



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	101 Maple Street	Case No.:	2014-000840PRJ
Cross Street(s):	Jackson Street	Building Permit:	N/A
Block / Lot No.:	0989/026	Applicant/Agent:	Geddes Ulinskas
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 904-0483
Area Plan:	N/A	E-Mail:	gulinskas@ularch.com

PROJECT DESCRIPTION

The subject project modifies a rear yard variance approved under Case No. 2012.0504V (granted August 15, 2012) to document the accurate relationship of the subject property to the adjacent property to the west (3725 Jackson Street), reduce the proposed first story south wall of the new portion of the building by 18", and to add an approximately 14' tall wall at the rear between the two properties.

PER SECTION 134 OF THE PLANNING CODE, the required rear yard for the subject property is 15'-9 1/2". The proposed rear addition would extend the full depth of the rear yard as previously approved under Case No. 2012.0504V. The fence would be located entirely within the required rear yard at the rear property line. Planning Code 136(c)(19) allows a fence up to 10 feet in height within the required rear yard; the proposed wall would exceed the permitted height by 3 feet; therefore, the project requires a variance from Section 134 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Alexandra Kirby** Telephone: **415-575-9133** Mail: Alexandra.Kirby@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014-000840PRJ.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

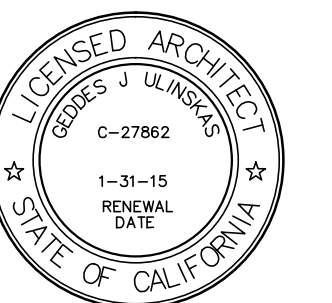
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

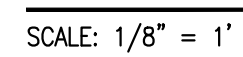
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

01 Maple St
San Francisco, CA

ISSUE	DESCRIPTION	DATE
2	PLAN CHECK COMMENTS	08.16.2013
6	VARIANCE APPLICATION	10.31.2014

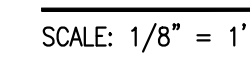
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G_002



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SHEET NOTES

1. REGARDING PROPERTY LINE WALLS AT THE BASEMENT AND FIRST FLOORS BETWEEN 101 MAPLE AND 3725 JACKSON STREET, PROVIDE THE FOLLOWING:
- A. IN ALL NEW ASSEMBLIES AT PROPERTY LINE WALLS, INSTALLED OUTLET BOXES SHALL BE SEALED ON BACKS AND SIDES WITH SHEET CAULKING PADS. SEE DETAIL 6/A-200.
- B. LOW VOLTAGE DEVICES SHALL BE PLACED IN SHEETMETAL OUTLET BOXES AND TREATED AS NOTED IN ITEM #A.
- C. ALL SPEAKERS TO BE INSTALLED IN CEILING, FRONT, AND REAR WALLS. SPEAKERS SHALL BE FULLY ENCLOSED IN BACK-CANS OR ENCASED IN GYPBOARD.
- D. SUBWOOFERS NOT TO BE LOCATED IN PROPERTY LINE WALL. THEY ARE TO BE LIMITED IN SIZE AND LOCATED AS CLOSE AS POSSIBLE TO THEATER OCCUPANTS WHILE MAINTAINING AS MUCH DISTANCE AS POSSIBLE BETWEEN THE SUBWOOFER AND THE LOT LINE DEMISING WALL".

- E. INSTALL LIMITERS AND CONTROLS ON BOTH OVERALL VOLUME OF AUDIO SYSTEM AS WELL AS ABILITY TO "ROLL OFF" SPECIFIC FREQUENCIES AS NEEDED TO ELIMINATE AUDIBLE NOISE TRANSMISSION.
- F. INSTALL SOUND-ABSORPTIVE FINISHES TO CONTROL REVERBERATION AND NOISE BUILDUP.
- G. SEE LIGHTING PLANS, A-120 FOR INFORMATION REGARDING CEILING TYPES AND NOTES FOR LIGHT FIXTURES.
- H. CEILING MOUNTED RECESSED LIGHT FIXTURES NEED TO BE RATED IC AIRTIGHT (WITH THEIR OWN SEALED BACK CANS) OR ENCLOSED FULLY IN GYPSUM BOARD BOXES.

MECHANICAL AND VENTILATION NOTES

- A. CONTINUOUS VENTILATION FAN (CVF) REFERENCED IN CALCULATIONS FOR WHOLE BUILDING VENTILATION LISTED ON THIS SHEET SHALL BE PANASONIC FAN - FV-05V05 - 50 CFM AT MANUAL USE - 35 CFM AT CONTINUOUS VENTILATION MODE.
- B. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 AND 802.8.
- C. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- D. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.
- F. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4", TERMINATED TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ. INCH MINIMUM, MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
- G. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5.

CALCULATION FOR CONTINUOUS WHOLE BUILDING VENTILATION

101 MAPLE STREET - TOTAL NUMBER OF BEDROOMS = 5 BEDROOM

TOTAL PROPOSED CONDITIONED AREA = 6,000 SQ. FT.

