



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 28, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2881 Mission St	Case No.: 2014.0001V
Cross Street(s): Btw 24th and 25th Streets	Building Permit: 201212045418
Block / Lot No.: 6517/022	Applicant/Agent: Gordon Atkinson
Zoning District(s): Mission St NCT / 40-X/80-B	Telephone: 415 731 9927
Area Plan: N/A	E-Mail: gordonatkinson@sbcglobal.net

PROJECT DESCRIPTION

The proposal is to add two dwelling units on the second floor within the existing building envelope of a mixed use building. The existing building contains a bakery on the ground floor; office area and an accessory break room on the second floor, and two residential units on the third floor.

PER SECTION 134(a)(1) OF THE PLANNING CODE the subject property is required to maintain a rear yard that is 25 percent of lot depth in NC Districts. In the Mission Street NCT Zoning District, rear yards shall be provided at the lowest story containing a dwelling unit, and at each succeeding level or story of the building. The addition of dwelling units on a floor that provides no rear yard will require the approval of a rear yard variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson**

Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014.0001V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

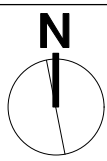
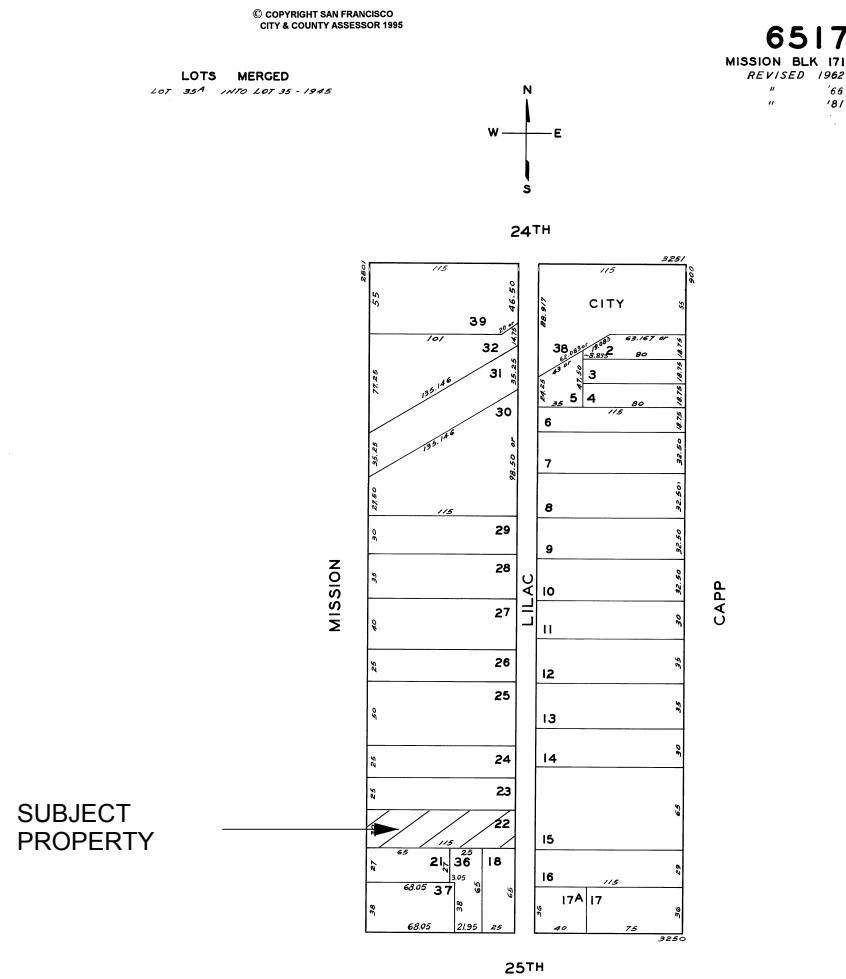
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

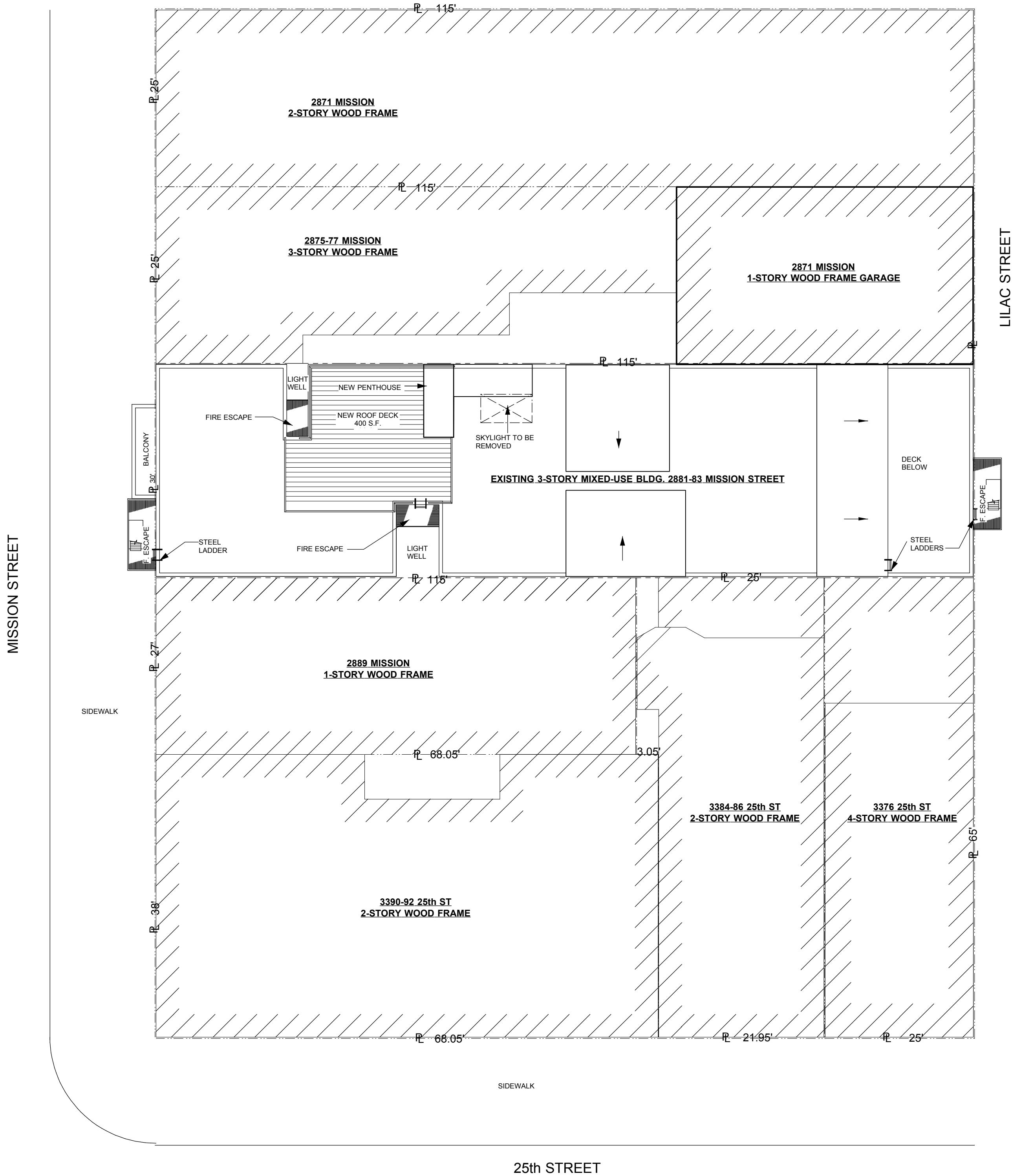
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ASSESSOR'S PARCEL MAP



