



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 25, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1244 Treat Avenue</b>	Case No.: <b>2014.0002V</b>
Cross Street(s): <b>25th St/26th St</b>	Building Permit:
Block / Lot No.: <b>6524/009A</b>	Applicant/Agent: <b>Troy Kashanipour</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>415.431.0869</b>
Area Plan: <b>Mission</b>	E-Mail: <b>tk@tkworkshop.com</b>

### PROJECT DESCRIPTION

The proposal includes replacement of an existing one-story detached storage shed with a new one-story detached, one-car garage (with a roof deck accessed by a new spiral staircase) located in the rear yard of an existing two-unit residential property.

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard of 45% of the lot depth (or 50.6 feet). The new proposal would abut the rear property line and be located entirely within the required rear yard; therefore, the project requires a variance.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Chris Townes**

Telephone: **415-575-9195** Mail: **[Chris.Townes@sfgov.org](mailto:Chris.Townes@sfgov.org)**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2014.0002V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

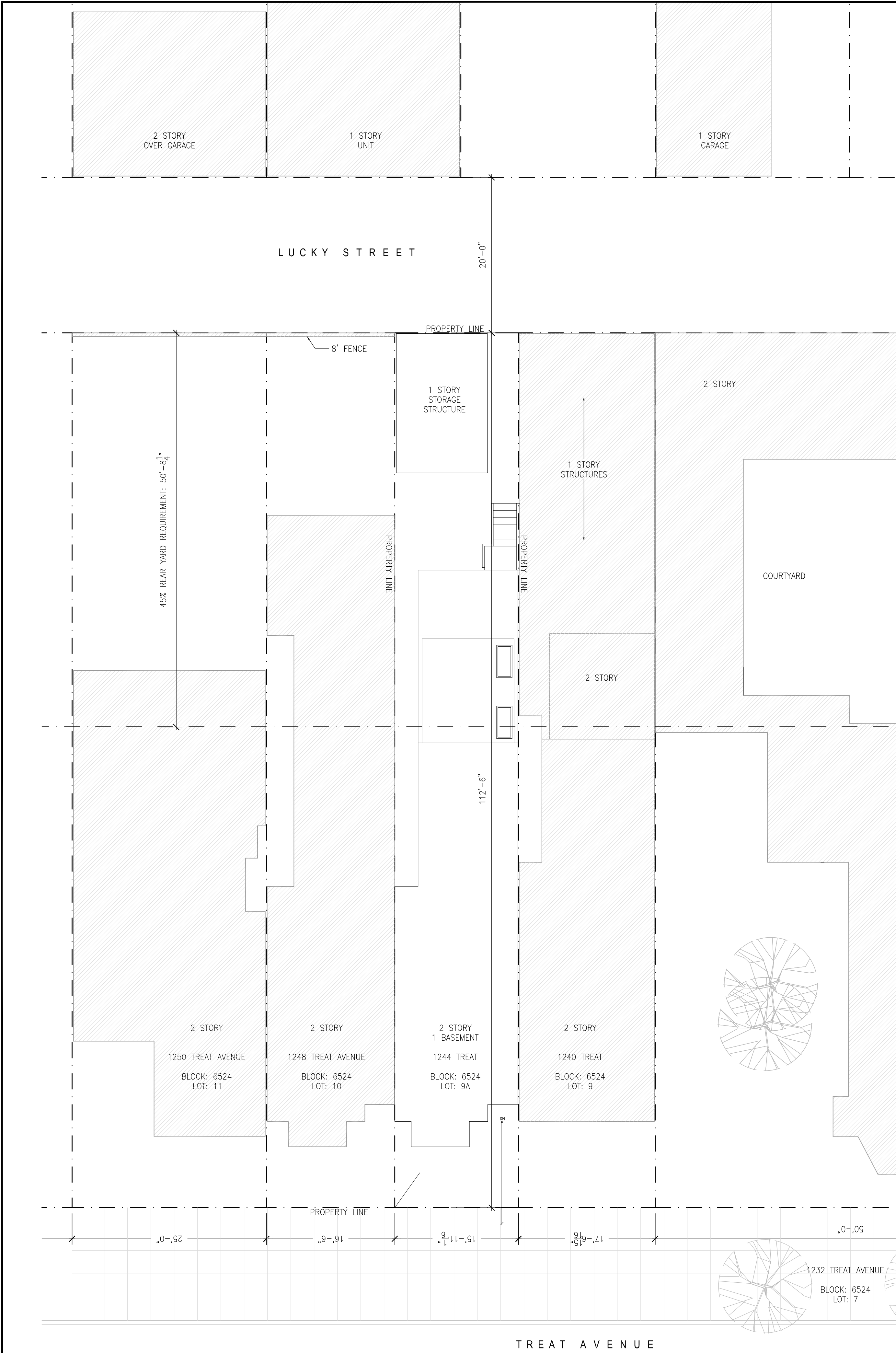
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

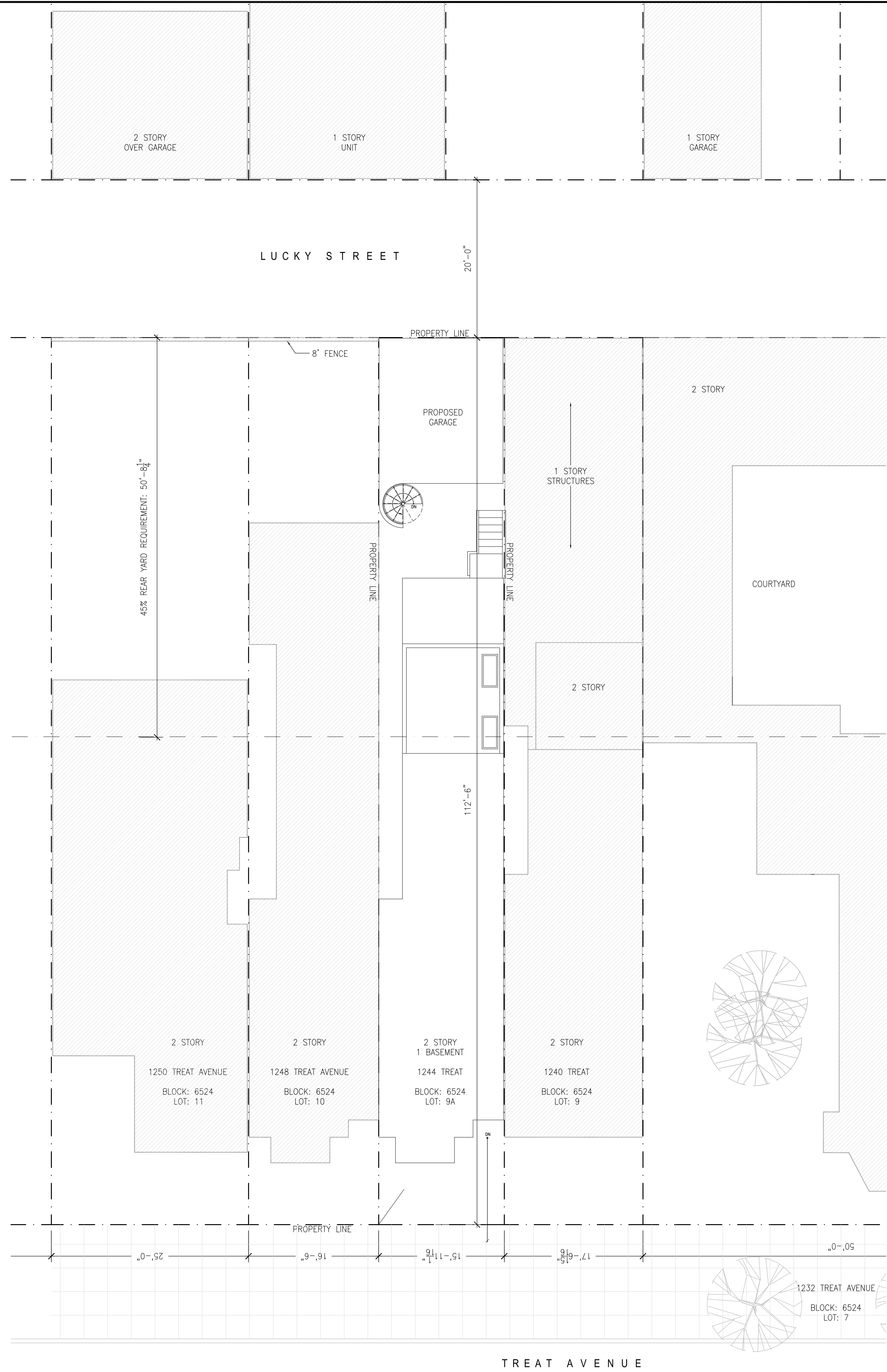
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