VENTILATION AIR REQUIRED PER ASHRAE 62.2 RESIDENTIAL COMPLIANCE MANUAL = 98 CFM

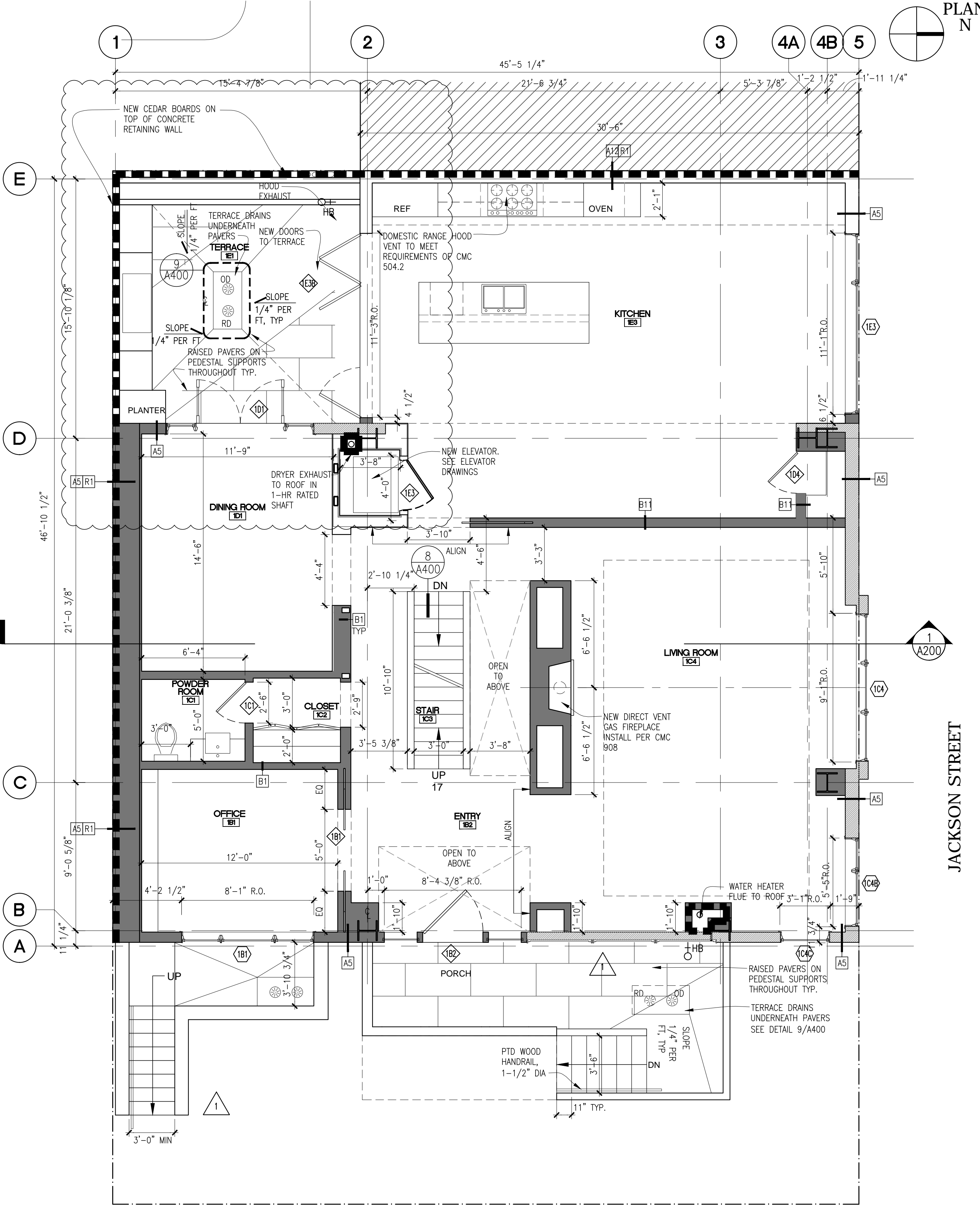
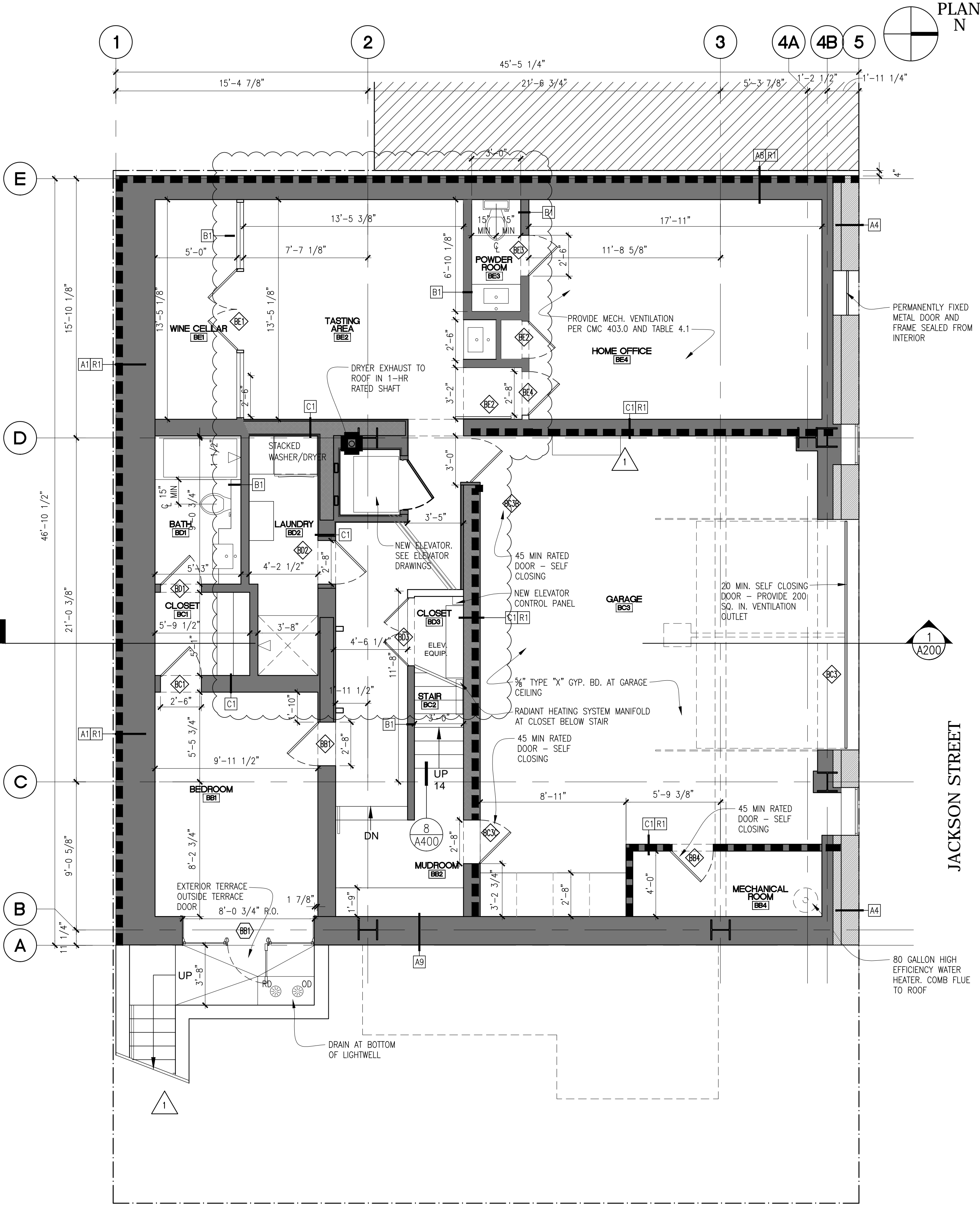
METHOD OF COMPLIANCE PER 2008 ENERGY CODE

3 CONTINUOUSLY OPERATED EXHAUST FANS AT 35 CFM PROVIDE REQUIRED VENTILATION

SEE PLANS FOR CONTINUOUS VENTILATION EXHAUST FANS NOTED AS CVF

LEGEND

- 1 HR RATED WALL
- (E) WALL TO REMAIN
- NEW WALL



BASEMENT PROPOSED PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

GEDDES ULINSKAS ARCHITECTS

52 Second Street
San Francisco CA 94105
T 415 904 0483
F 415 904 8643

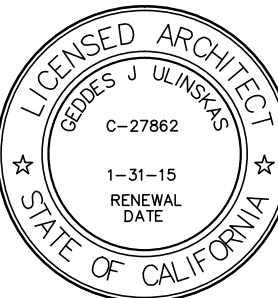
101 MAPLE STREET

101 Maple St
San Francisco, CA

DRAWN BY: PLOT DATE: XX/XX/XX

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	07.29.2013
1	PERMIT REVISIONS	03.17.2014
	WINDOW PRICING SET	05.19.2014
	EXTERIOR REVISIONS	06.11.2014
	DESIGN UPDATE	07.18.2014
4	EXTERIOR REVISION	09.29.2014
6	VARIANCE APPLICATION	10.31.2014