SITE PLAN

SCALE: 3/32" = 1'- 0"



PROJECT DATA

ADDRESS	2881 / 2883 MISSION STREET
APN	6517-022
PRESENT OCCUPANCY GROUP	MIXED R3/F1&M
PROPOSED OCCUPANCY GROUP	MIXED R2/F1&M
BUILDING TYPE	V-A SPRINKLERED
ZONING DISTRICT	NCT MISSION ST.
CLIMATE ZONE	3
EXISTING SQUARE FOOTAGE	8,429
PROPOSED SQUARE FOOTAGE	8,429

SCOPE OF WORK

CONVERT EXISTING OFFICE SPACE TO TWO NEW RESIDENTIAL UNITS.

NEW PENTHOUSE AND ROOF DECK

SHEET SCHEDULE

A1	SITE PLAN, APM, GENERAL NOTES & PROJECT DATA
A2	EXISTING FLOOR PLAN & ELEVATIONS
A3	PROPOSED FLOOR PLANS
A4	PROPOSED PENTHOUSE FLOOR PLANS, PROPOSED ELEVATIONS & SECTION
A5	PROPOSED ROOF PLAN, ROOF FRAMING PLAN

GENERAL NOTES

- All work shall conform to requirements of the 2010 San Francisco Building Code, San Francisco Electrical Code, San Francisco Plumbing Code, San Francisco Mechanical Code, California Energy Code and all other applicable local and state codes, ordinances and regulations.
- All bidders shall visit the site of the proposed work and shall acquaint themselves with the existing conditions as they affect the work to be performed.
- The contractor shall verify all dimensions and all conditions at the site. Any omissions or conflicts in the drawings, specifications or field conditions shall be brought to the attention of the architect.
- Dimensions shall always take precedence over scale.
- All clarifications or required drawings shall be issued by the architect.
- The contractor shall obtain inspection approval on all items in writing from the inspector. The contractor shall obtain and pay for all permits and licenses required by legally constituted authorities. The contractor shall obtain a certificate of occupancy and the release of liens on all material and labor at the completion of the project.
- Details marked "typical" shall apply in all similar cases unless specifically noted otherwise. Where no detail is shown, construction shall be guided by details for similar work.
- The contractor shall furnish a written guarantee for all work for a period of one year from date of completion as evidenced by final payment. Upon receipt of formal notice from architect, contractor shall make all repairs due to faulty materials, installation or construction or inadequate maintenance or supervision at no additional cost.
- The contractor shall adequately shore all existing construction for which the support is removed until all new supports are in place. Where walls are removed which provide lateral support for the building, a sequence of construction shall be followed which allows lateral forces to be supported by new walls prior to removal of existing walls or adequate temporary lateral bracing shall be provided until all new construction is in place.
- Requests for change orders and substitutions shall be approved in advance by the architect.
- Soils below and within 6' of perimeter of addition shall be treated for termites in an approved manner to a depth of 6" min.
- All operating manuals, warranties and consumer information for equipment and fixtures installed on premises shall be surrendered to the owner upon completion of the project.
- Trenches and excavations more than 5' in depth require a OSHA permit and shall be shored in accordance with said permit.
- Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor or enclosing a tub or shower shall comply with Part I of U.B.C. Standard No. 54-2.
- All new windows and glazed doors shall be N.F.R.C. certified with a maximum U-value of 0.40 in conformance with current California Energy Commission Standards.
- Lighting for bathrooms, laundry rooms, utility rooms and garages and outdoor lighting shall be high-efficacy luminaires or controlled by motion sensors. 50% of lighting wattage in kitchens shall be high-efficacy in conformance with current California Energy Commission Standards. All other newly installed luminaires shall be controlled by dimmer switches.
- Toilet shall use no more than 1.5 gallons per flush and showerhead shall have a maximum flow rate of 2.5 gallons per minute.
- All exterior doors to be security openings and shall be open able from the inside without special knowledge or the use of a key.
- All operable windows to have bug screens.
- All exterior trim and moldings shall be backprimed with paint or varnish as required.
- Smoke detectors to be installed in each sleeping room and in corridors or area giving access to each separate sleeping area. Smoke detectors shall be 120V with battery backup.
- Carbon Monoxide detectors to be installed outside of each sleeping room and on every level. Carbon Monoxide detectors shall be 120V with battery backup or battery operated.
- HERS rater field verification is required for sealed duct system.
- All exposed wood shall be either pressure treated or have natural decay resistance.
- Electrical, mechanical and plumbing systems shall be provided as design/build and installed in conformance with current San Francisco Electrical, Mechanical and Plumbing Codes.