1 EXISTING SITE PLAN  
SCALE: 1/8"= 1'-0"



2 PROPOSED SITE PLAN  
SCALE: 1/8"= 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869	
1244 TREAT AVENUE	
OWNER: PEGGY MANGOT 2320 BRYANT STREET SAN FRANCISCO, CA 94110 PHONE: 415.596.9782 EMAIL: PEGGY@MANGOT.COM	
ISSUE: ISSUED FOR VARIANCE	DATE: 12.5.13
CONSULTANT: -	
APPROVAL	
	DRAWN: TK CHECKED: TK SCALE: 1/4"=1'-0"
EXISTING & PROPOSED SITE PLANS	
A0.1	





EAST SIDE OF LUCKY STREET  
(IMAGE DISTORTED)



EAST SIDE OF LUCKY STREET  
(IMAGE DISTORTED)

SUBJECT PROPERTY AT REAR: 1244 TREAT AVE.



SUBJECT PROPERTY AT REAR: 1244 TREAT AVE.

VIEW OF EAST SIDE OF LUCKY STREET



SUBJECT PROPERTY AT REAR: 1244 TREAT AVE.

PANORAMIC VIEW OF EAST SIDE OF LUCKY STREET  
(IMAGE DISTORTED)



SUBJECT PROPERTY AT REAR: 1244 TREAT AVE.

VIEW OF EAST SIDE OF LUCKY STREET



PANORAMIC VIEW OF WEST SIDE OF LUCKY STREET  
(IMAGE DISTORTED)

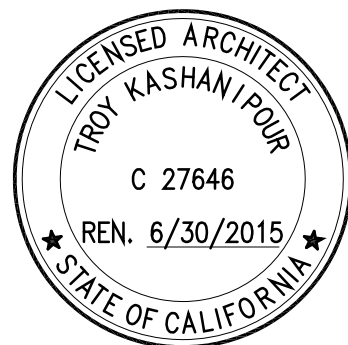
OWNER:  
PEGGY MANGOT  
2320 BRYANT STREET  
SAN FRANCISCO, CA 94110  
PHONE: 415.596.9782  
EMAIL: PEGGY@MANGOT.COM

ISSUE:  
ISSUED FOR VARIANCE

DATE:  
12.5.13

CONSULTANT:  
-

APPROVAL



DRAWN:  
TK  
CHECKED:  
TK  
SCALE:  
1/4"=1'-0"

