



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1749 Dolores St</b>	Case No.:	<b>2014-000274VAR</b>
Cross Street(s):	<b>Dolores &amp; San Jose</b>	Building Permit:	<b>201410290216</b>
Block / Lot No.:	<b>6659/006</b>	Applicant/Agent:	<b>Sherrie Chow, PPA Development, Inc.</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-602-6396</b>
Area Plan:	<b>n/a</b>	E-Mail:	<b>pfellowes@sbcglobal.net</b>

### PROJECT DESCRIPTION

The project proposes to add 1 new, lower level dwelling unit within the existing building envelope. A new rear deck is proposed above the existing garage, facing San Jose Avenue.

**Per Planning Code Section 134**, the required minimum rear yard for the subject property based on 25% of the lot depth is approximately 17 feet. The rear deck is proposed to be constructed within the required rear yard; therefore, a variance is required.

**Per Planning Code Section 135**, the usable open space requirement for this district is 125 sq.ft. per dwelling unit. While the property currently has no usable open space, the proposed deck provides only 68.25 sq.ft. of usable open space; therefore, a variance is required.

**Per Planning Code Section 140**, required windows for the new lower level dwelling unit must face directly onto an open area that is unobstructed for at least 25 feet. The windows on the rear wall are approximately 13 feet from the rear property line, which is bounded by a solid wood fence; therefore, a variance is needed.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Eiliesh Tuffy**

Telephone: **415-575-9191** Mail: [eiliesh.tuffy@sfgov.org](mailto:eiliesh.tuffy@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014-000274VAR.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On [DATE], the Department issued the required Section 311 notification for this project (expires [DATE]).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES:

2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA RESIDENTIAL CODE

ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS  
ALL STRUCTURAL DESIGN DATA AS PER CBC SECTION 1603  
ALL CONSTRUCTION AS PER CBC TABLE 601, TYPE V.

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS, TITLE 24 C.A.C. ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS, ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, IF REQUIRED.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVERTIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.

SCOPE OF WORK:

- CONVERT A SINGLE FAMILY DWELLING TO A 2 UNIT FAMILY DWELLING.
- REMOVE EXISTING STAIRS CONNECTING THE LOWER LEVEL TO THE MAIN LEVEL.
- AT THE LOWER LEVEL, A SECOND KITCHEN WILL BE ADDED.
- AT THE MAIN LEVEL, THE EXISTING BATH ROOM WILL BE CONVERTED IN A POWDER ROOM (HALF BATH), AND A NEW BATHROOM WILL BE ADDED TO THE EXISTING BEDROOM #1.
- NO WORK SHALL BE DONE AT THE UPPER LEVEL.

BUILDING DATA:

SITE ADDRESS: 1749 DOLORES ST.  
SAN FRANCISCO, CA 94110

CONSTRUCTION TYPE: TYPE V-B

OCCUPANCY GROUP: R-3

SITE AREA: 1735.60 SF

EXISTING FLOOR AREA:

(E) GARAGE:	289.11 SF
(E) LOWER LEVEL:	1016.84 SF
(E) MAIN ENTRY LEVEL:	1210.00 SF
(E) UPPER LEVEL:	6105.50 SF
TOTAL COVERED FLOOR AREA:	3186.53 SF

LOT COVERAGE:

(E) GARAGE:	289.11 SF
(E) LOWER LEVEL:	1016.84 SF
(E) MAIN ENTRY LEVEL CANTILEVER:	23.00 SF
(E) FRONT ENTRY STAIRS:	14.00 SF
(E) REAR STAIRS:	13.38 SF
TOTAL BLDG LOT COVERED AREA:	1416.33 SF

NOTE: NO ADDITION TO LOT COVERAGE OR FLOOR AREA

LIST OF DRAWINGS:

ARCHITECTURAL:

A1	TITLE SHEET, SITE PLAN W/ EXISTING ROOF PLAN
A2	EXISTING FLOOR PLANS W/ DEMOLITION PLAN
A3	NEW LOWER LEVEL, MAIN/ ENTRY AND EXISTING UPPER LEVEL FLOOR PLANS
A4	EXISTING ELEVATIONS
A5	EXISTING ELEVATIONS