BASEMENT AND FIRST FLOOR PLANS

A_100

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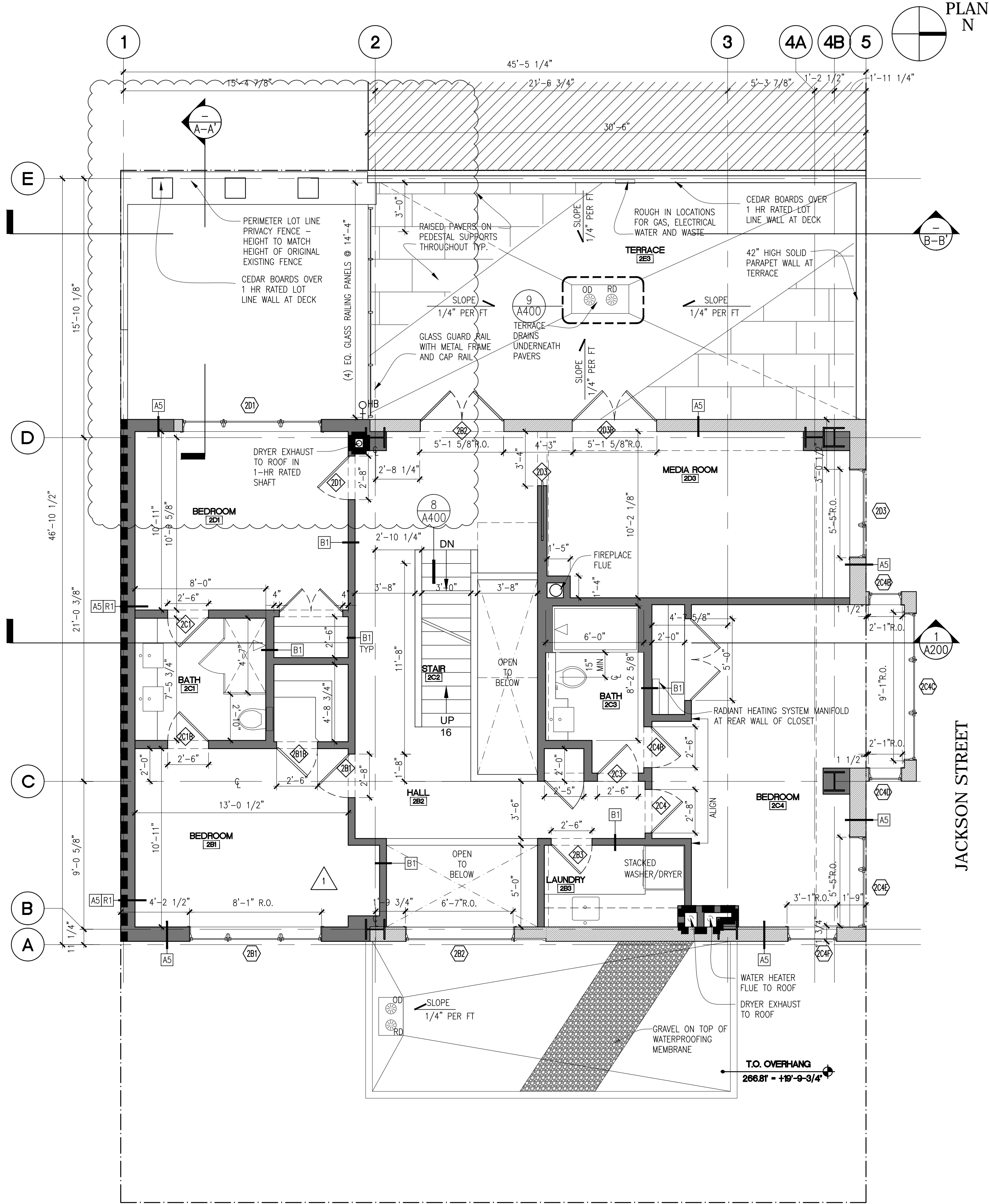
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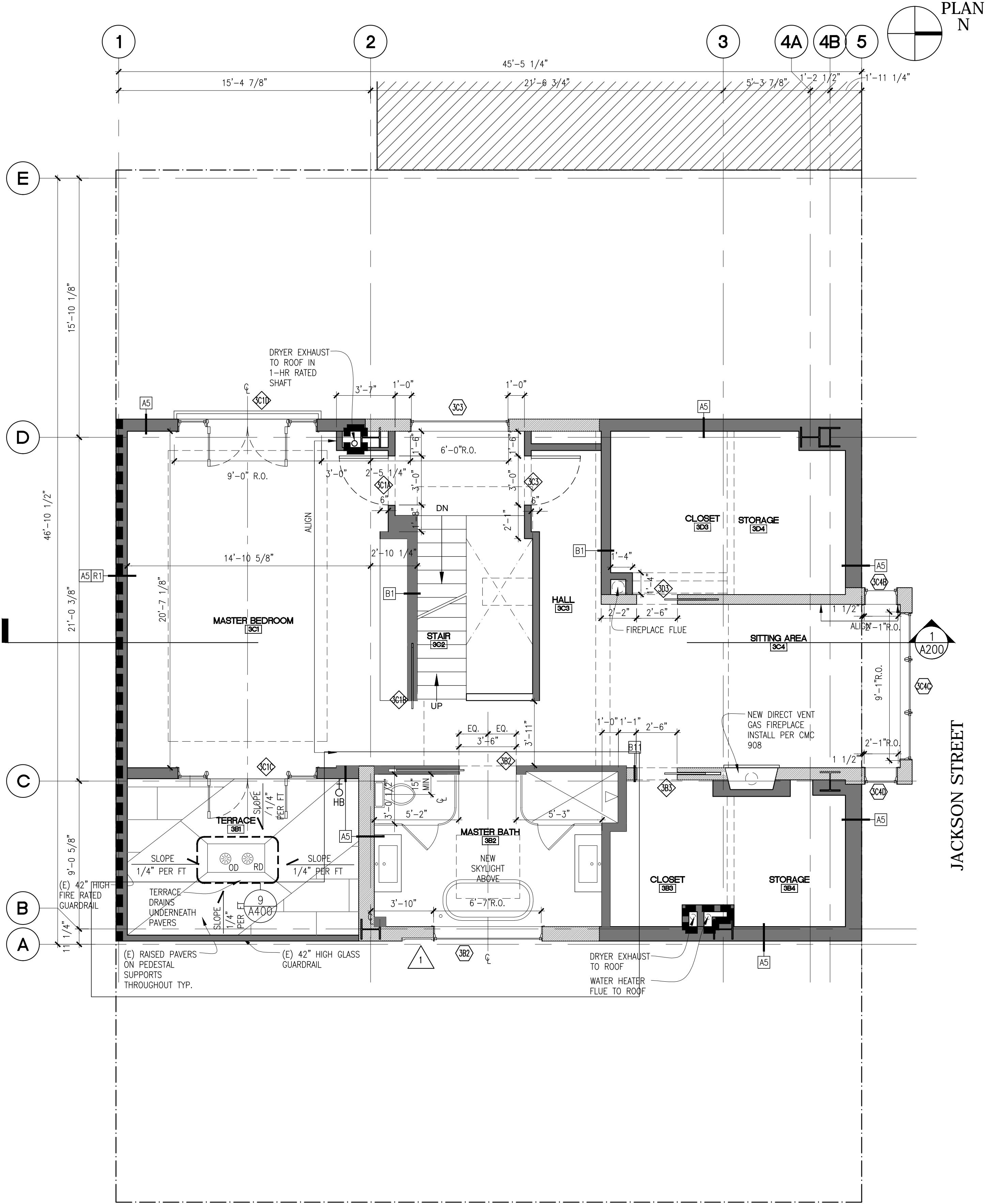


SECOND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

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THIRD FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

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GEDDES ULINSKAS ARCHITECTS

52 Second Street
San Francisco CA 94105

T 415 904 0483
F 415 904 8643

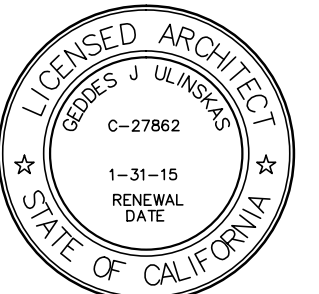
101 MAPLE STREET

101 Maple St
San Francisco, CA

DRAWN BY: PLOT DATE: XX/XX/XX

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ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	07.29.2013
1	PERMIT REVISIONS	03.17.2014
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	DESIGN UPDATE	07.18.2014
8	INTERIOR STAIR REV.	09.10.2014
4	EXTERIOR REVISION	09.29.2014
6	VARIANCE APPLICATION	10.31.2014



