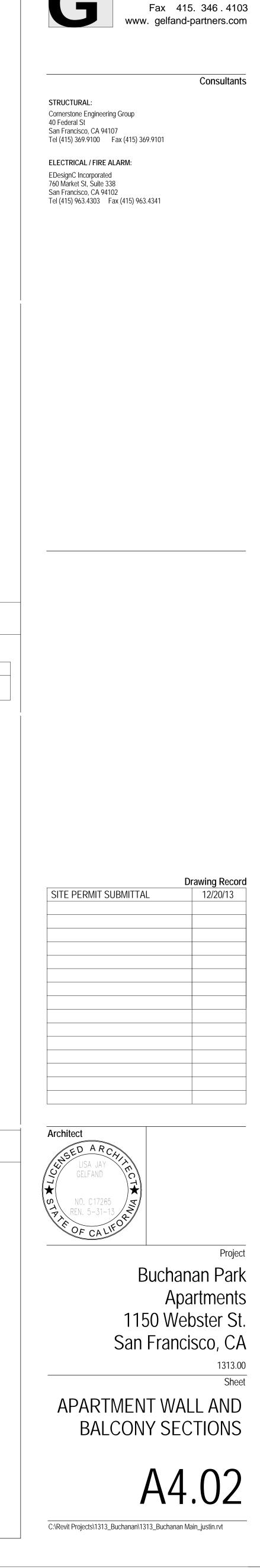




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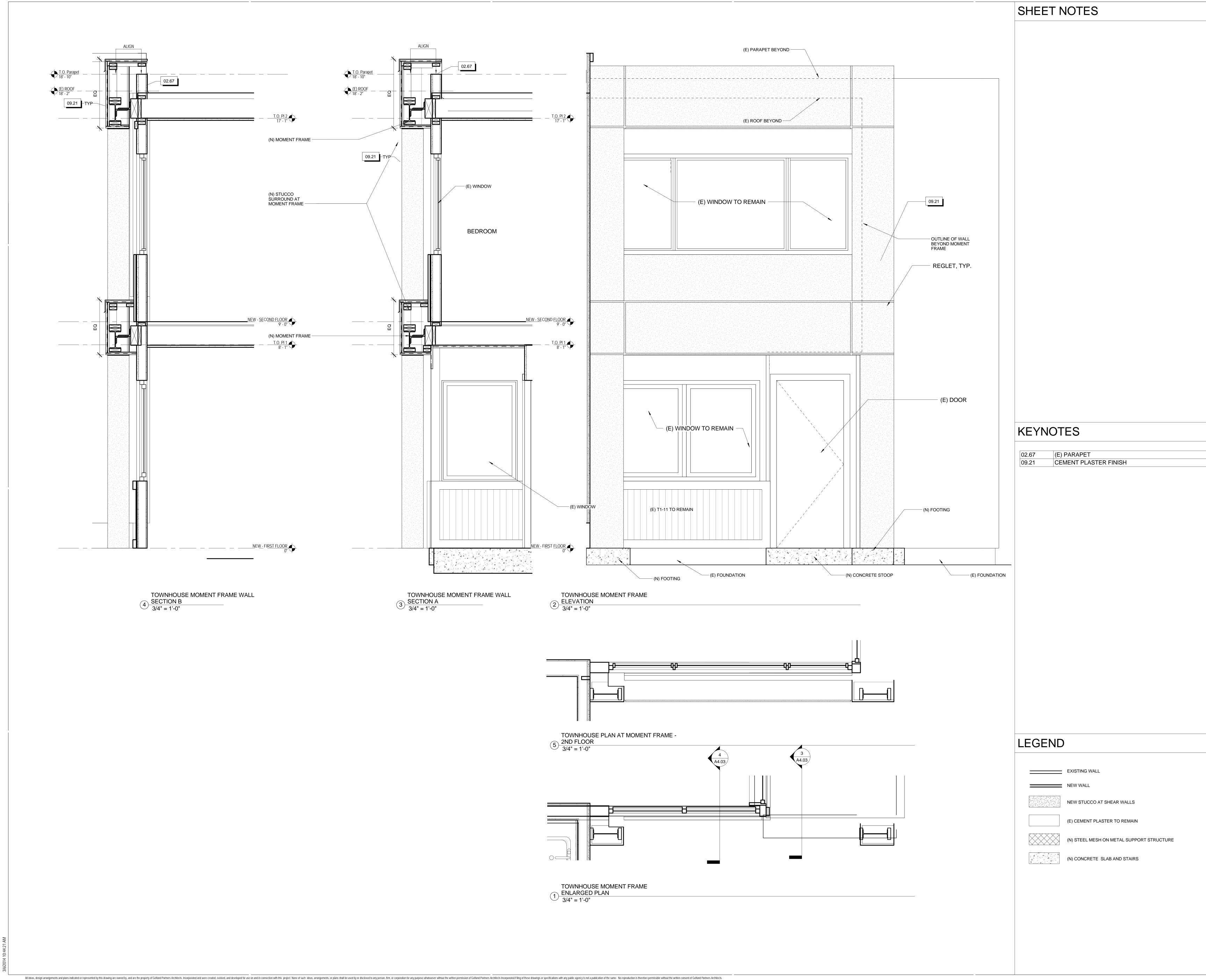