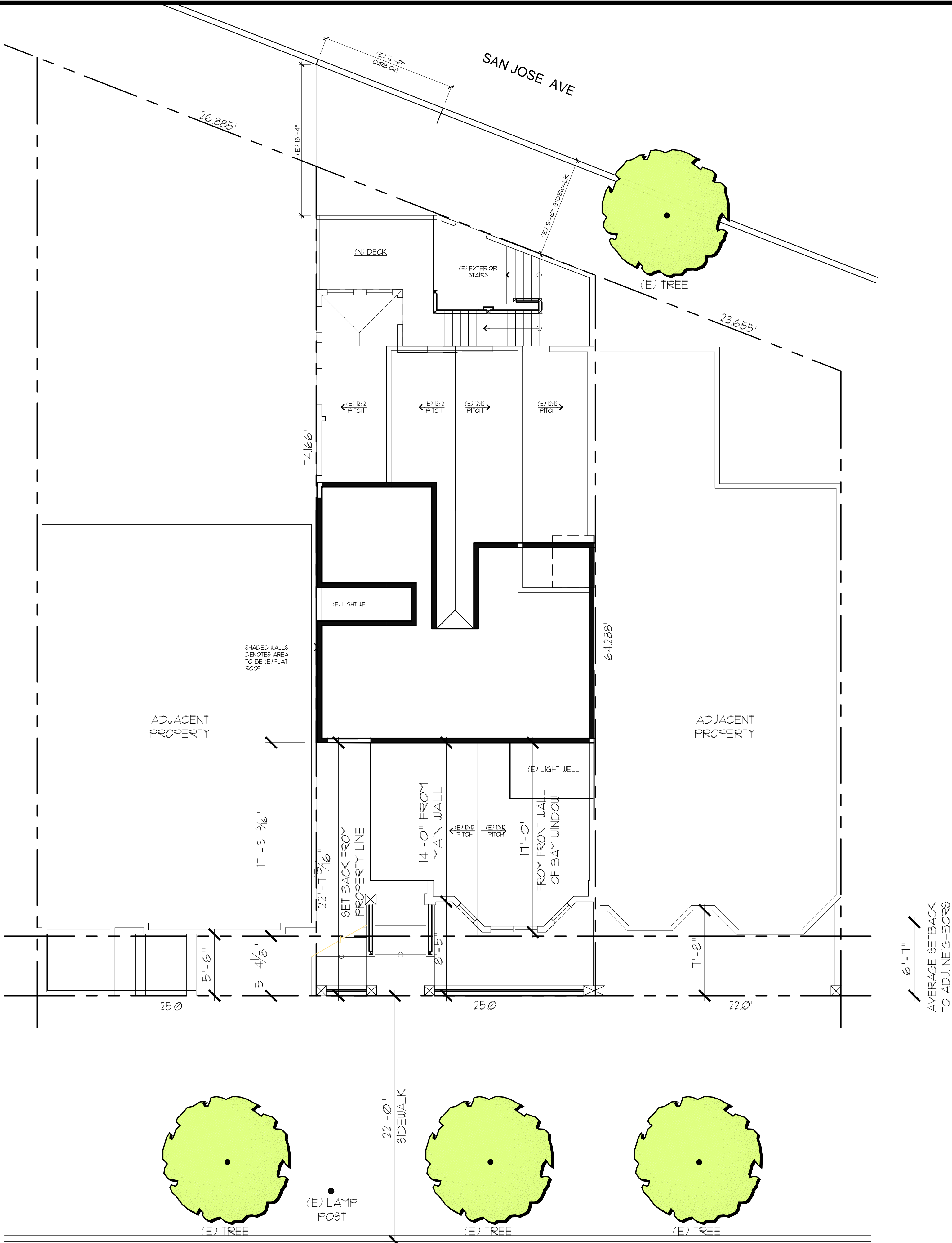
PLANNING INFORMATION:

ZONING: RH-2 (RESIDENTIAL HOUSE TWO FAMILY)

HEIGHT LIMIT: 40'-X

EXISTING NUMBER OF UNITS: ONE

PROPOSED NUMBER OF UNITS: TWO



SITE PLAN W/ (E) ROOF PLAN  
SCALE: 3/16"=1'-0"