FRAMING NOTES

- Lumber
- All dimensional framing members to be Douglas Fir-Larch, maximum moisture content 16%.
 - Minimum lumber grades (UON).
DF #2- studs, sills, plates, joists and rafters
DF #1- beams and posts
 - Provide pressure treated Douglas Fir or foundation grade redwood for lumber in contact with concrete within 3 feet of grade or permanently exposed to weather.
 - Provide 2" nom. full height blocking at each support plus:
 - 10' o.c. for roof rafters
 - 8' o.c. for floor joists
 - at mid-height on studs longer than 10'
 - Along all walls at soffit height.
 - Provide solid blocking below all walls perpendicular to joists.
 - All joists, rafters and beams to have "crown" camber up.
 - Provide full height studs from floor to roof UON.
 - Built up headers shall be spiked with 16d nails at 9" o.c. staggered.

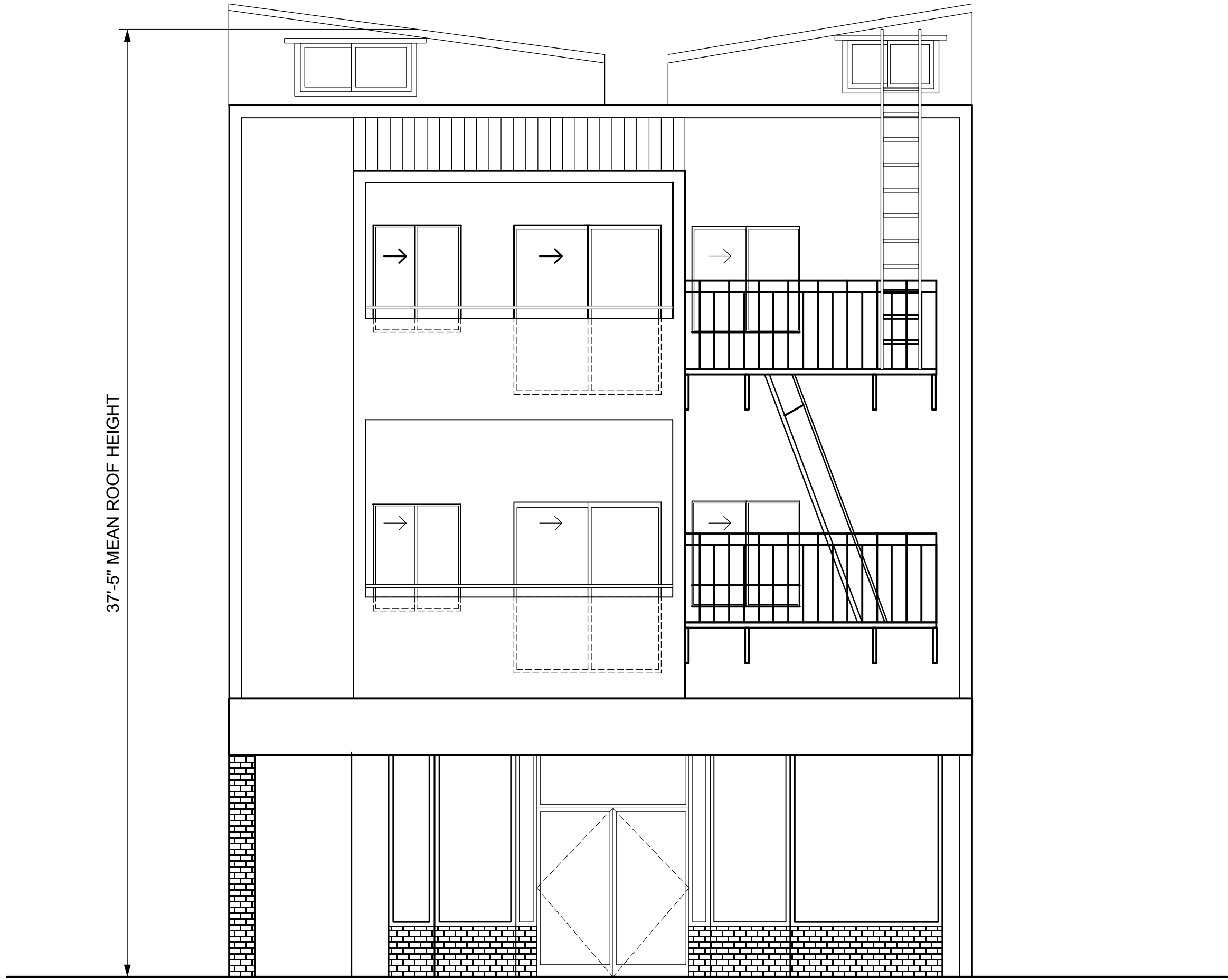
- Connectors:
- All connectors shall be by Simpson Strong-Tie Co., Inc. or equivalent unless otherwise noted.
 - All bolts shall be hex head machine type and conform to ASTM A307 or better (UON). Provide standard washer at each end (UON).
 - Nailing shall be in accordance with CBC table 2304.9. In addition to nailing, specify in these drawings.
 - Nails shall be cold galvanized or galvanized or hot dipped galvanized.
 - All connectors in exposed positions shall be corrosion resistant.
 - All connectors in pressurized areas shall use a "Z-Max" galvanized or hot dipped galvanized or equivalent. All connectors shall be coated with a corrosion resistant coating.