SECOND AND
THIRD FLOOR
PLANS

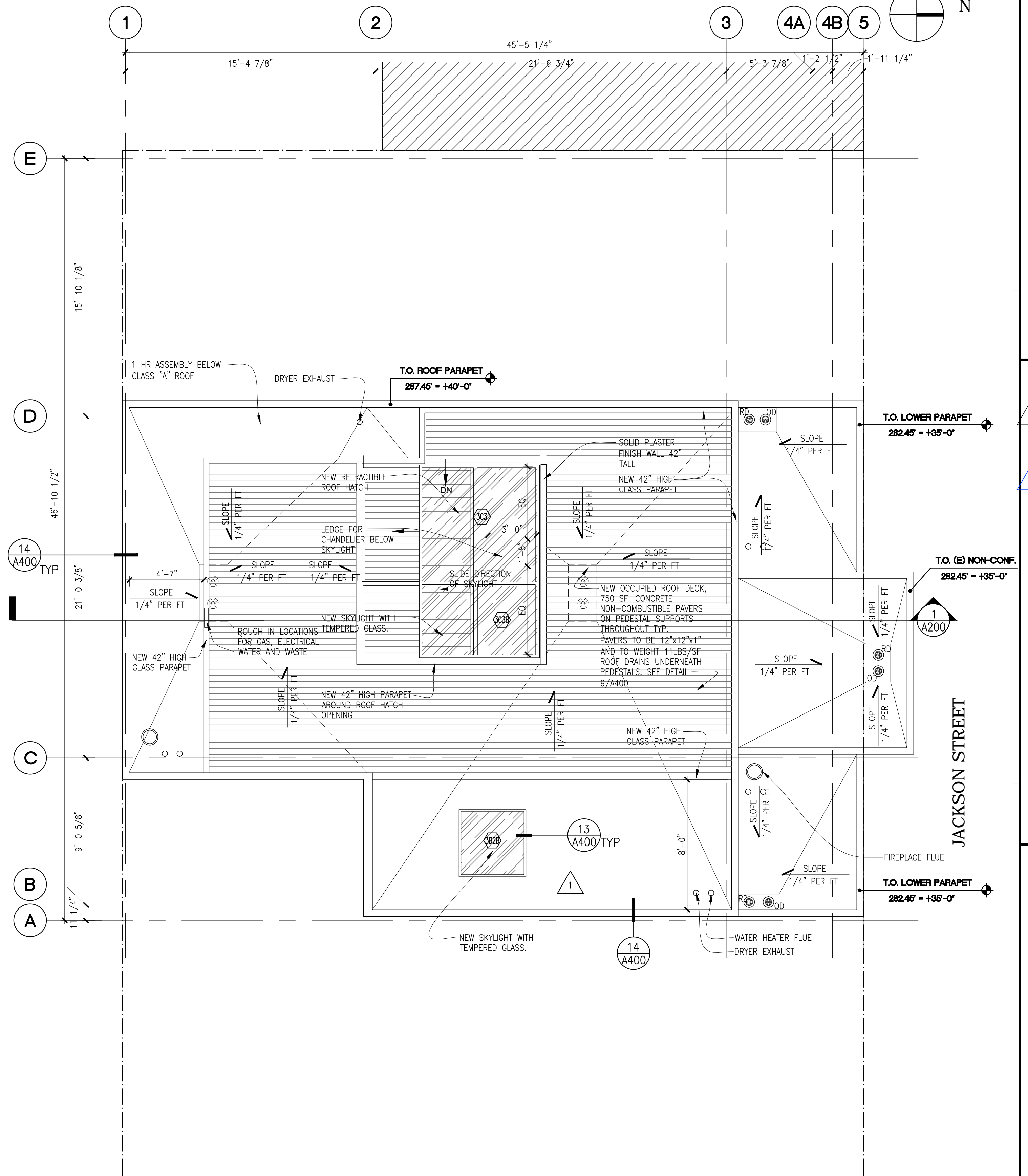
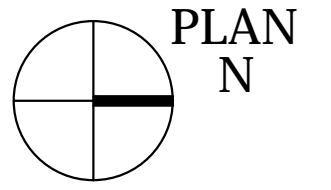
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01 Maple St
San Francisco, CA

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A_102



SCALE: $1/4" = 1'-0"$

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SCALE: 1/4" = 1'-0"

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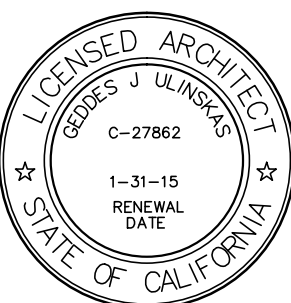
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PLOT DATE: XX/XX/XX

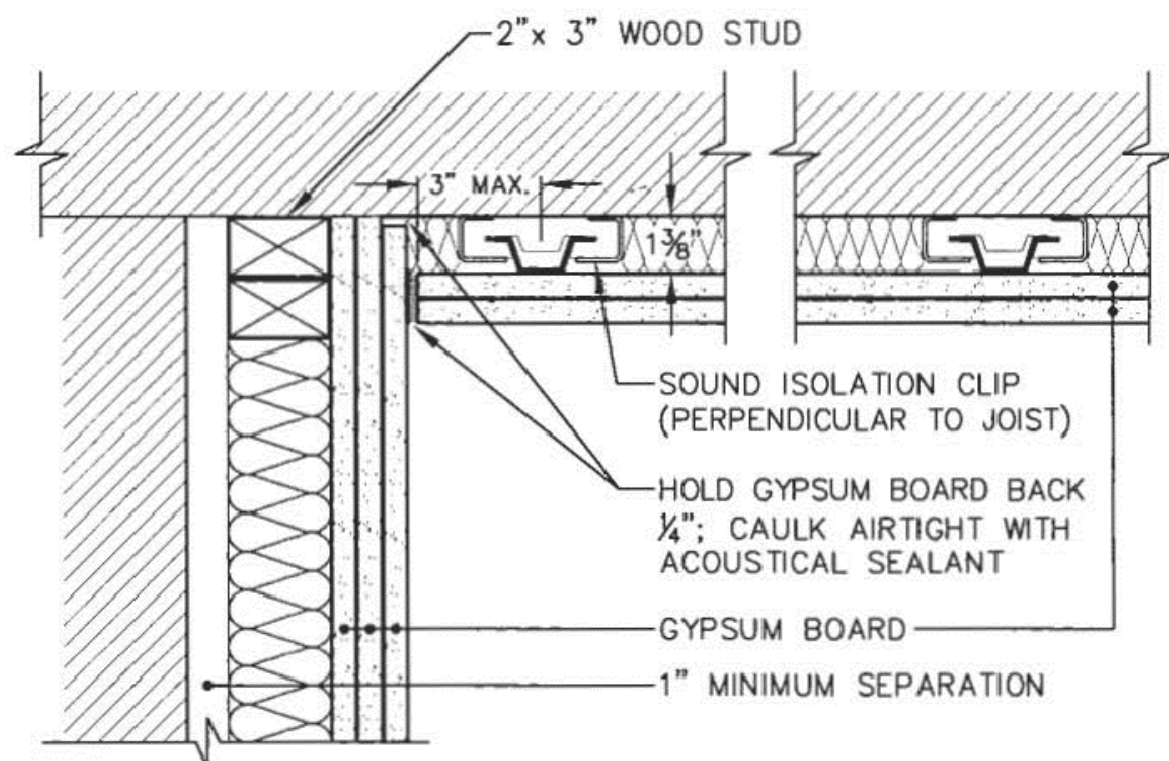
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PROPOSED
SECTION AND
DETAILS

A_200



ISOLATION CLIP AVAILABLE FROM:
ACOUSTHETICS, INC.
2790 38TH AVENUE,
SAN FRANCISCO, CA 94116
(415) 753-1301

KINETICS NOISE CONTROL, INC.
(614) 889-0480
www.kineticsnoise.com

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WALL TO CEILING
INTERSECTION