DOLORES STREET

REVISIONS BY

PPA DEVELOPMENT INC.  
1008 LAUREL STREET  
SAN CARLOS, CA 94070  
CA License: 776357  
TEL: (415) 987-2954

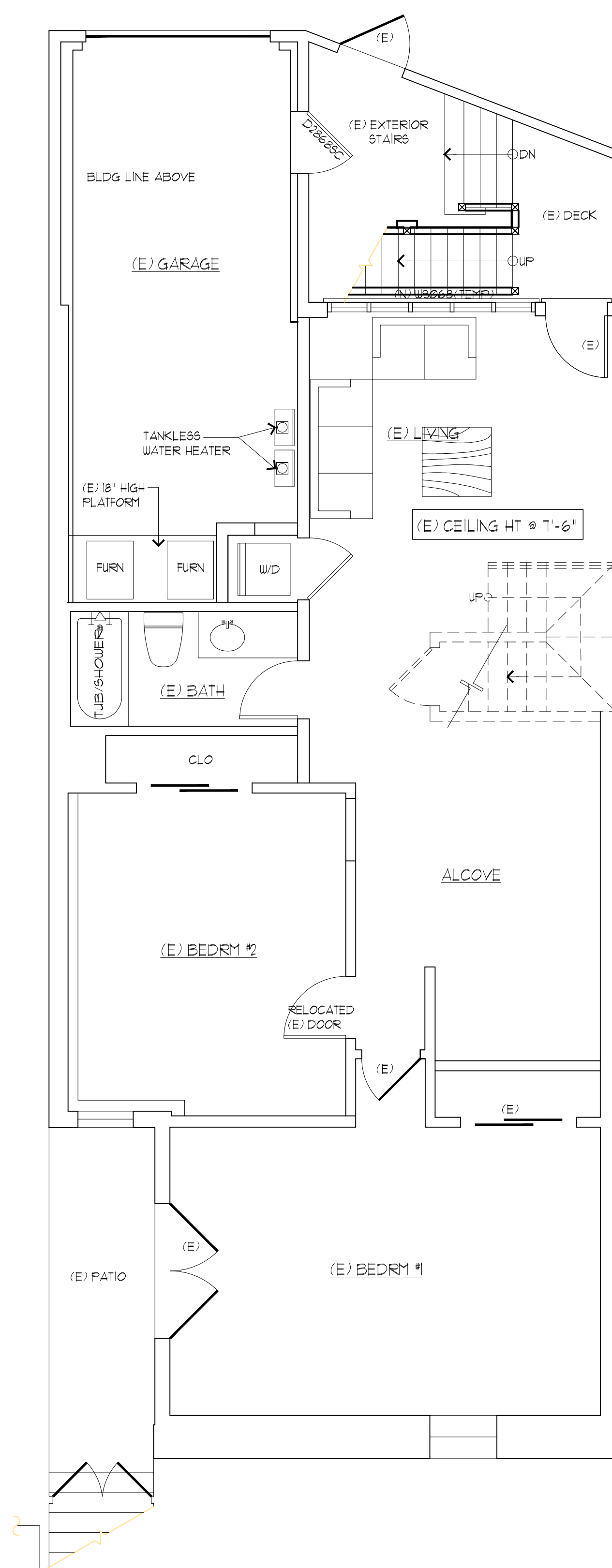