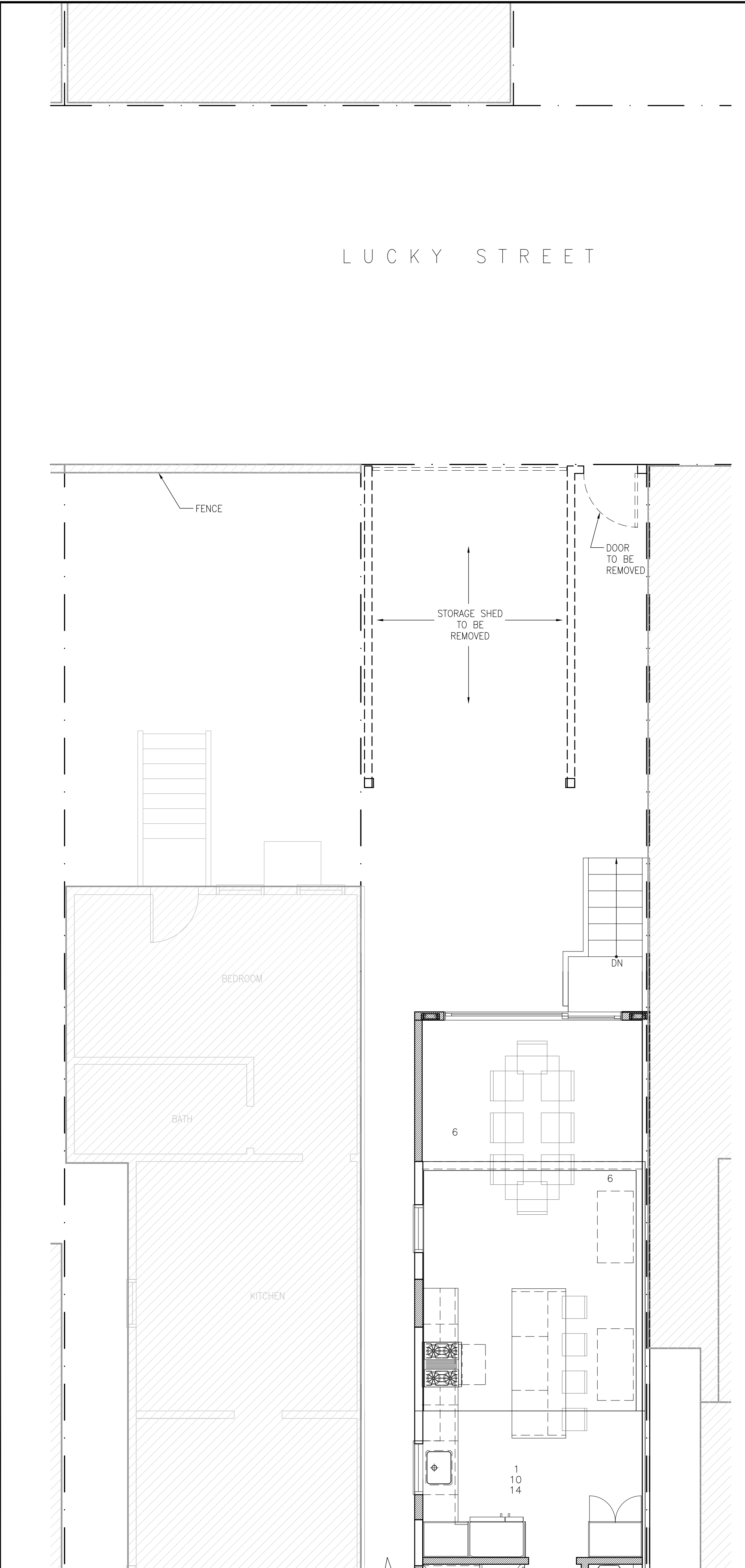
SITE PHOTOS

A0.2

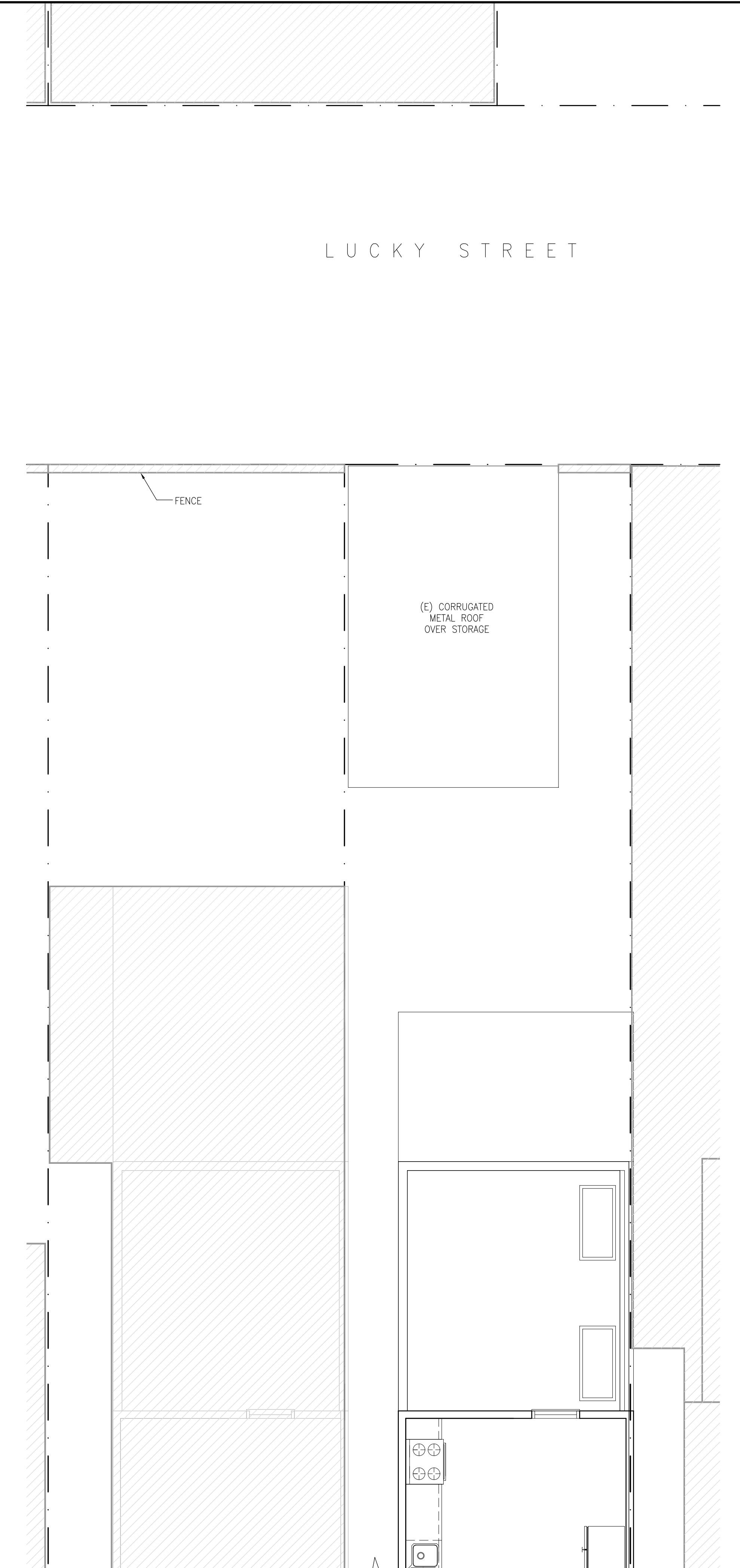
TROY KASHANI POUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869

1 2 4 4 T R E A T A V E N U E





1 EXISTING FIRST STORY DEMOLITION PLAN  
SCALE: 1/4"= 1'-0"



2 EXISTING SECOND STORY DEMOLITION PLAN  
SCALE: 1/4"= 1'-0"

1244 TREAT AVENUE

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869

OWNER:  
PEGGY MANGOT  
2320 BRYANT STREET  
SAN FRANCISCO, CA 94110  
PHONE: 415.596.9782  
EMAIL: PEGGY@MANGOT.COM

DATE:

ISSUE:

ISSUED FOR VARIANCE

12.5.13

CONSULTANT:

-

APPROVAL

LICENSED ARCHITECT  
TROY KASHANIPOUR  
C 27646  
REN: 6/30/2015  
STATE OF CALIFORNIA

DRAWN:  
TK  
CHECKED:  
TK  
SCALE:  
1/4"=1'-0"

EXISTING FLOOR PLANS  
DEMOLITION PLANS

A1.0

DEMOLITION GENERAL NOTES:

1. (N) DENOTES NEW ITEMS. (E) DENOTES EXISTING ITEMS. ITEMS WITHOUT SYMBOLS SHALL BE CONSIDERED TO BE EXISTING.

2. S.S.D. FOR EXTENT OF FOUNDATION & FLOOR SLABS TO REMAIN. REMOVE OTHER FOUNDATIONS & GROUND LEVEL CONCRETE SLAB IN PREPARATION FOR WORK AS NOTED.

3. PROVIDE TEMPORARY SHORING AS NECESSARY/REQD.

4. PROVIDE TEMPORARY UNDERPINNING OF STRUCTURES ON SUBJECT PROPERTY & ON ADJACENT PROPERTIES AS REQD.

5. COORDINATE ALL DEMOLITION W/ (N) CONSTRUCTION.

6. COMPLY WITH CONSTRUCTION WASTE RECYCLING PROGRAM AS REQUIRED BY CITY OF SAN FRANCISCO. MATERIAL NOT SPECIFIED TO BE SALVAGED OR REINSTALLED IN NEW WORK SHALL BE CONSIDERED AS SCRAP AND SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.

7. ALL (E) ELECTRICAL, PLUMBING & MECHANICAL SYSTEMS SHALL BE TERMINATED PER CORRESPONDING 2007 CALIFORNIA CODE & ANY DESIGN-BUILD DRAWINGS.

8. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.

9. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY STRUCTURAL CONFLICTS.

10. ALL ELECTRICAL, DATA, AND TELEPHONE OUTLETS LOCATED WITHIN (E) PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED U.O.N. TO BE SAVED. ALL ELECTRICAL, DATA, TELEPHONE WIRING AND CONDUITS FROM PARTITIONS AND CEILING ARE TO BE REMOVED BACK TO PANEL BOARD TERMINALS U.O.N..

11. REMOVE ALL NOTED INTERIOR PARTITIONS, EQUIPMENT, CEILINGS, FLOORING, FLOOR DECK, ROOFING, ROOF DECK, AND UTILITIES. ANY ADDITIONAL ITEMS ENCOUNTERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTIONS.

12. ALL ITEMS AND SYSTEMS TO BE ADDRESSED BY DESIGN / BUILD CONTRACTORS SHALL BE IDENTIFIED AND DIRECTIONS SPECIFIED IN THE REQUIRED CONTRACT DOCUMENTS OF THE APPROPRIATE DESIGN / BUILD CONTRACTOR.