NEW APARTMENTS FOR
2881 / 2883 MISSION STREET ~ SAN FRANCISCO, CA

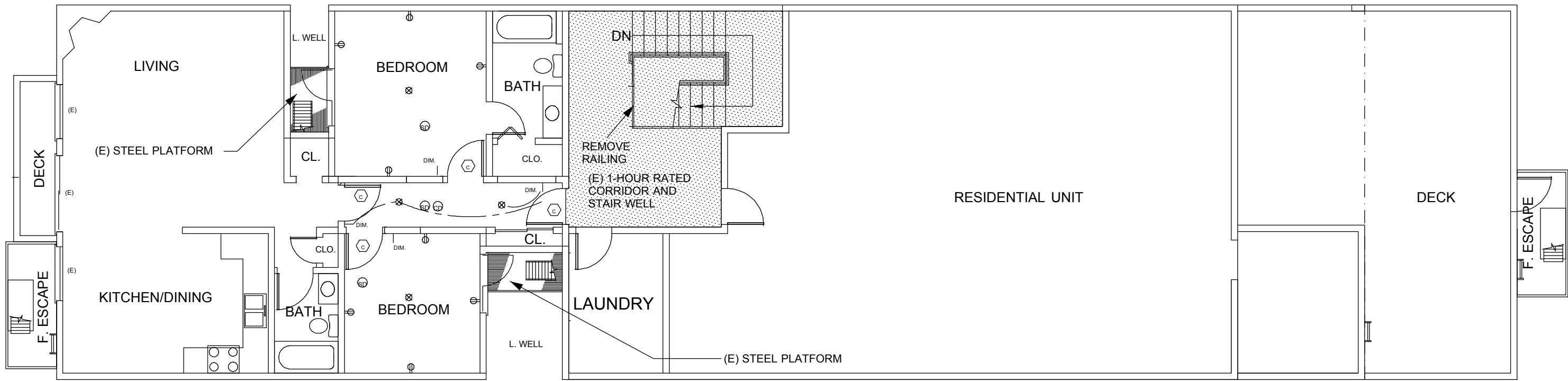
SITE PLAN, APM, GENERAL NOTES, PROJECT DATA,
SHEET SCHEDULE, SCOPE OF WORK

a. gordon atkinson, aia
735a taraval street ~ san francisco, ca 94116
tel 415-731-9927 fax 415-731-9942 e-mail gordonatkinson@sbcglobal.net

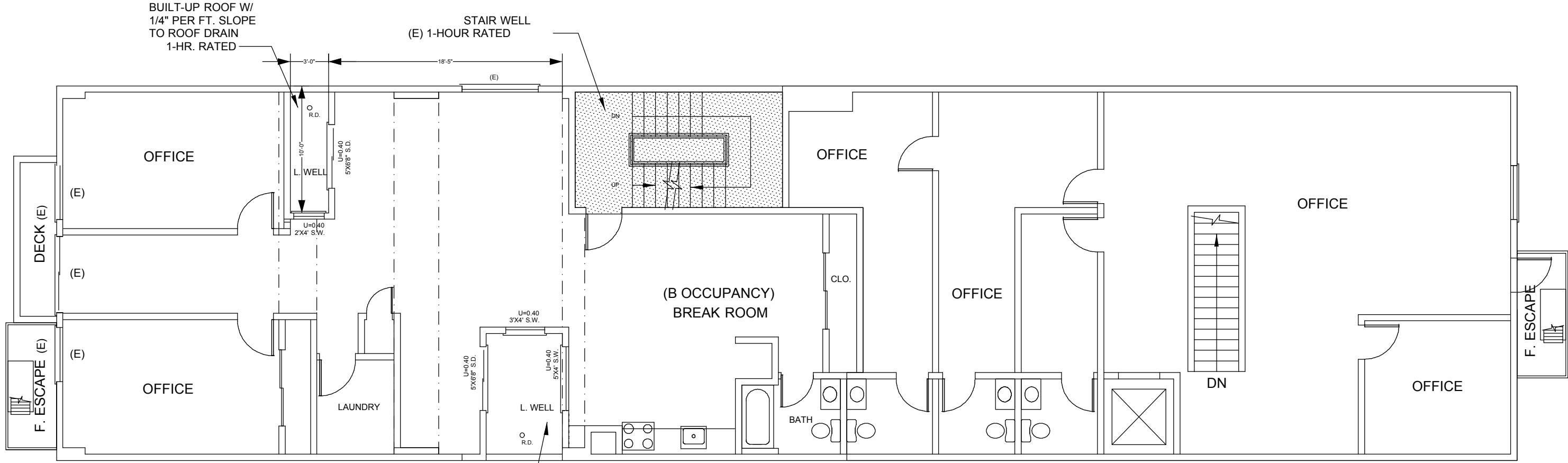
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drawn by AGA/SD
sheet A1