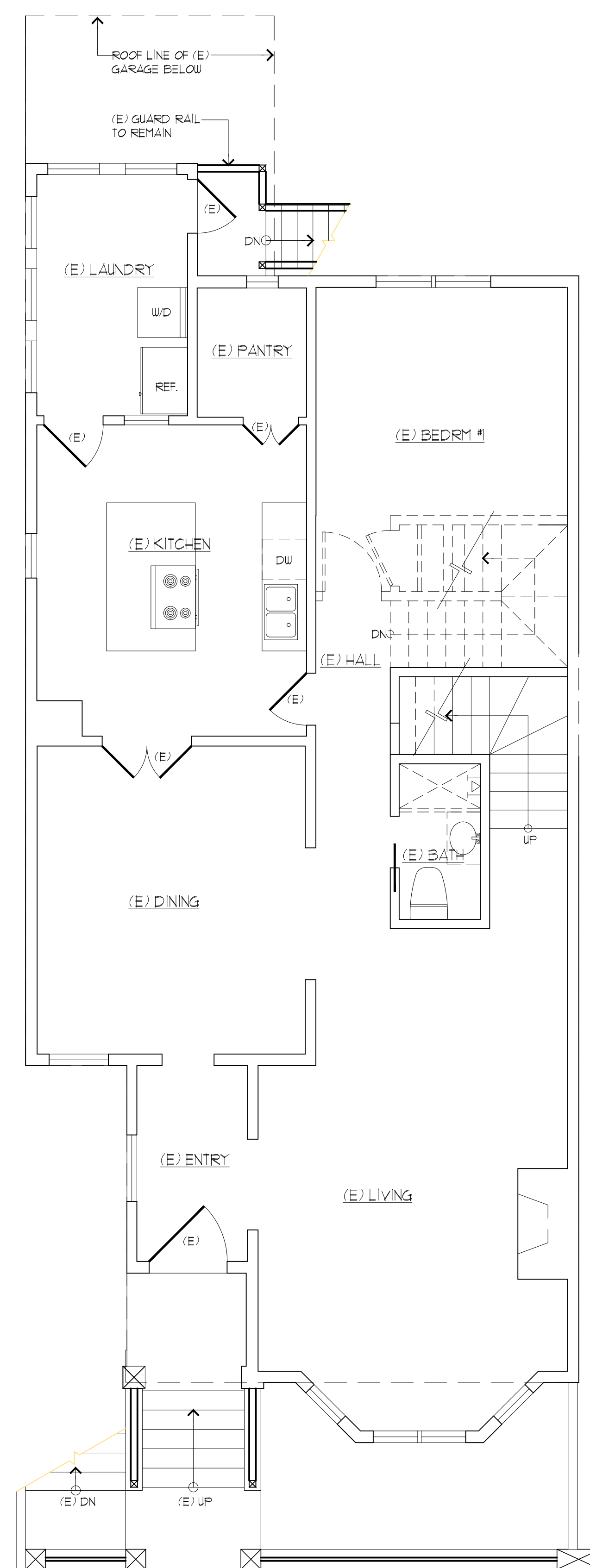
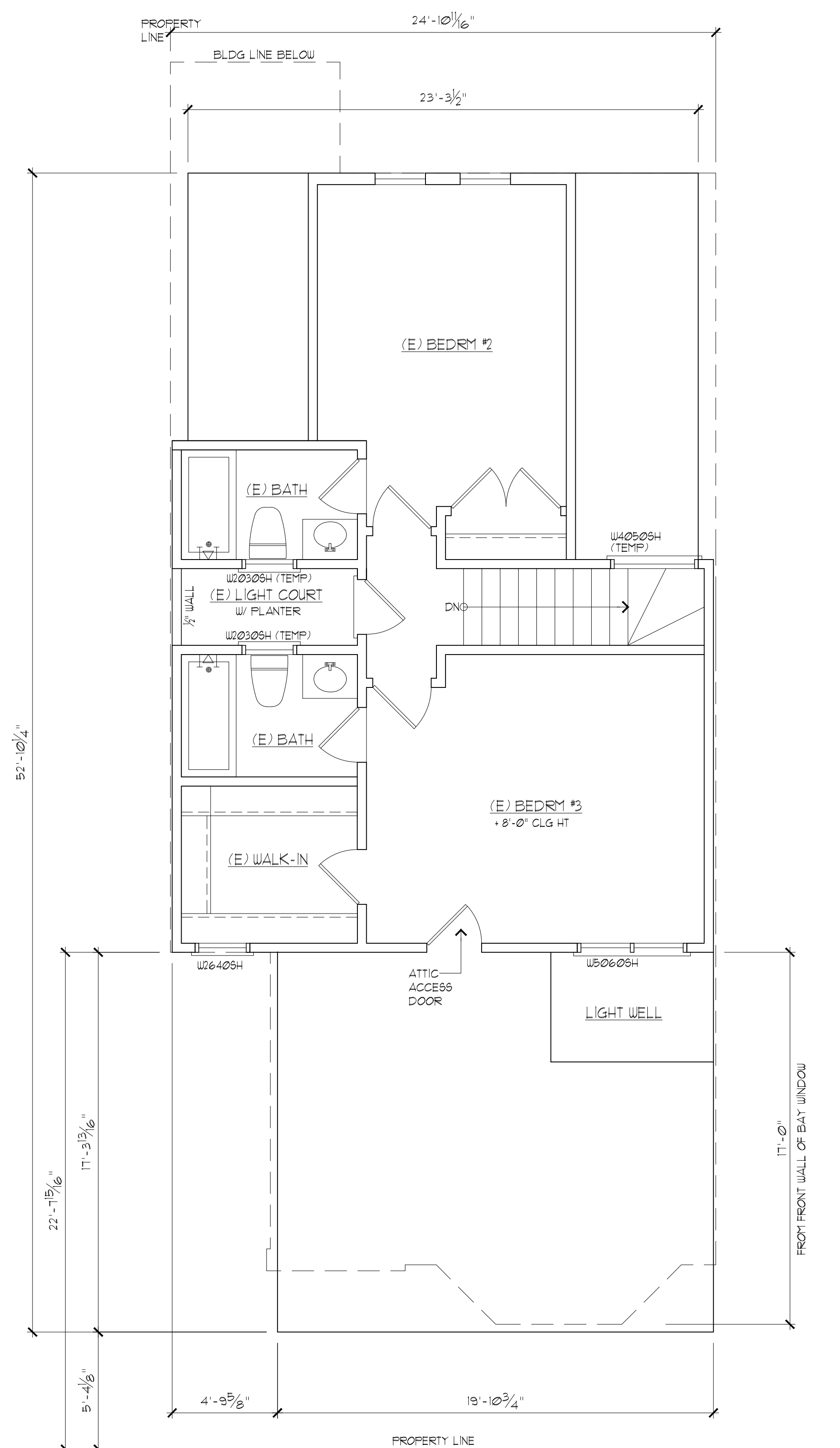
RESIDENCE INTERIOR REMODEL  
1749 DOLORES STREET  
SAN FRANCISCO, CA