13. WALL, FLOOR, AND CEILING FRAMING LUMBER IN GOOD REPAIR SHALL BE SALVAGED FOR REUSE. G.C. TO COORDINATE WITH OWNER.

DRAWING LEGEND:

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

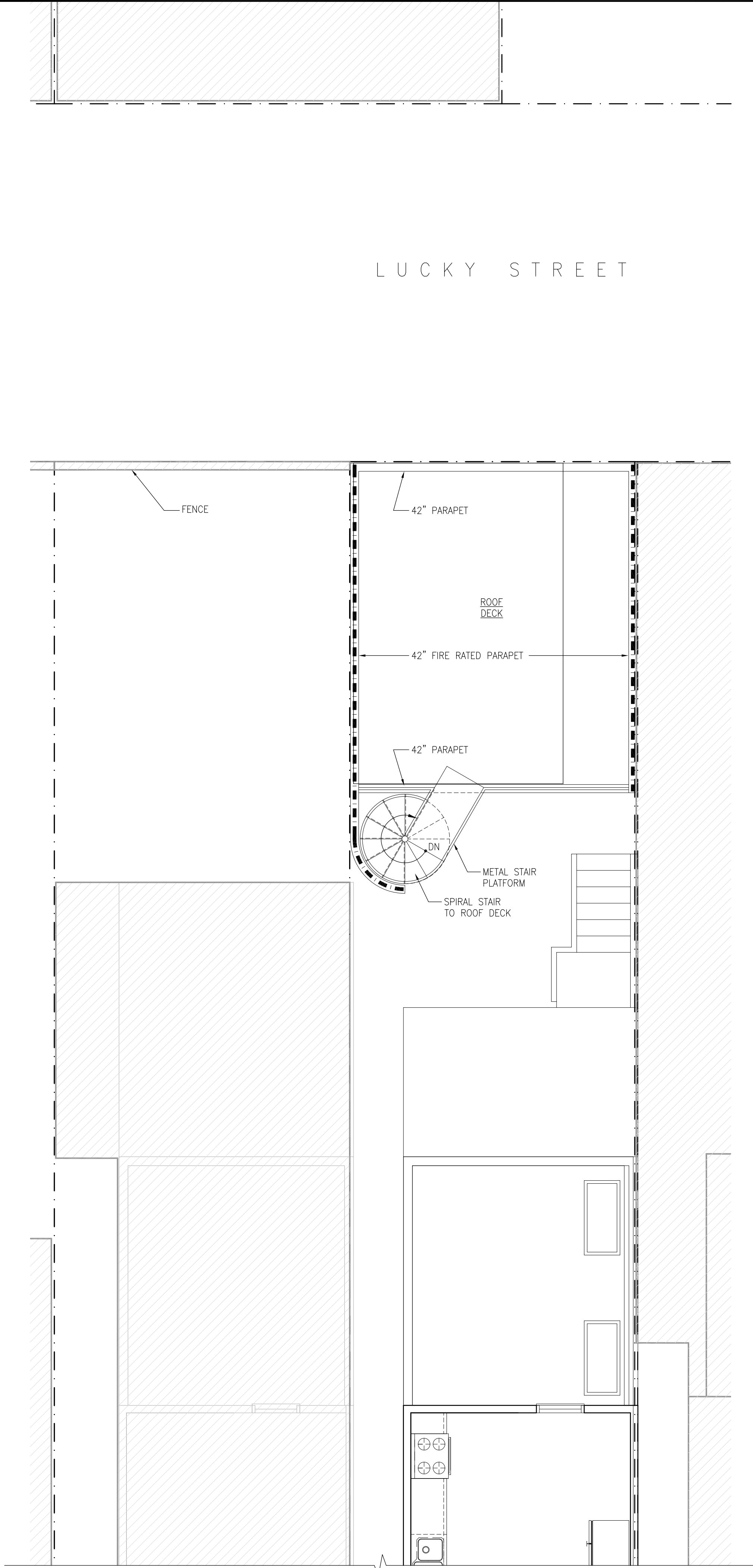
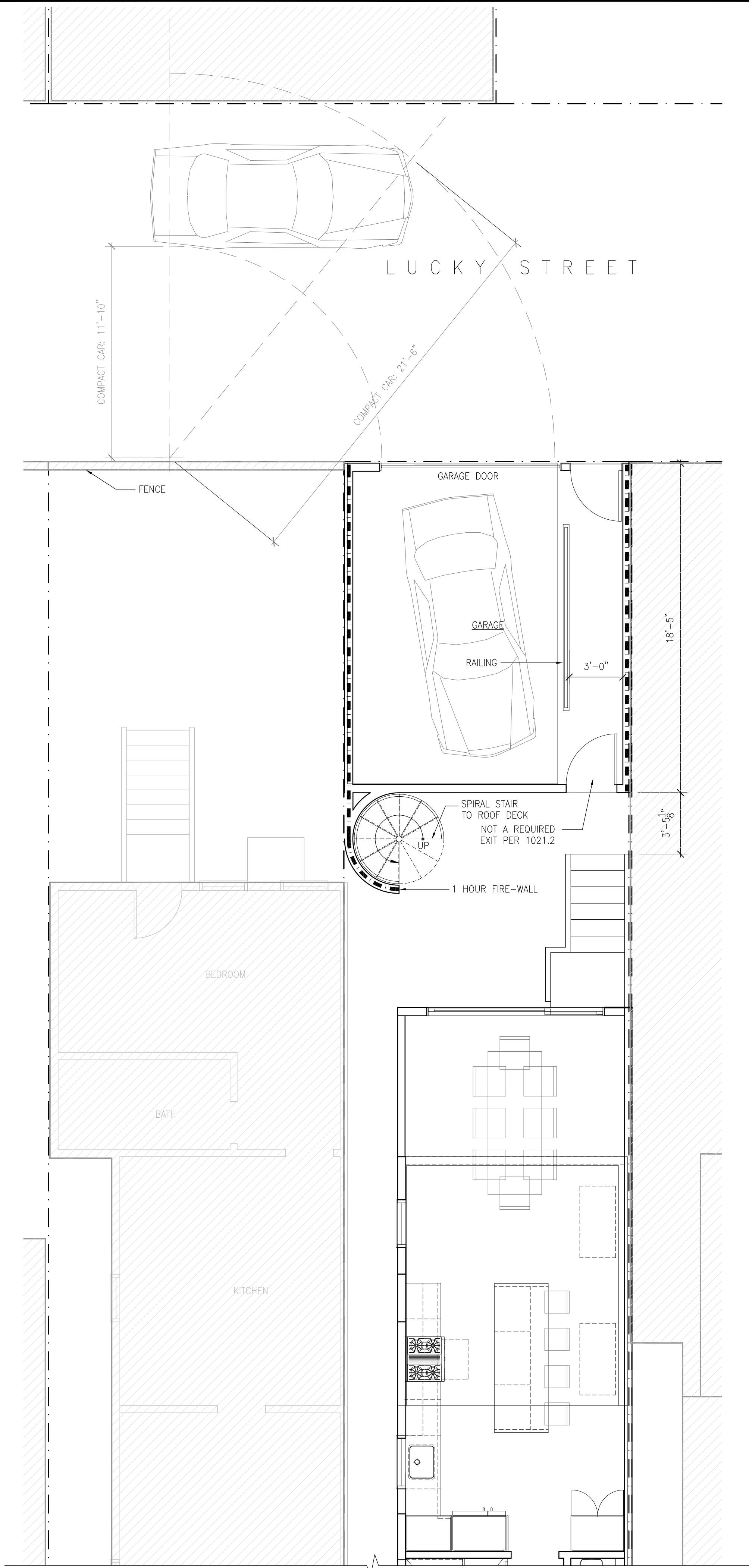
GRAPHIC SCALE