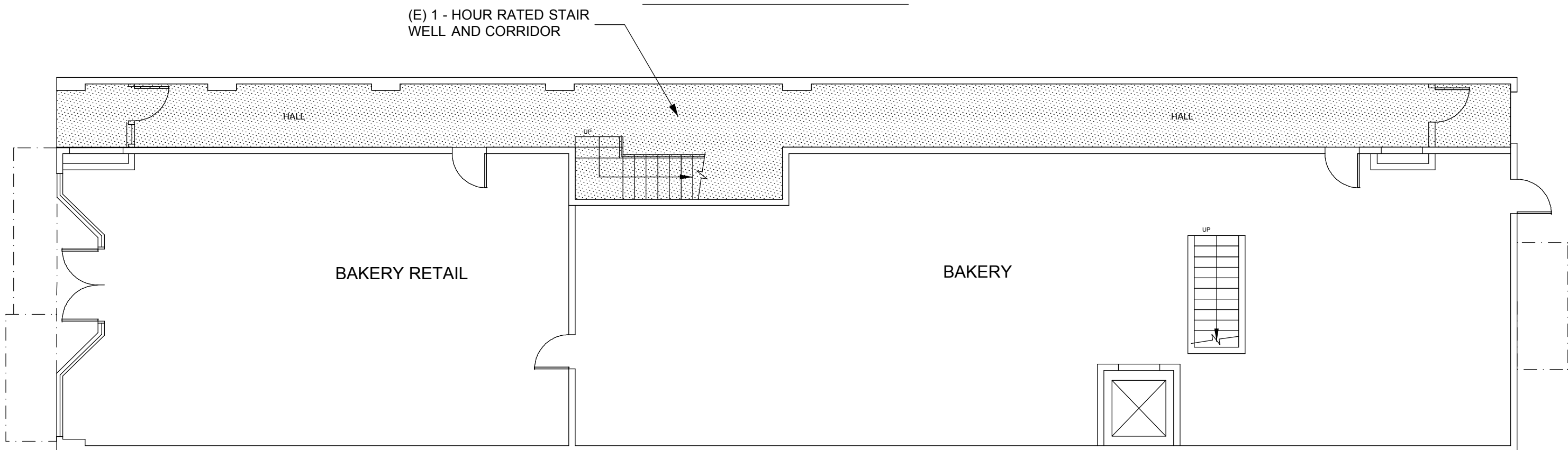
WEST ELEVATION



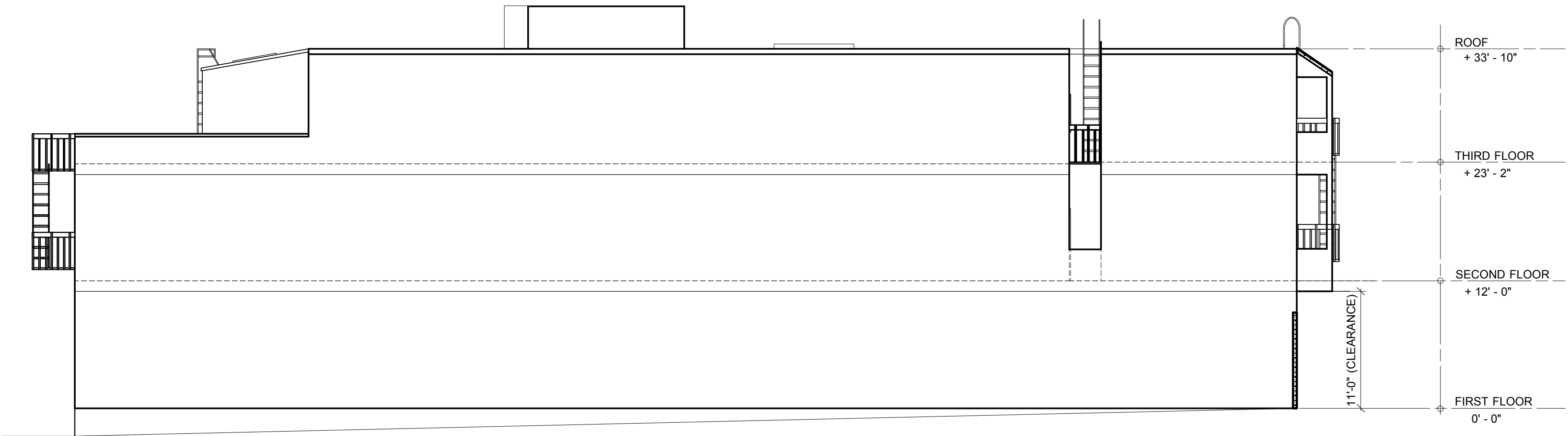
3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN



NORTH ELEVATION

735a taraval street ~ san francisco, ca 94116
tel 415-731-9927 fax 415-731-9942 e-mail gordonatkinson@sbcglobal.net

scale

AS NOTED

date

12-30-2013

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drawn by

AGA/SD

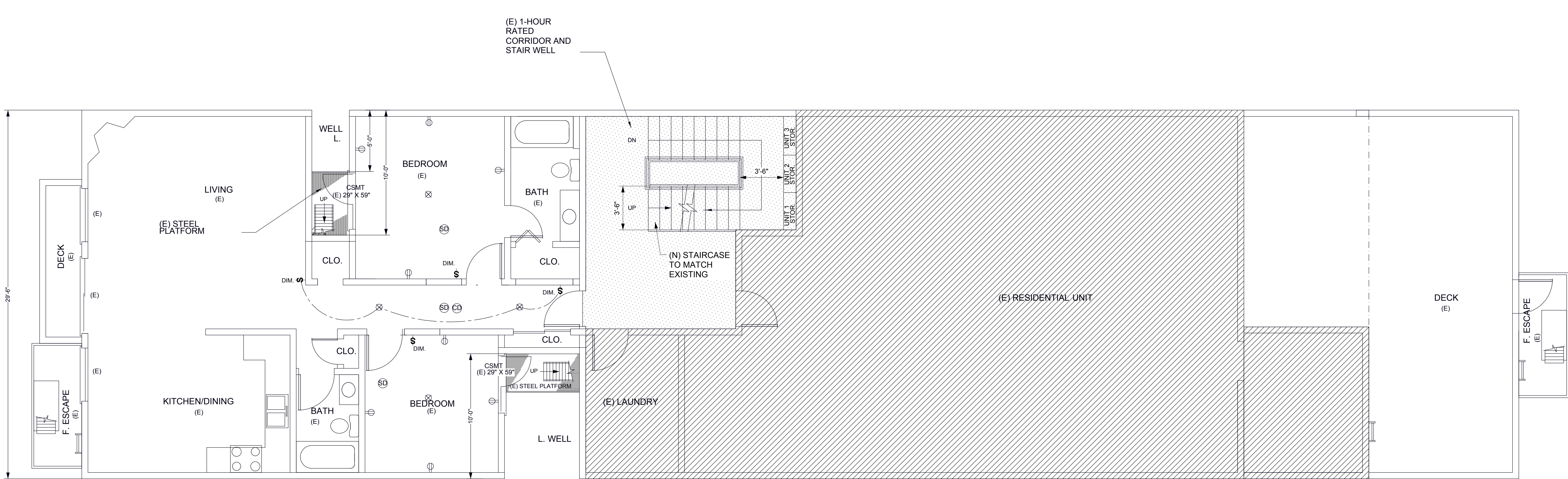
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A2