TITLE SHEET  
SITE PLAN W/ (N) ROOF PLAN

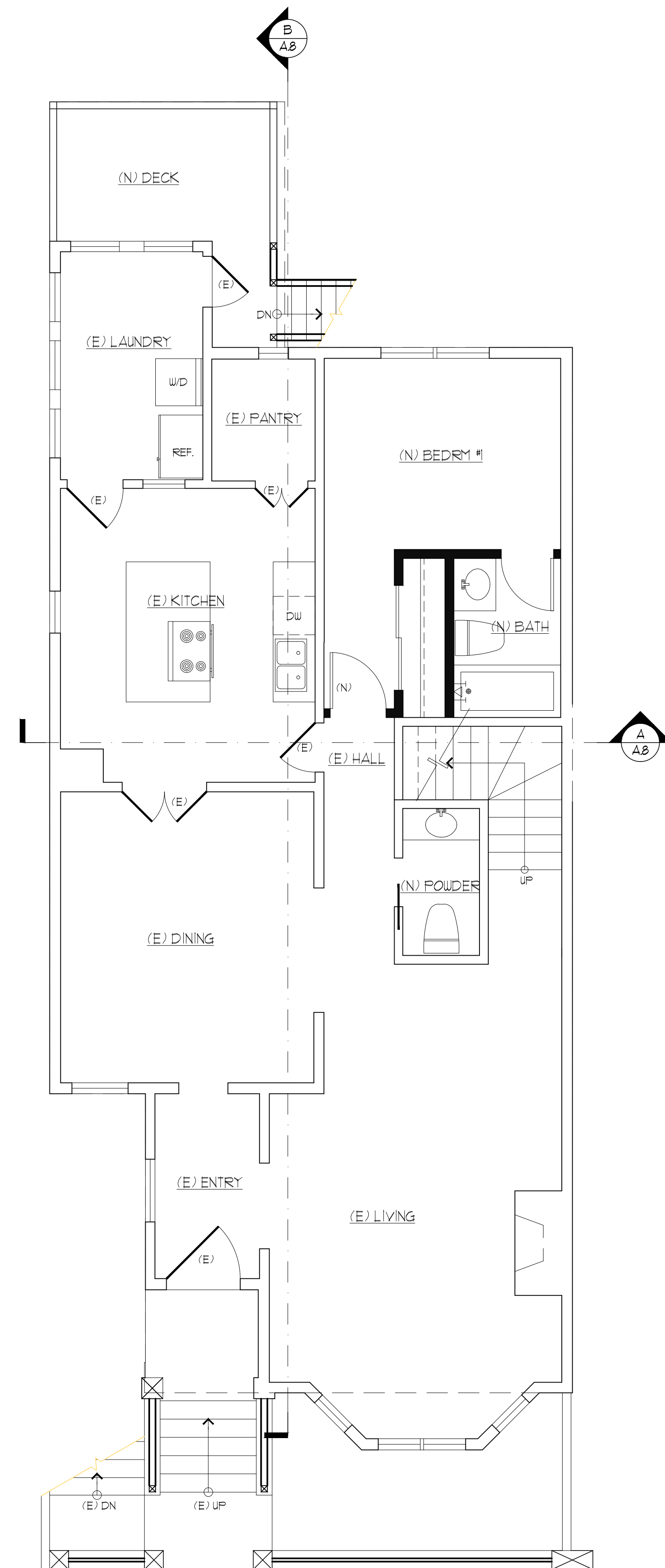
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DRAWN: SF  
FOR: SF  
SHEET NO.