2

5

10

N



- KEYNOTES:**
- 1 PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
  - 2 SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #5 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
  - 3 PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
  - 4 (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
  - 5 WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
  - 6 PROVIDE R-13 INSULATION AT WALLS, R-19 INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
  - 7 PROVIDE FLEXIBLE VINYL SHOWER PAN LINER FOR SHOWER STALL. TILE PER TCA RECOMMENDED ASSEMBLY AND TCA STANDARDS.
  - 8 PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
  - 9 (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
  - 10 TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION 3'-0" MINIMUM FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5.
  - 11 EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
  - 12 HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
  - 13 AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN THE BEDROOMS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2007 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
    - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS, THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
    - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
    - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
    - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
  - 14 DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
  - 15 WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
  - 16 DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3.
    - GAS VENT TERMINATION PER CMC 802.6.2(1)&(2)
    - GAS VENT TERMINATION CAP PER CMC 802.6.2.5
    - GAS VENT SUPPORT PER MFG AND CMC 802.5.6 & 802.6.5.
  - 17 PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
  - 18 PROVIDE 5/8" TYPE 'X' FIRE RATED DRYWALL AT PROPERTY LINE WALLS WHERE (E) DRYWALL IS REPLACED.
  - 19 PROVIDE (N) ROOFING MEMBRANE AT LIGHTWELL, SLOPED TO DRAIN, ROOFDRAIN AND OVERFLOW PER 5/AB.0
  - 20 PROVIDE (N) ELECTRICAL PANEL. ELECTRICAL WORK DESIGN/BUILDING BY G.C. AND ELECTRICAL SUBCONTRACTOR.
  - 21 PROVIDE (N) HOUSE METER. COORDINATE INSTALLATION WITH PG&E REQUIREMENTS AND APPLICABLE CODE(S).

**TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:**

KITCHENS: AT LEAST 50% OF INSTALLED LUMINAIRE WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING

BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:  
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.

OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.

COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) – NOT REQUIRED TO BE MANUAL-ON.

ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:  
1) PROVIDE DIMMER SWITCH.  
2. PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON/FLUORESCENT OR CONTROL BY DIMMER SWITCH.  
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.

RECESSED LUMINAIRES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

LIGHTING GENERAL NOTES:  
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.

G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.

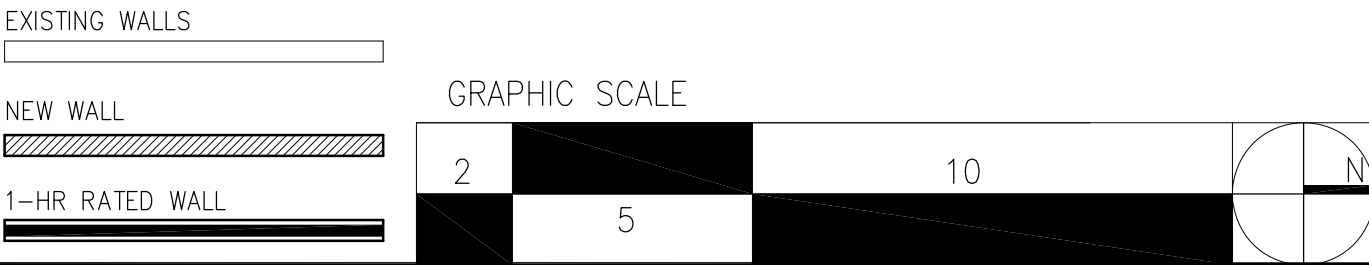
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.

WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.

SWITCH MOUNTING HT = 48" TO CL A.F.F. SEE SHEET A6.0 FOR LOCATIONS.

OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F. SEE SHEET A6.0 FOR LOCATIONS.