FIGURE 1

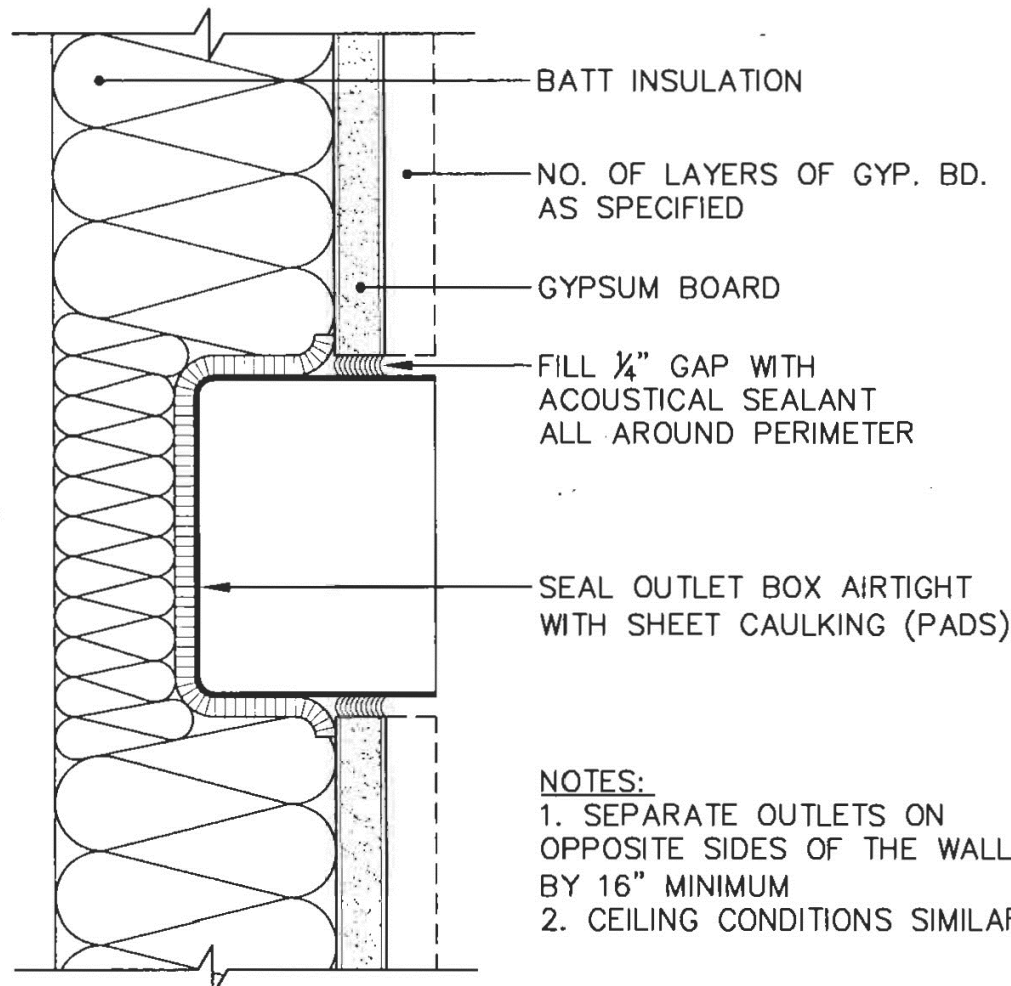
13/16" 1/2" 5/8" 10/28/12

Charles M Salter Associates Inc 130 Sutter Street San Francisco California 94104 Tel: 415 367 0442 Fax: 415 367 0464

WALL TO CEILING INTERSECTION

SCALE: NTS

5



NOTES:
1. SEPARATE OUTLETS ON
OPPOSITE SIDES OF THE WALL
BY 16" MINIMUM
2. CEILING CONDITIONS SIMILAR

PADS MANUFACTURED AND DISTRIBUTED BY:
LOWRY'S, INC.
23030 KIDDER STREET
HAYWARD, CA. 94545
(800) 252-2449; www.halowry.com

NOTE: WHERE FIRE-RATED PADS ARE REQUIRED, NELSON FSP FIRESTOP
PUTTY PADS MAY BE USED; MANUFACTURED BY:
NELSON FIRESTOP PRODUCTS
4135 SOUTH 100TH EAST AVENUE - SUITE 100
TULSA, OK. 74146
(800) 331-7325; www.nelsonfirestop.com

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OUTLET TREATMENT IN
SOUND-RATED CONSTRUCTION

FIGURE 3

4/9A 5/18 5/21 06/11/12

Charles M Salter Associates Inc 130 Sutter Street San Francisco California 94104 Tel: 415 367 0442 Fax: 415 367 0464

OUTLET TREATMENT

SCALE: NTS

6

SECTION THROUGH ROOF HATCH

SCALE: 1/4" = 1'-0"

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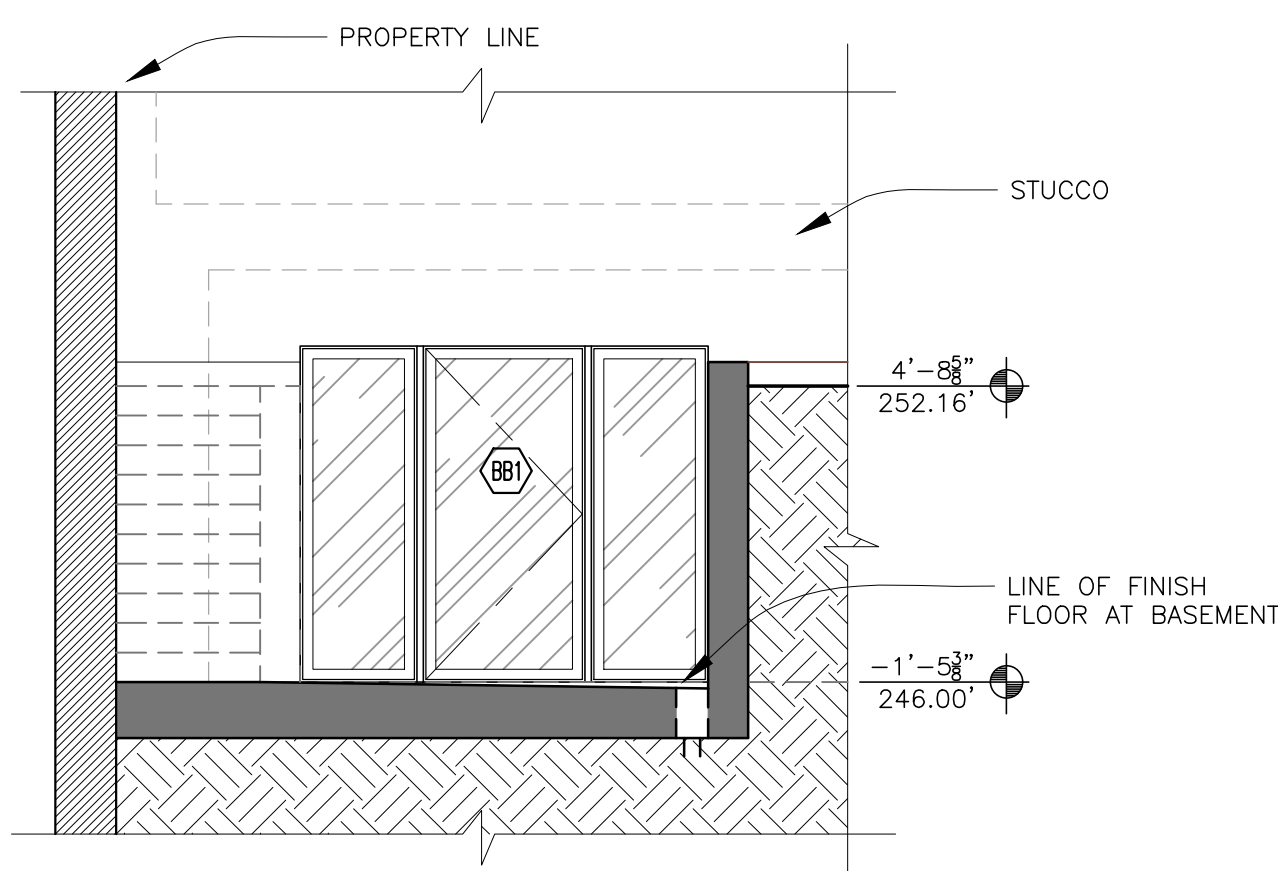
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SECTION • BEDROOM BB1

SCALE: 1/4" = 1'-0"