Architect

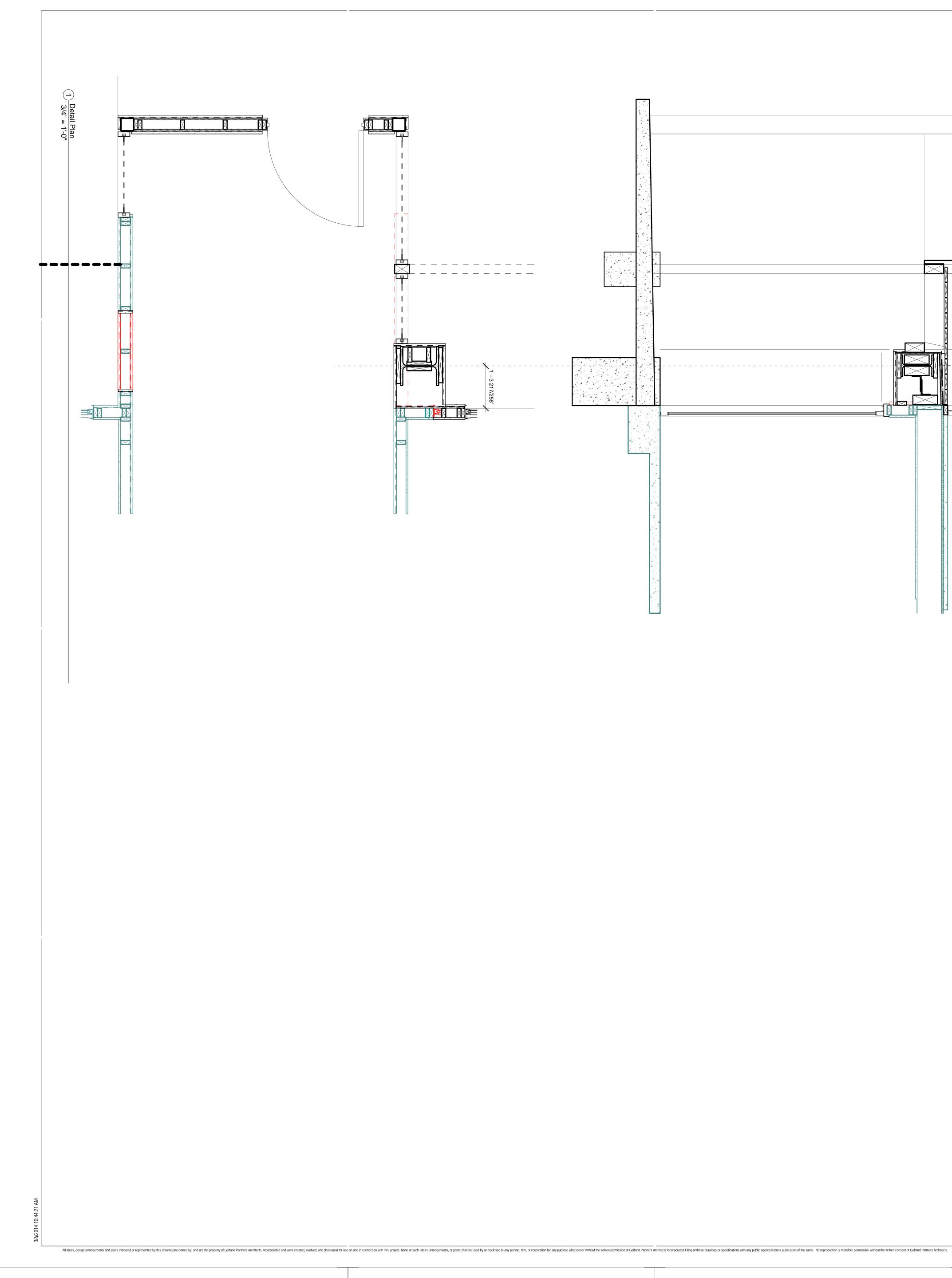
**Gelfand Partners** 

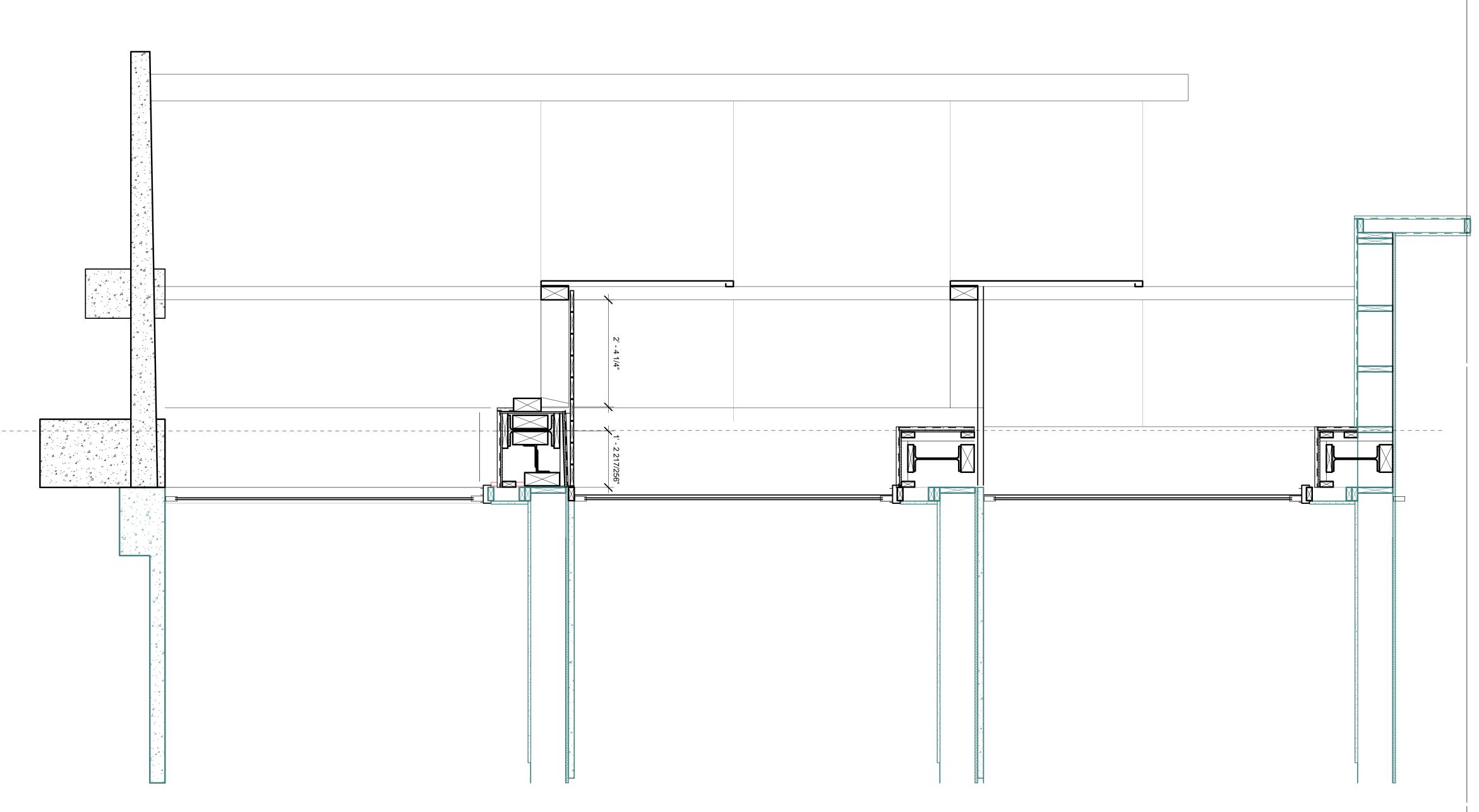
ARCHITECTS

Street Suite 100co,CA 94103.15.346 . 4040















PERSPECTIVE - 2 STORY WALL - M.F. 2 SIDE

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PERSPECTIVE - 2 STORY WALL - (E) BALCONY SIDE