A.1  
OF SHEETS

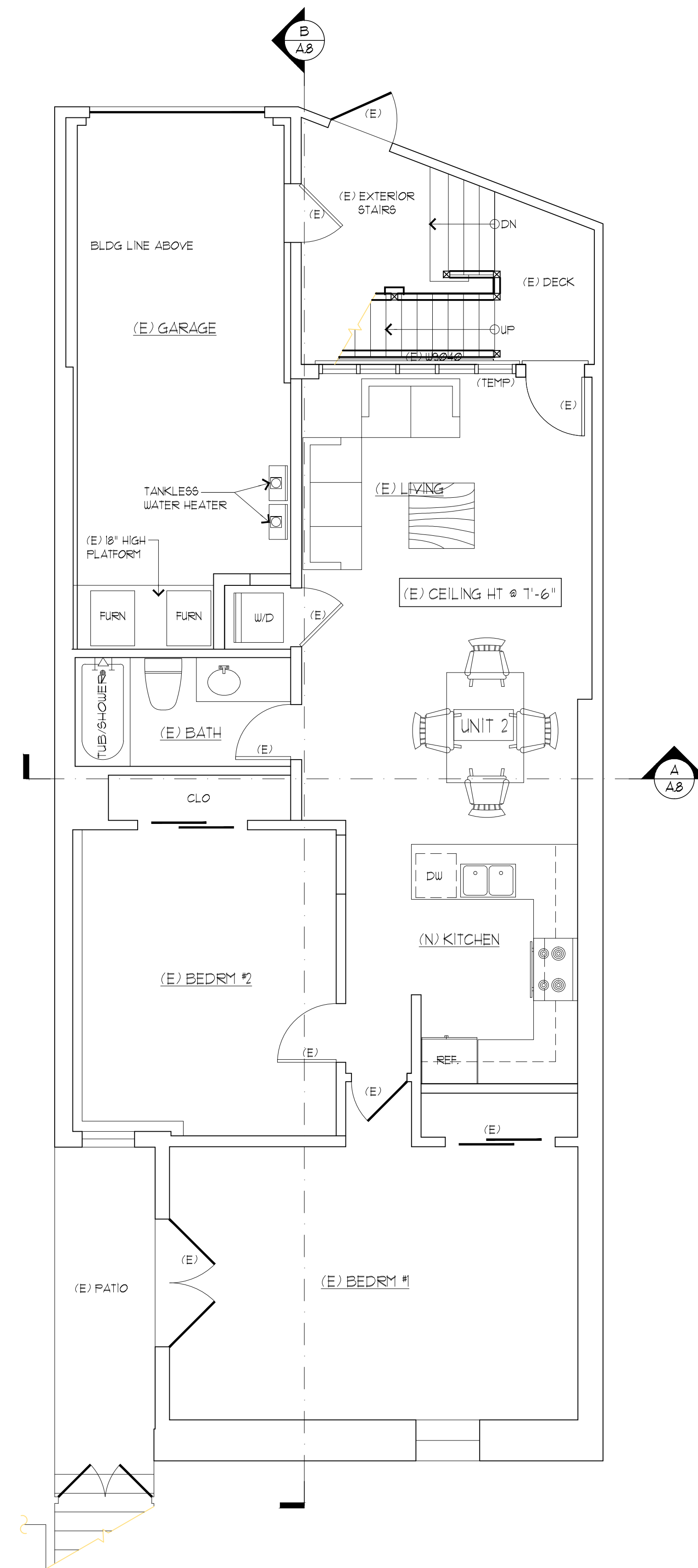




DATE: OCT 27, 2014		PPA DEVELOPMENT INC.	
SCALE: AS NOTED		1008 LAUREL STREET	
DRAWN: SF		SAN CARLOS, CA 94070	
JOB:		CA License: 776357	
SHEET NO.		TFT : (415) 987-2954	