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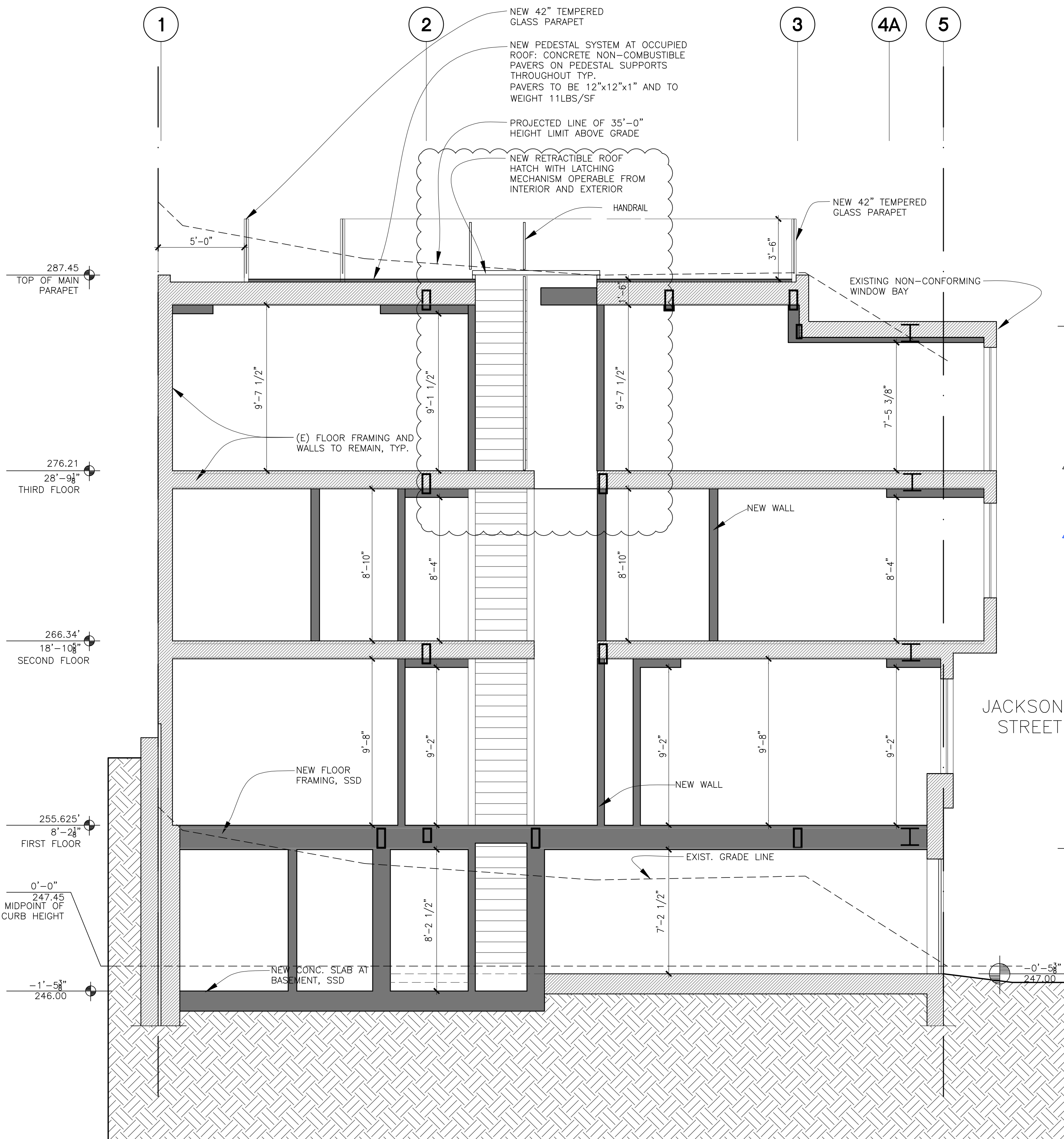


LIGHTWELL SECTION • BEDROOM BB1

SCALE: 1/4" = 1'-0"

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3



PROPOSED SECTION

SCALE: 1/4" = 1'-0"

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101 MAPLE STREET

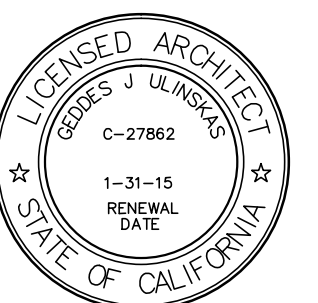
101 Maple St
San Francisco, CA

DRAWN BY: PLOT DATE: XX/XX/XX

CHECKED BY:

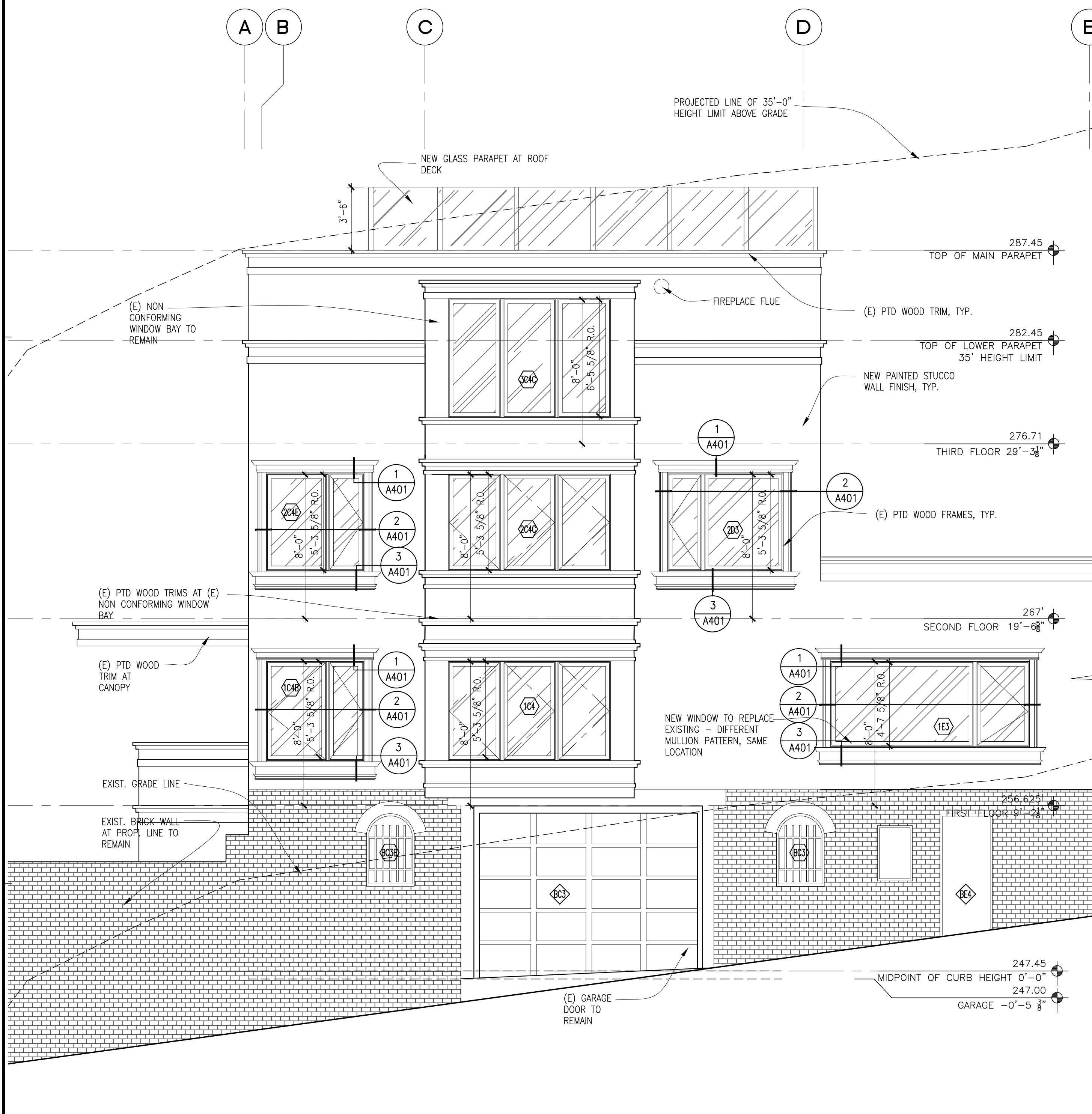
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DESIGN UPDATE	07.18.2014
EXTERIOR REVISION	09.29.2014
VARIANCE APPLICATION	10.31.2014