a. gordon atkinson, aia

NEW APARTMENTS FOR
2881 / 2883 MISSION STREET ~ SAN FRANCISCO, CA

EXISTING FLOOR PLANS AND ELEVATIONS

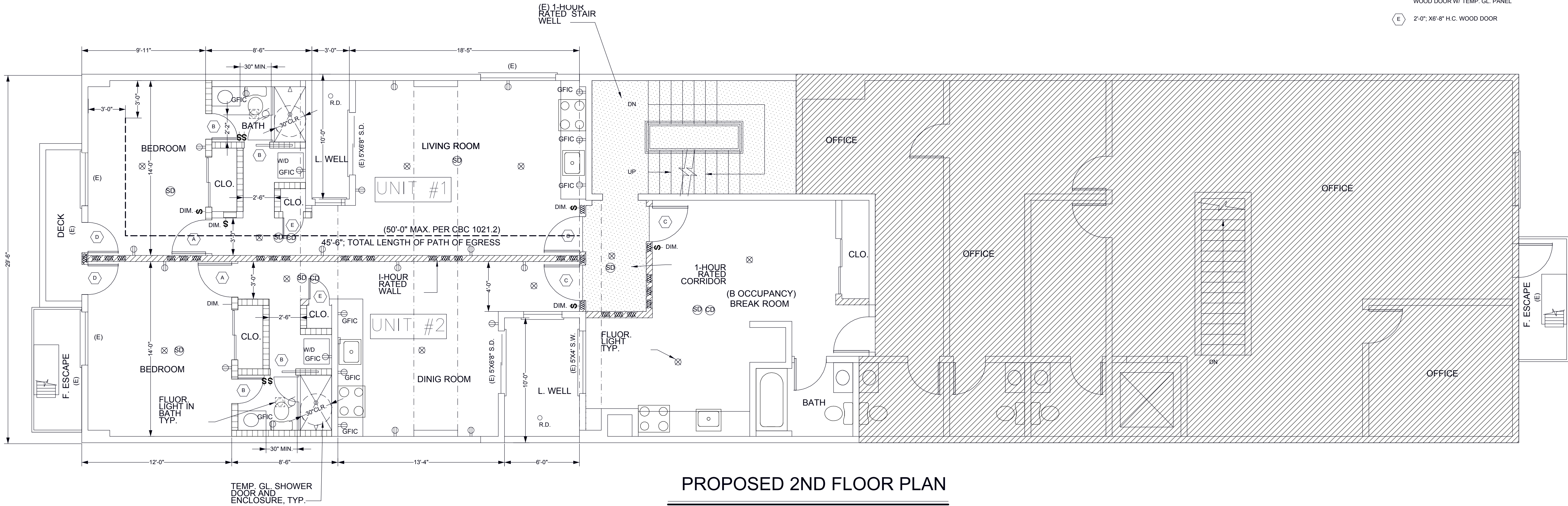


PROPOSED 3RD FLOOR PLAN

1/4"=1'-0"

DOOR SCHEDULE

- A 2'-8"x6'-8" H.C. WOOD DOOR
- B 2'-4"x6'-8" H.C. WOOD DOOR
- C 3'-0"x6'-8"x1-3/4" S.C. DOOR, 20 MIN. RATED ASSEMBLY W/ CLOSER, SMOKE GASKET, LATCH/LOCK SET
- D 2'-6"x6'-8" S.C. EXTERIOR WOOD DOOR W/ TEMP. GL. PANEL
- E 2'-0", X6'-8" H.C. WOOD DOOR



PROPOSED 2ND FLOOR PLAN

1/4"=1'-0"

NEW APARTMENTS FOR
2881 / 2883 MISSION STREET ~ SAN FRANCISCO, CA

PROPOSED FLOOR PLANS

a. gordon atkinson, aia

735a taraval street ~ san francisco, ca 94116
tel 415-731-9927 fax 415-731-9942 e-mail gordonatkinson@sbglobal.net