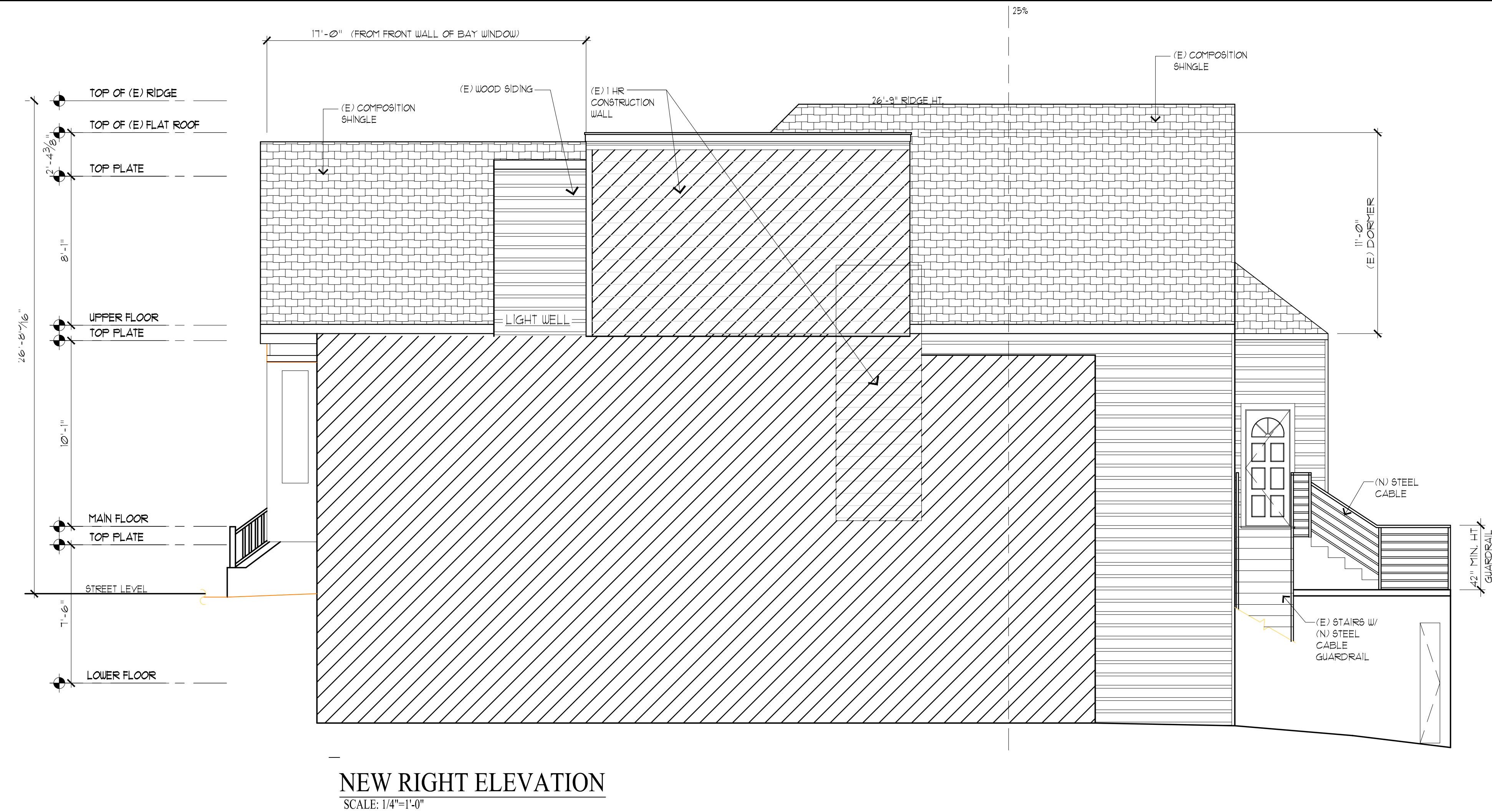
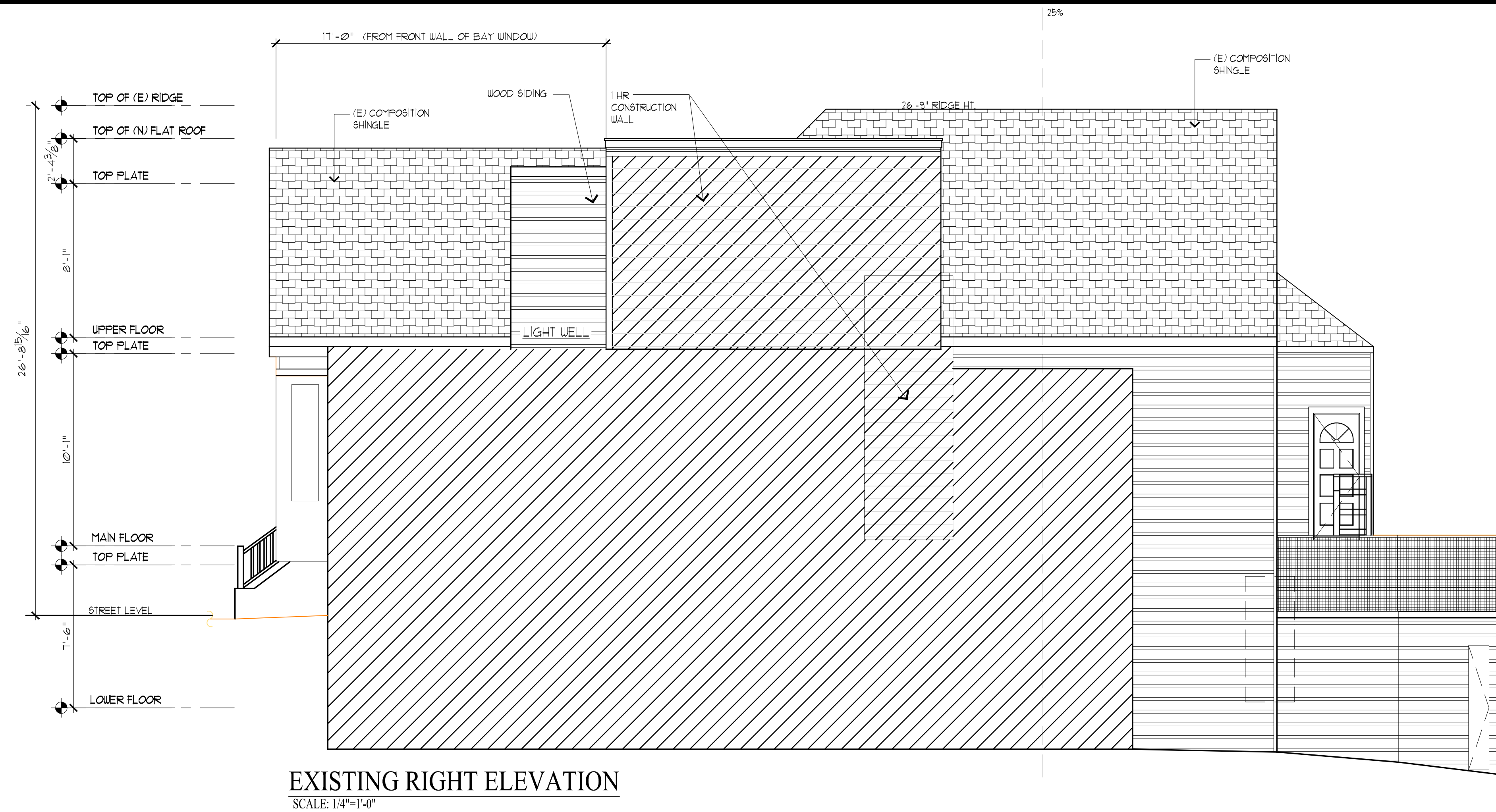