**DRAWING LEGEND:**



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869

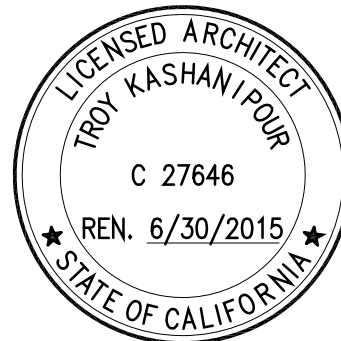
1 2 4 4 TREAT AVENUE

OWNER:  
PEGGY MANGOT  
2320 BRYANT STREET  
SAN FRANCISCO, CA 94110  
PHONE: 415.596.9782  
EMAIL: PEGGY@MANGOT.COM

ISSUE: ISSUED FOR VARIANCE DATE: 12.5.13

CONSULTANT:  
-

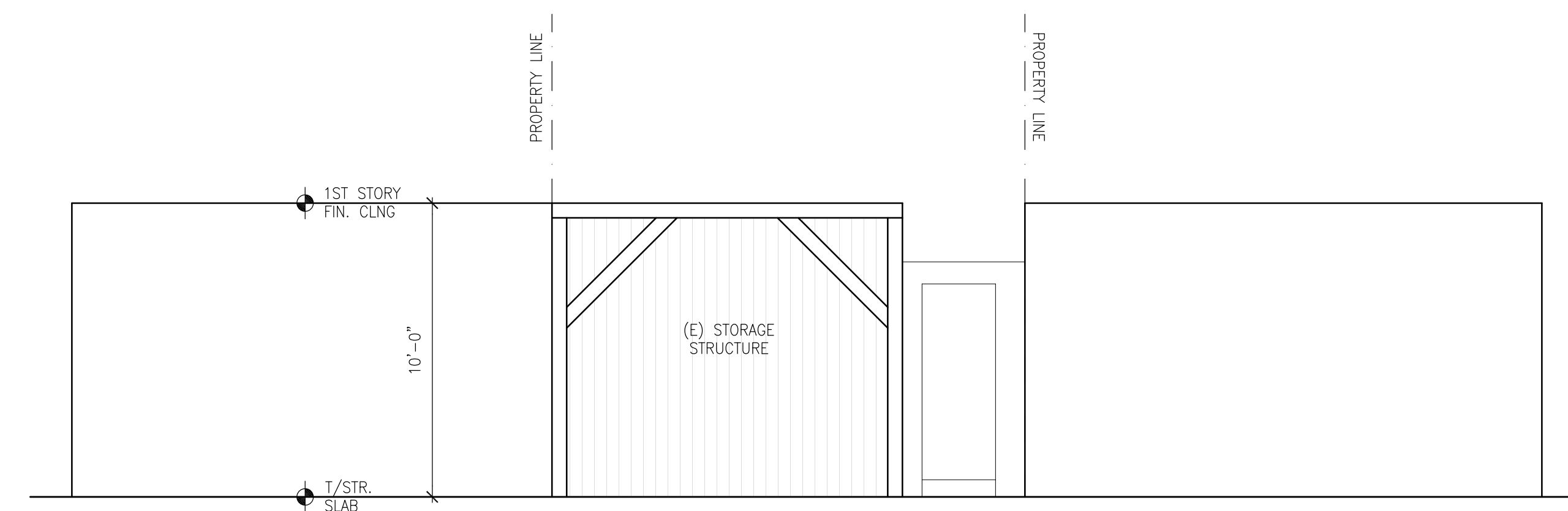
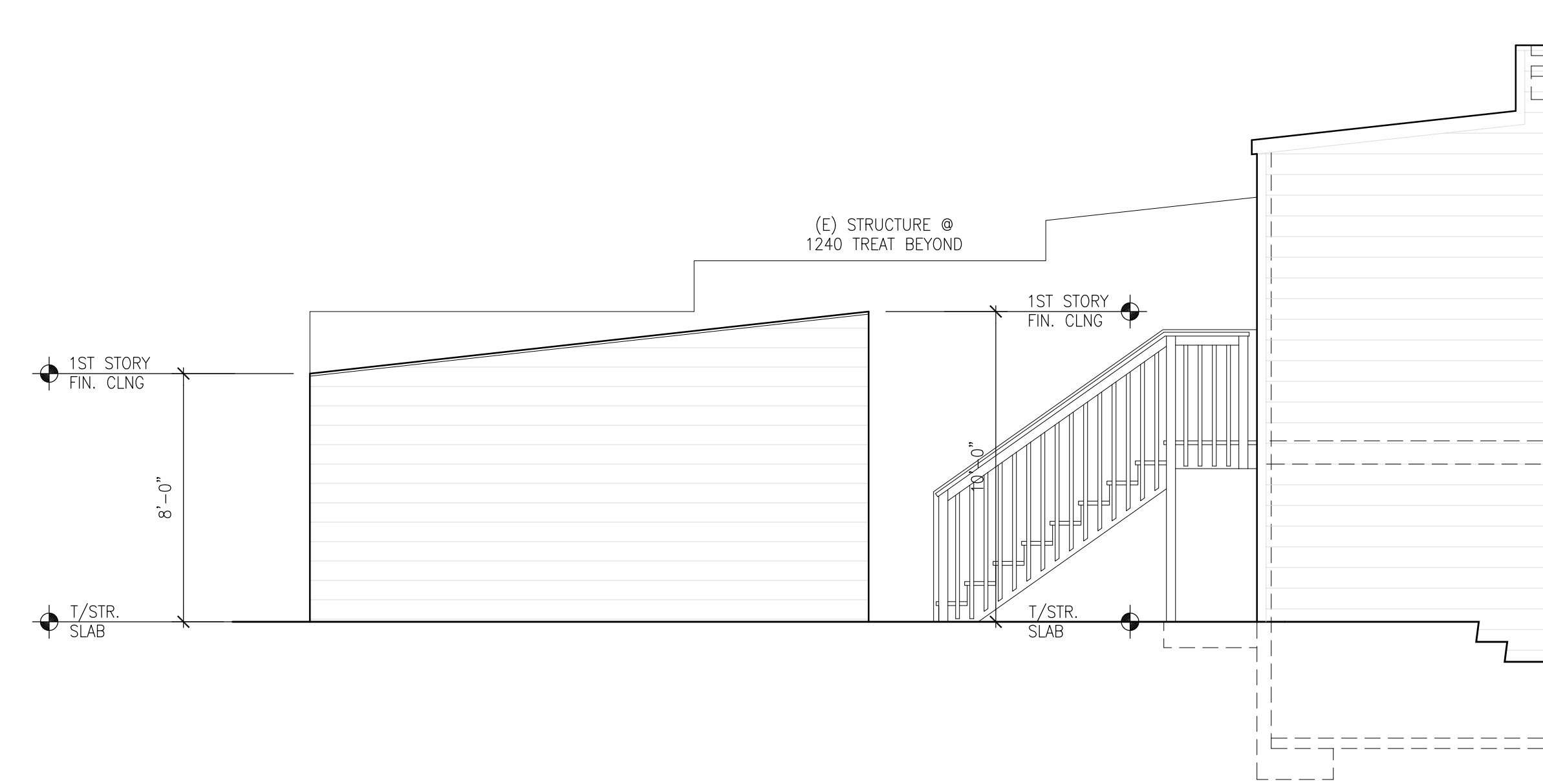
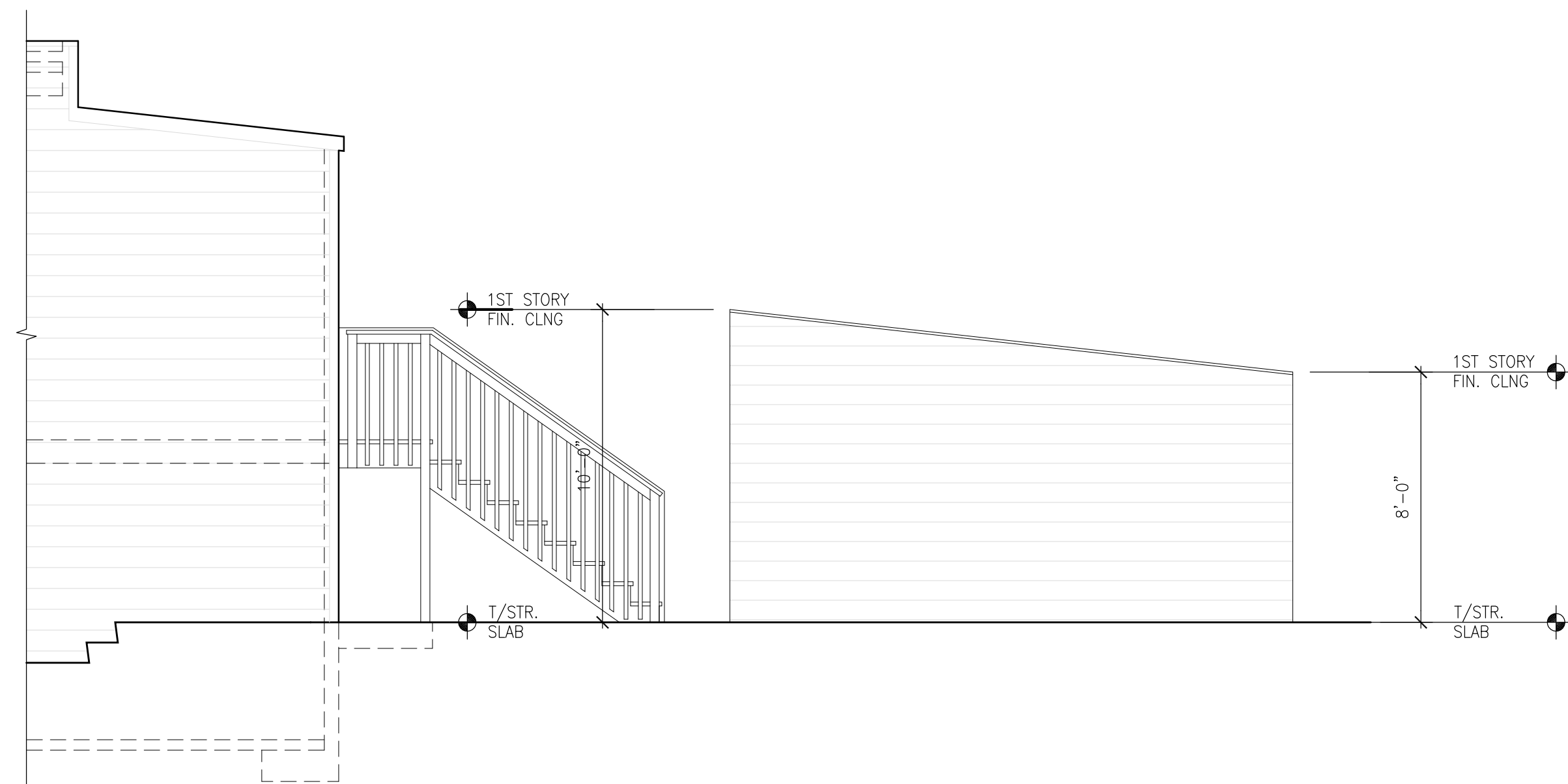
APPROVAL



DRAWN: TK  
CHECKED: TK  
SCALE: 1/4"=1'-0"

PROPOSED FLOOR PLANS

A2.0



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107. PHONE/FAX 415.431.0869.