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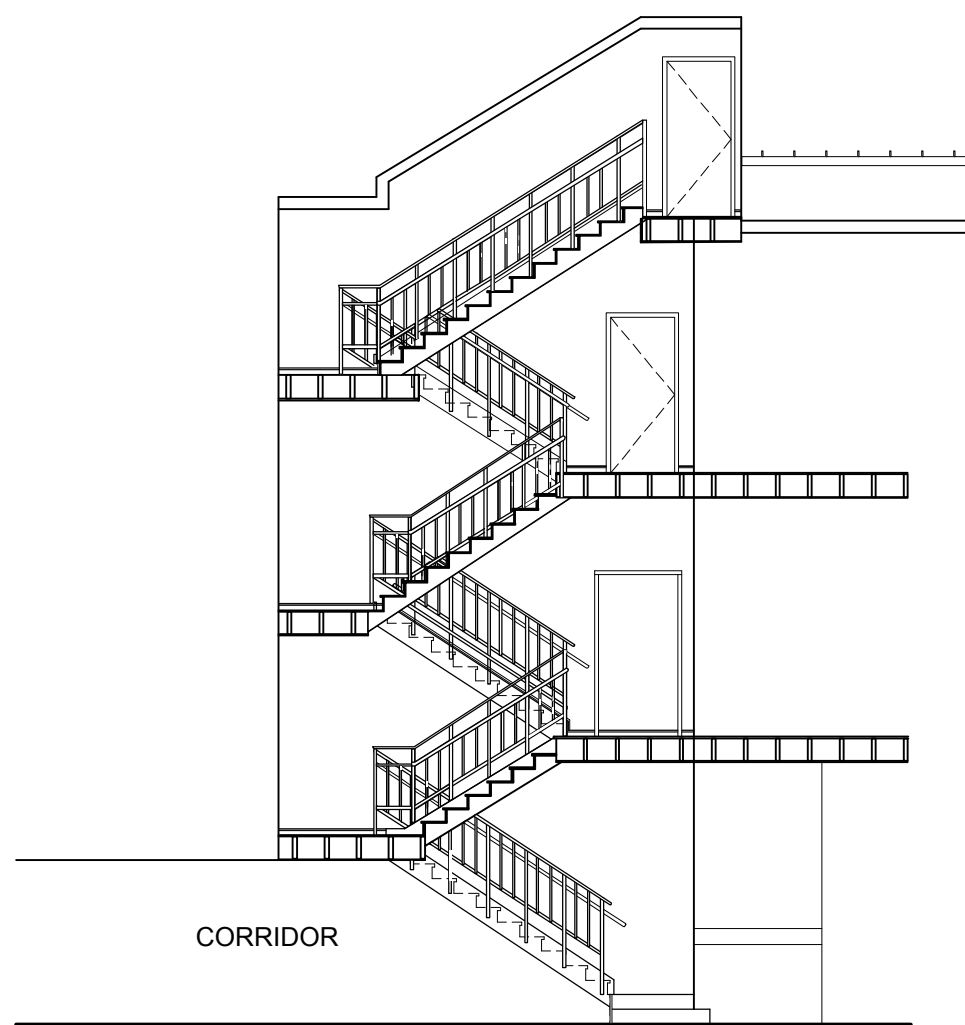
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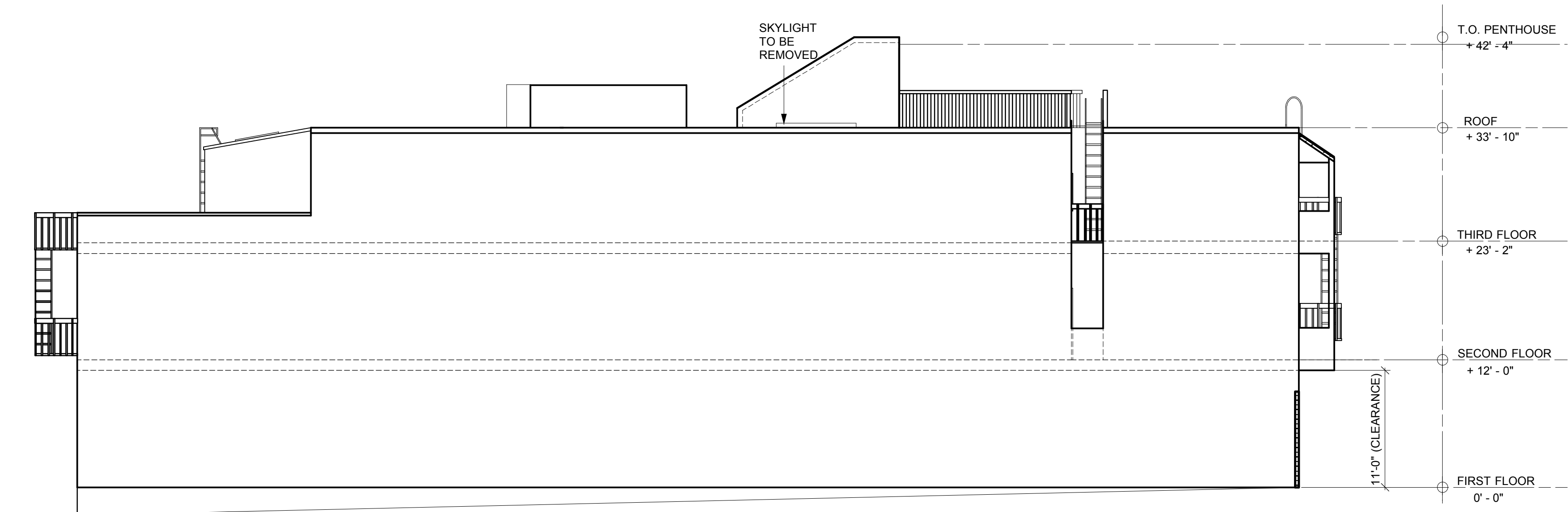
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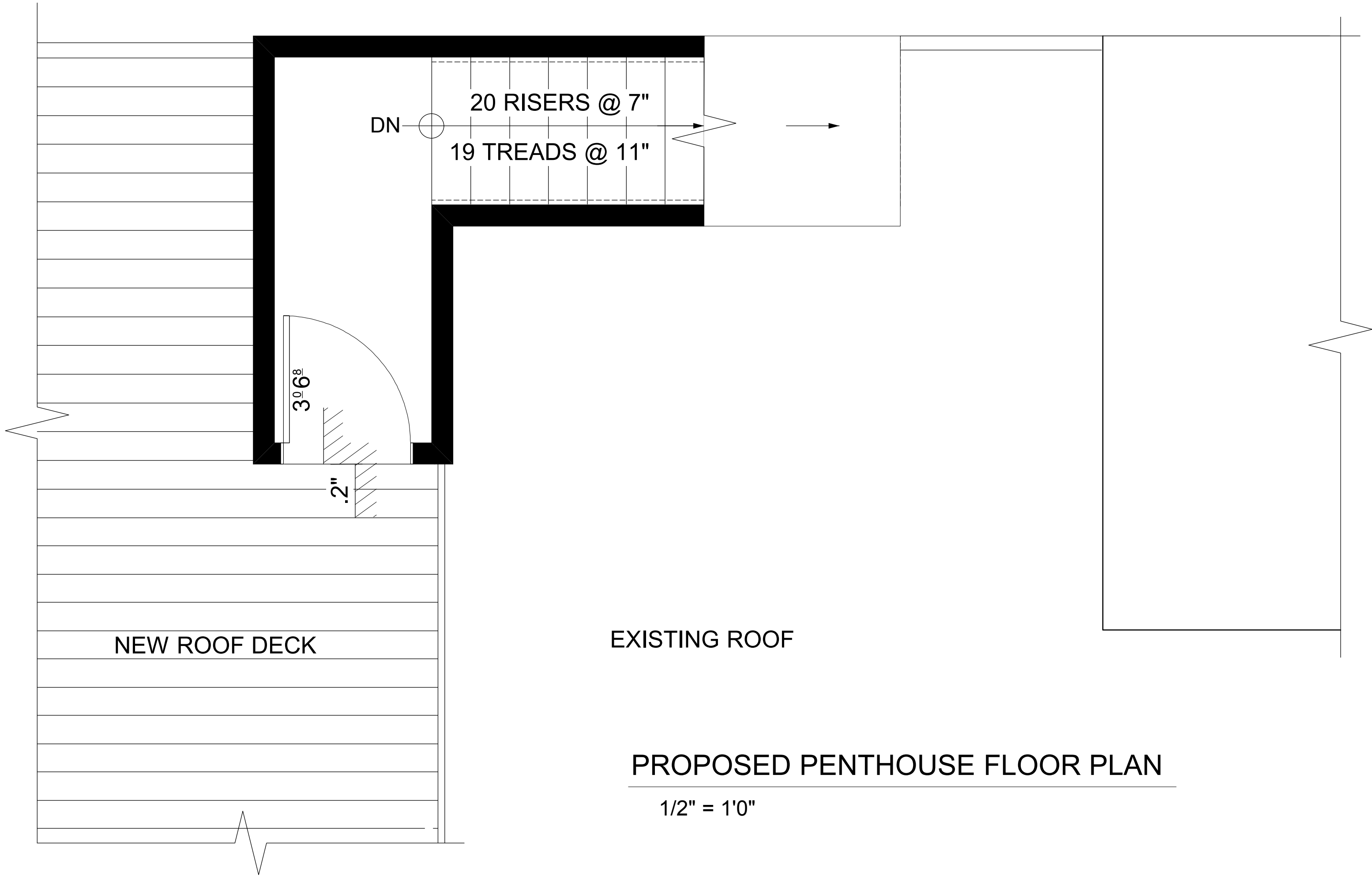
PROPOSED INTERIOR STAIR SECTION