EAST AND NORTH
PROPOSED
ELEVATIONS

A_300

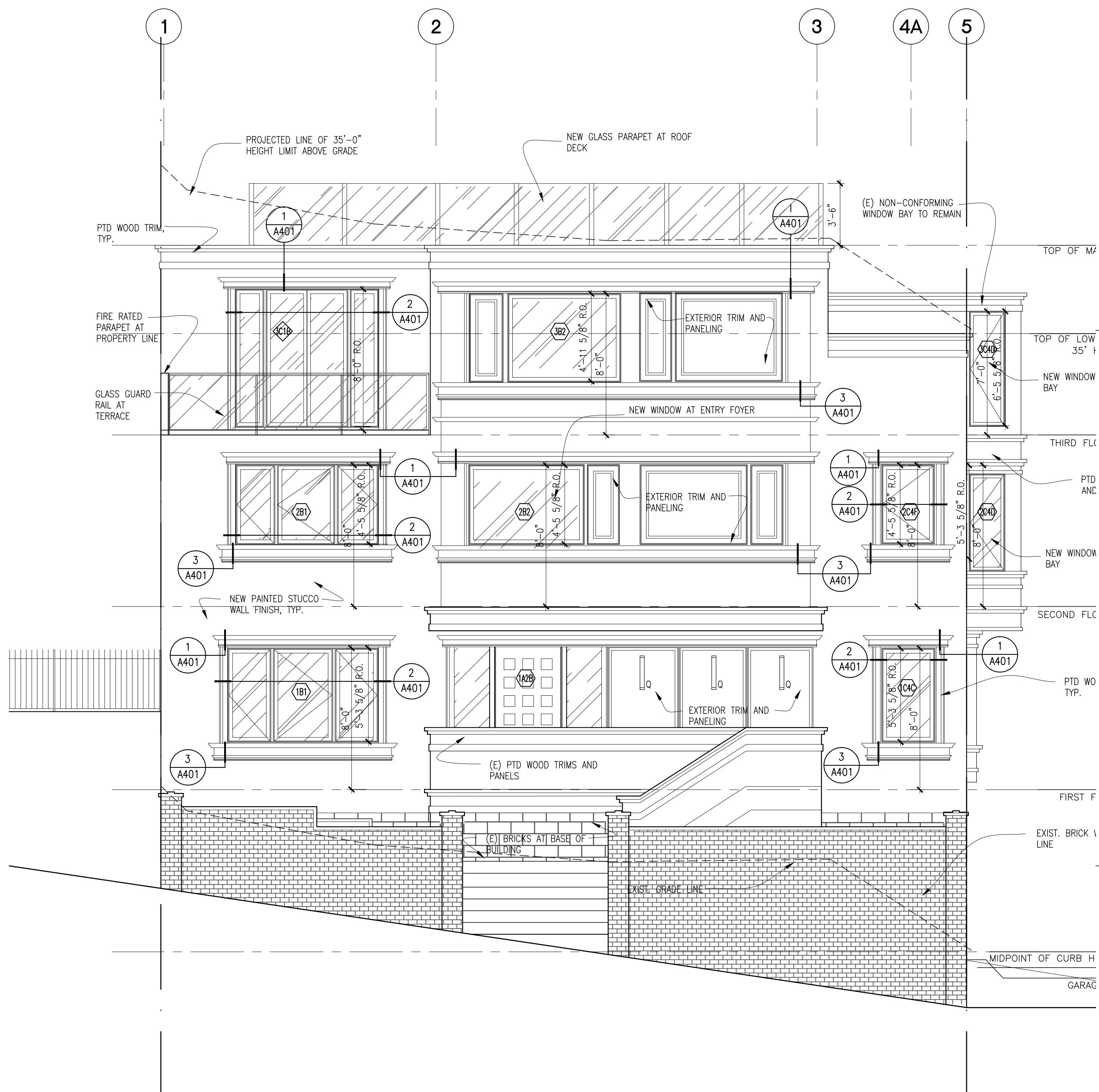


NORTH ELEVATION - JACKSON STREET

SCALE: 1/4" = 1'-0"

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EAST ELEVATION - MAPLE STREET

SCALE: 1/4" = 1'-0"

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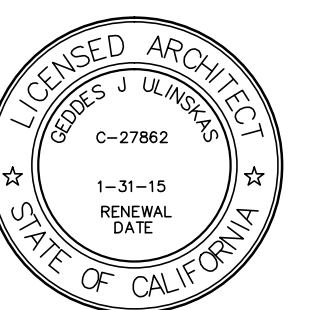
101 MAPLE STREET

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SOUTH AND WEST
PROPOSED
ELEVATIONS

A_301

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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WEST ELEVATION

SCALE: 1/4" = 1'-0"

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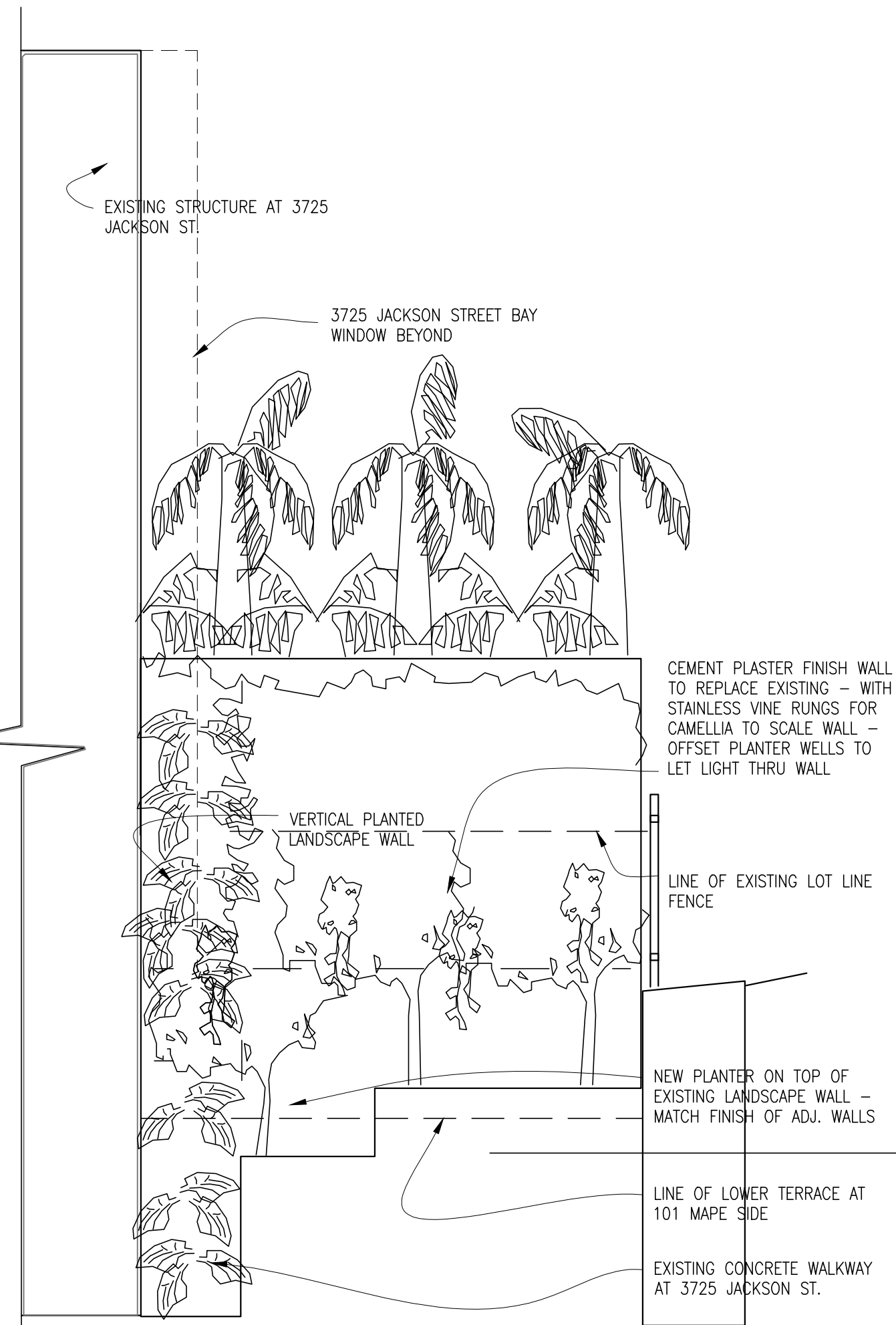
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01 Maple St
San Francisco, CA