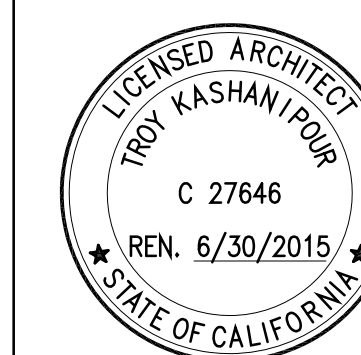
1244 TREAT AVENUE

OWNER:  
PEGGY MANGOT  
2320 BRYANT STREET  
SAN FRANCISCO CA 94110  
PHONE: 415.596.9782  
EMAIL: PEGGY@MANGOT.COM

ISSUE:	DATE:
ISSUED FOR VARIANCE	12.5.13

CONSULTANT:

APPROVAL
----------

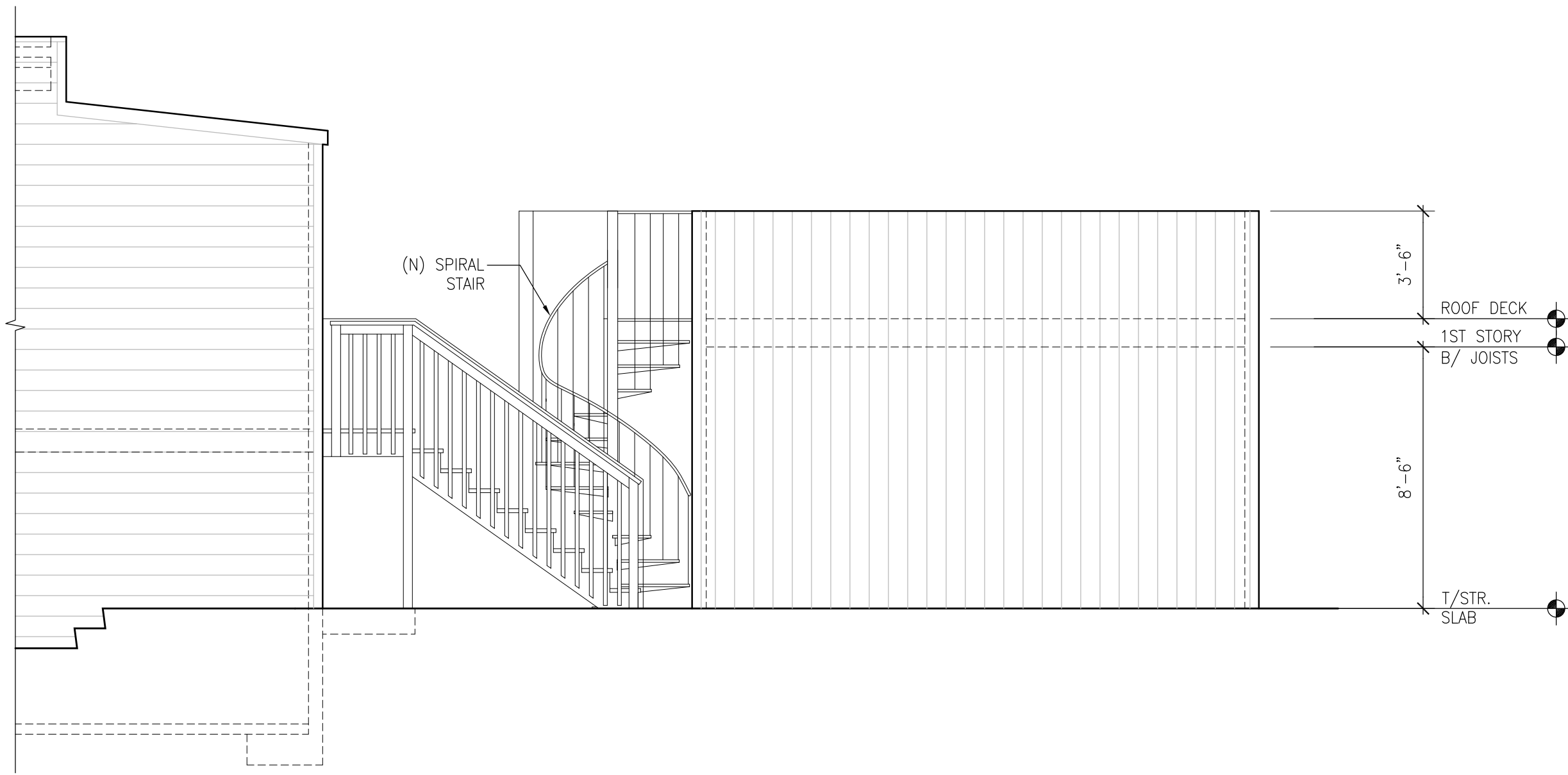


DRAWN:	TK
CHECKED:	TK
SCALE:	1/4"=1'-0"