1/8" = 1'0"



PROPOSED NORTH ELEVATION

1/8" = 1'0"



PROPOSED PENTHOUSE FLOOR PLAN

1/2" = 1'0"



PROPOSED WEST ELEVATION

1/4" = 1'0"

sheet

A4

drawn by

ACA/SD

revised

date

12-30-2013

scale

AS NOTED

a. gordon atkinson, aia

735a taraval street ~ san francisco, ca 94116

tel 415-731-9927 fax 415-731-9942 e-mail gordonatkinson@sbcglobal.net

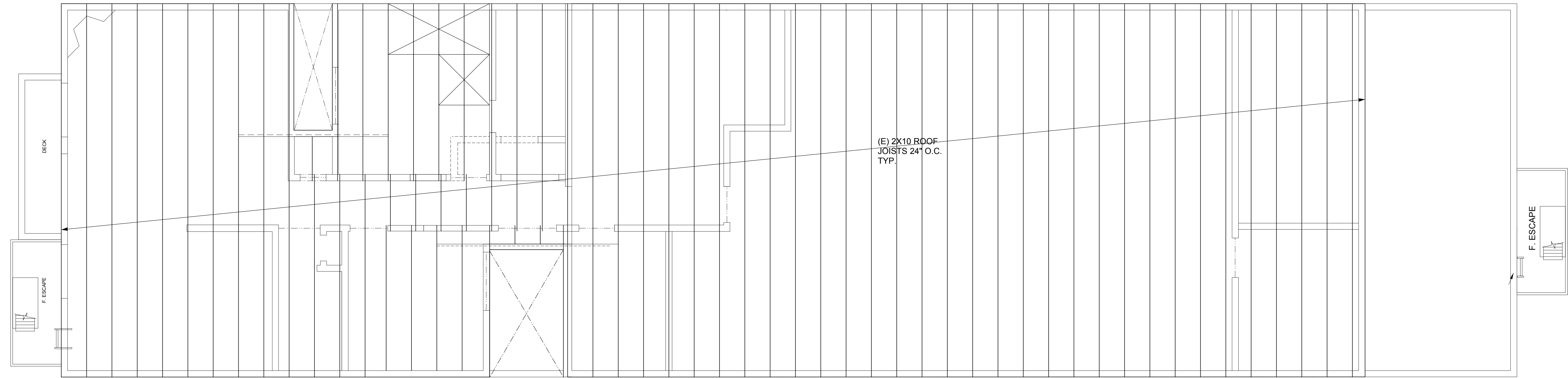
NEW APARTMENTS FOR

2881 / 2883 MISSION STREET ~ SAN FRANCISCO, CA

PROPOSED PENTHOUSE FLOOR PLAN

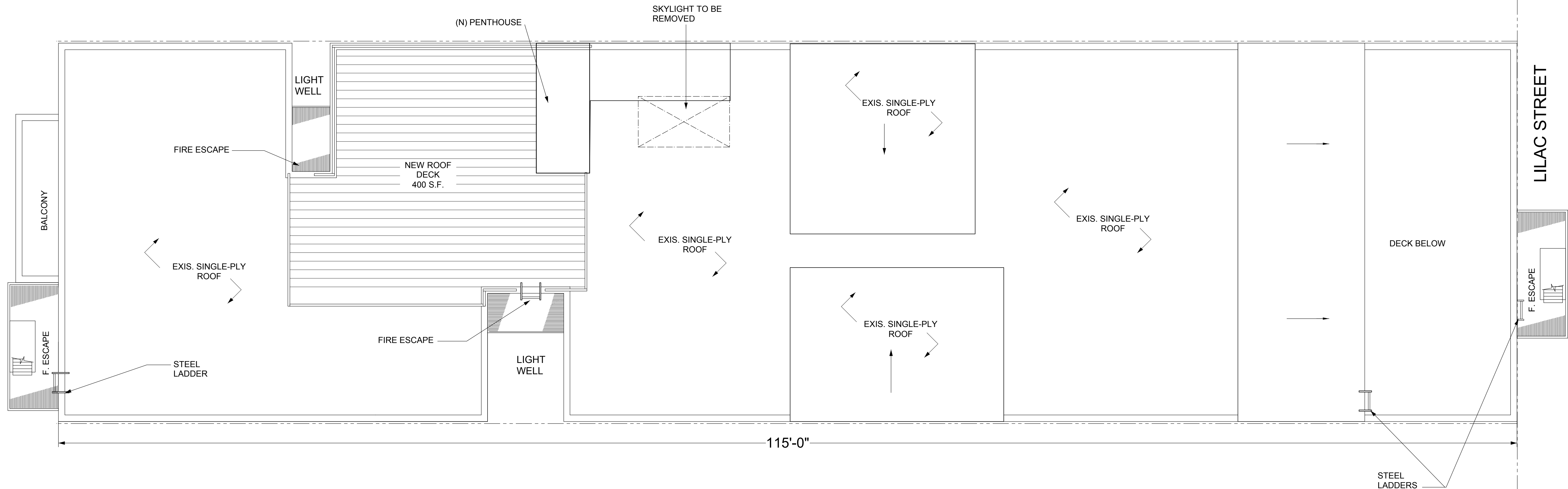
PROPOSED ELEVATIONS

PROPOSED STAIR SECTION



PROPOSED ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"



PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

NEW APARTMENTS FOR
2881 / 2883 MISSION STREET ~ SAN FRANCISCO, CA
PROPOSED ROOF PLAN
PROPOSED ROOF FRAMING PLAN

a. gordon atkinson, aia

735a taraval street ~ san francisco, ca 94116
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