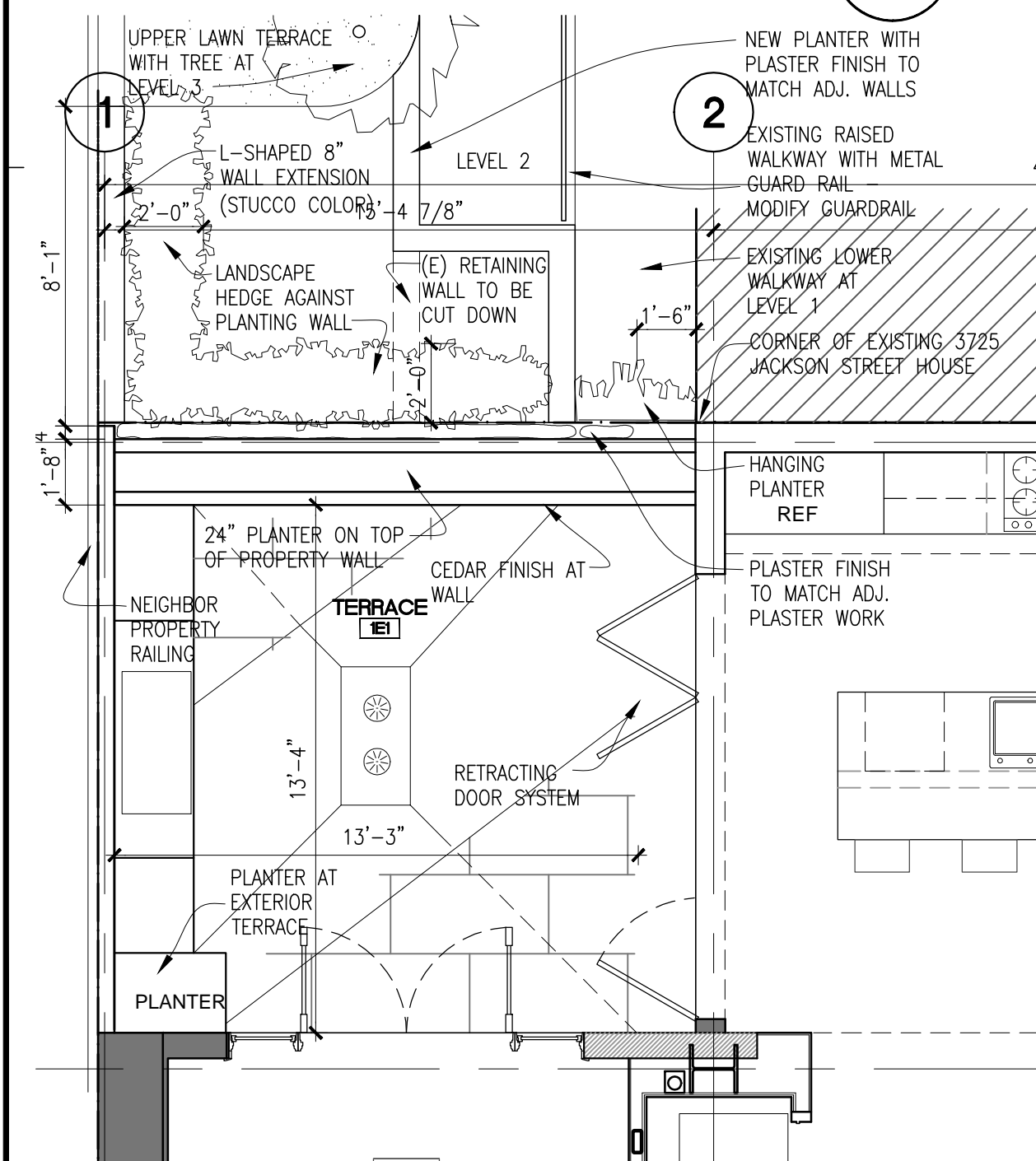
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5	EXTERIOR REVISION	10.13.2014
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A_302

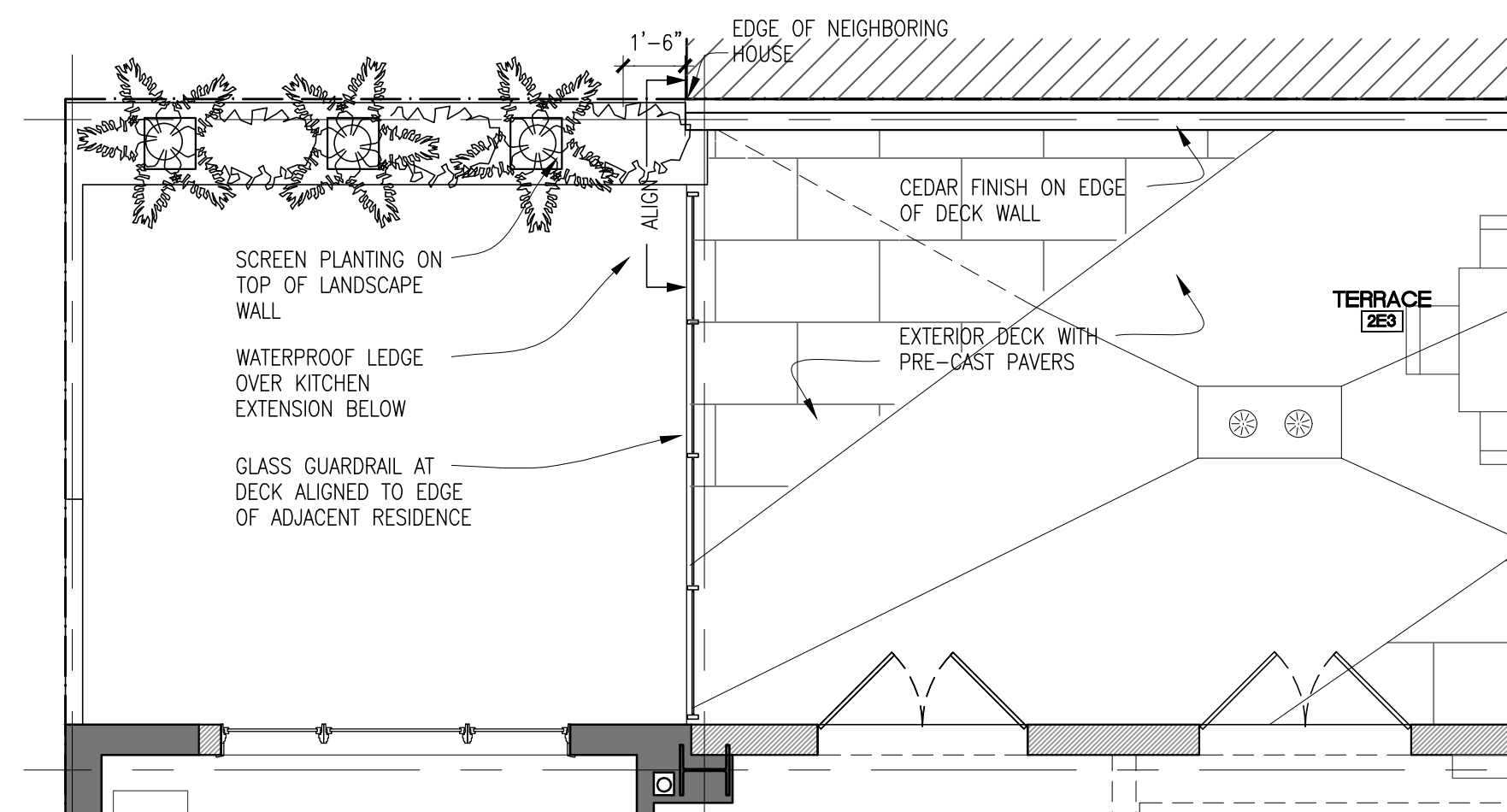


3



SCALE: $3/4" = 1'-0"$

2



1