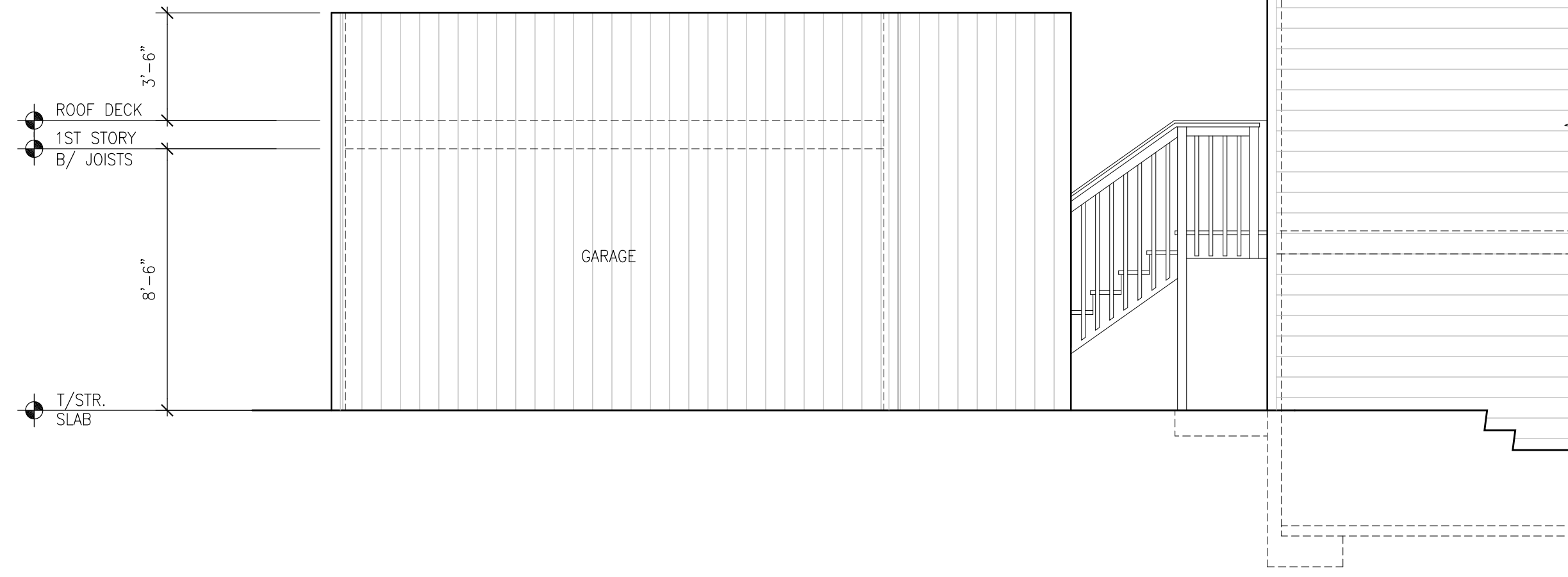
### EXISTING ELEVATIONS

## A3.0

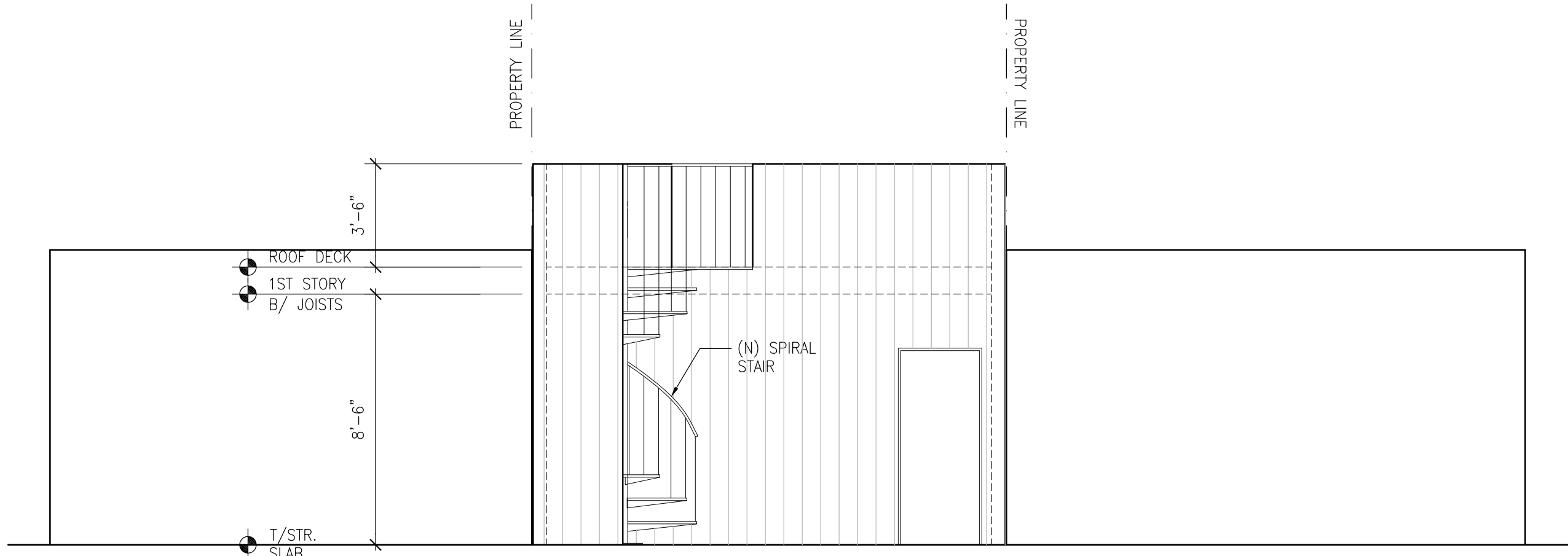




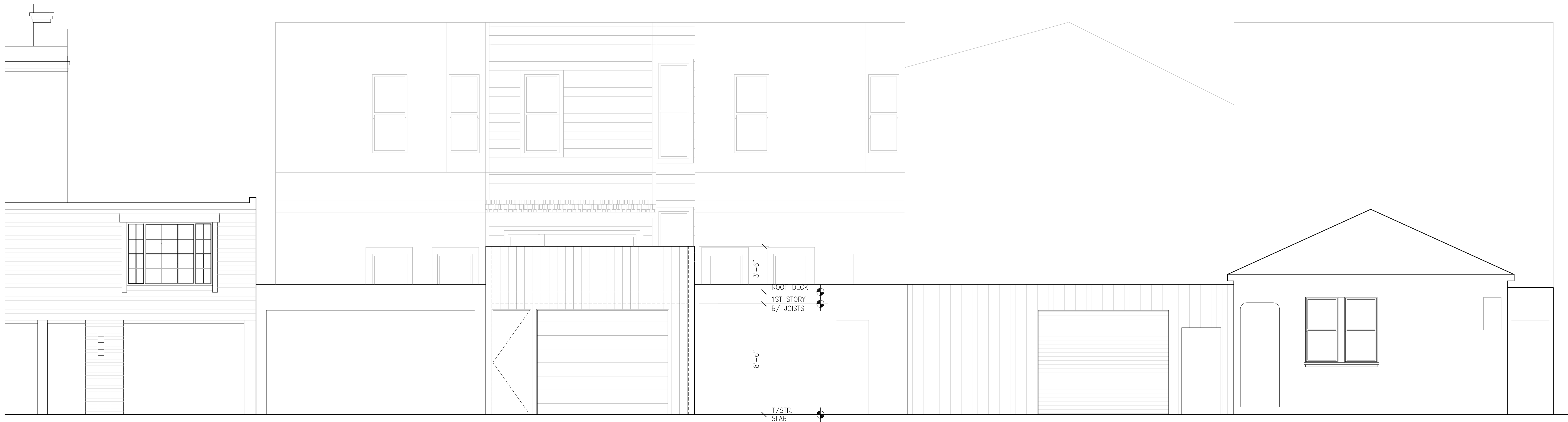
15 PROPOSED NORTH ELEVATION  
SCALE: 1/4"= 1'-0"



4 PROPOSED SOUTH ELEVATION  
SCALE: 1/4"= 1'-0"



3 PROPOSED EAST ELEVATION  
SCALE: 1/4"= 1'-0"



13 PROPOSED WEST ELEVATION  
SCALE: 1/4"= 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107, PHONE/FAX 415.431.0869

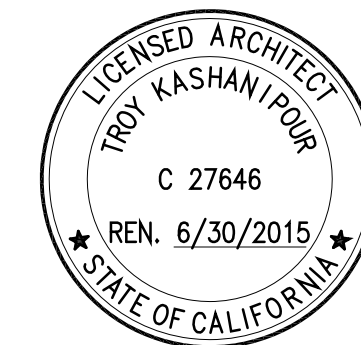
1 2 4 4 T R E A T A V E N U E

OWNER:  
PEGGY MANGOT  
2320 BRYANT STREET  
SAN FRANCISCO, CA 94110  
PHONE: 415.596.9782  
EMAIL: PEGGY@MANGOT.COM

ISSUE: DATE:  
ISSUED FOR VARIANCE 12.5.13

CONSULTANT:  
-

APPROVAL



DRAWN:  
TK  
CHECKED:  
TK  
SCALE:  
1/4"=1'-0"

PROPOSED ELEVATIONS

A3.1