(N) MAIN ENTRY LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"

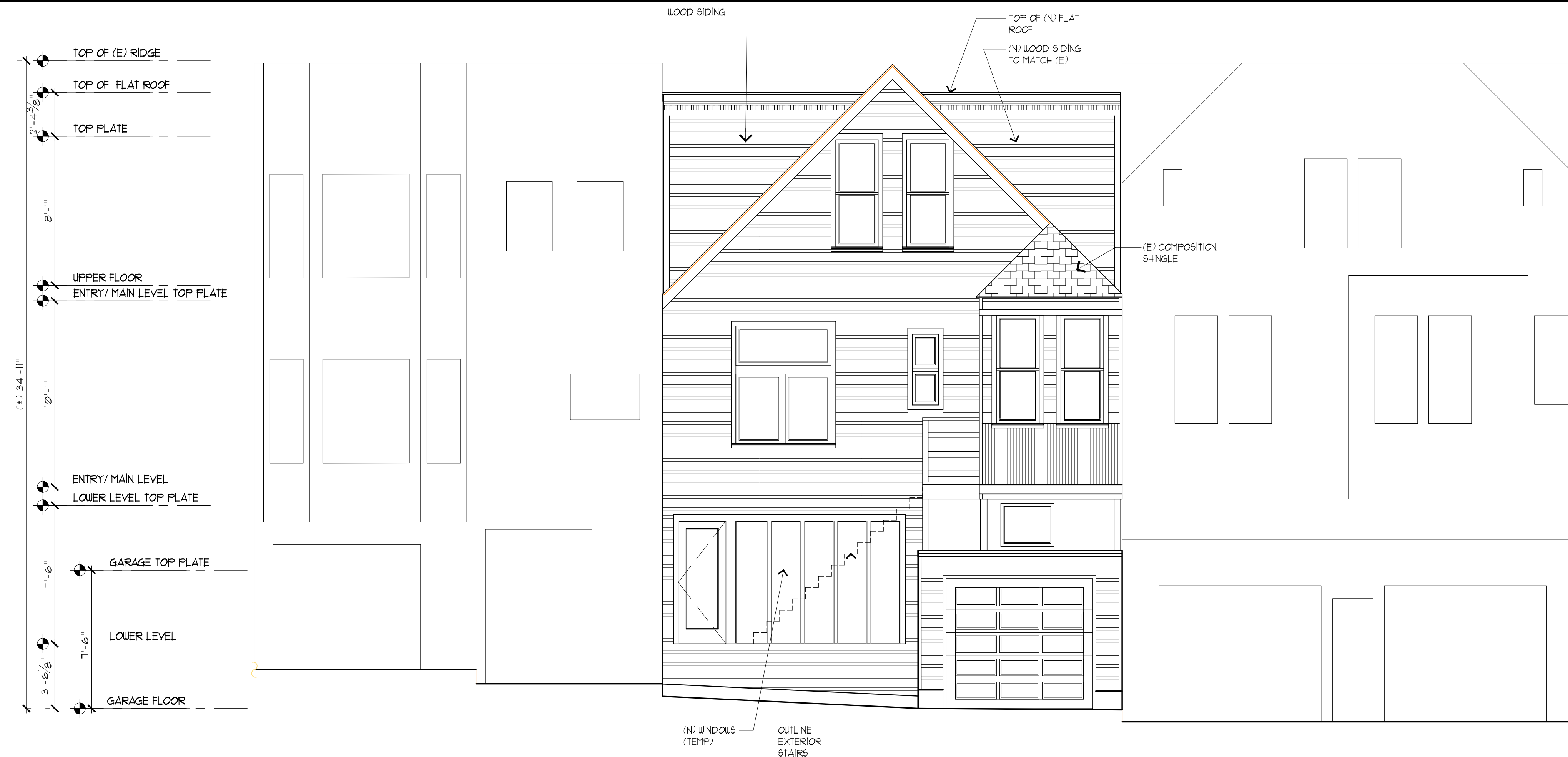


(N) LOWER LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"

- LEGEND:
- ===== (E) WALL TO REMAIN
  - (E) WALL TO BE DEMOLISHED
  - ===== (N) WALL







**EXISTING REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**NEW REAR ELEVATION**  
SCALE: 1/4"=1'-0"

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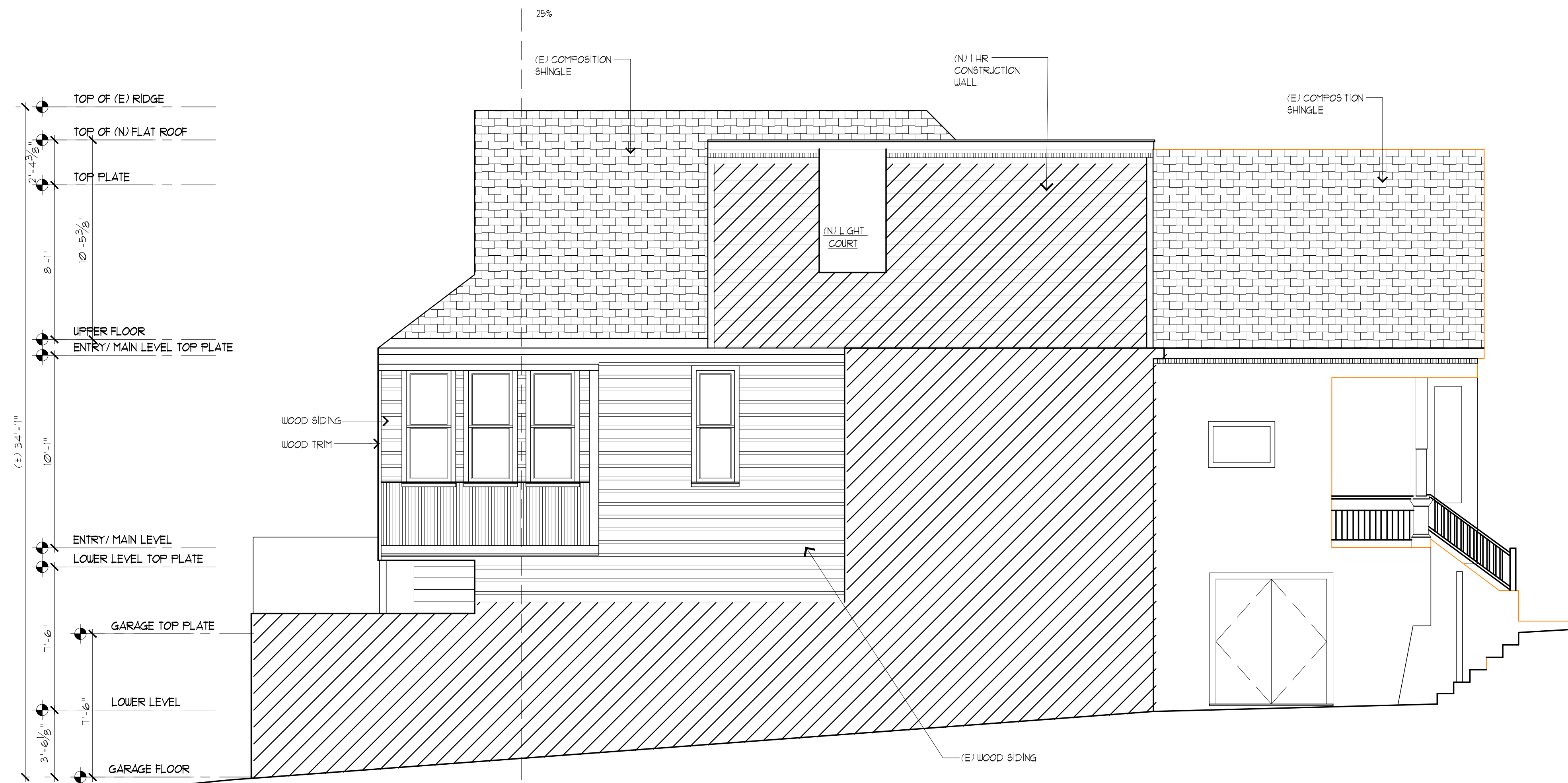
RESIDENCE INTERIOR REMODEL  
1749 DOLORES STREET  
SAN FRANCISCO, CA

NEW REAR ELEVATION  
EXISTING REAR ELEVATION

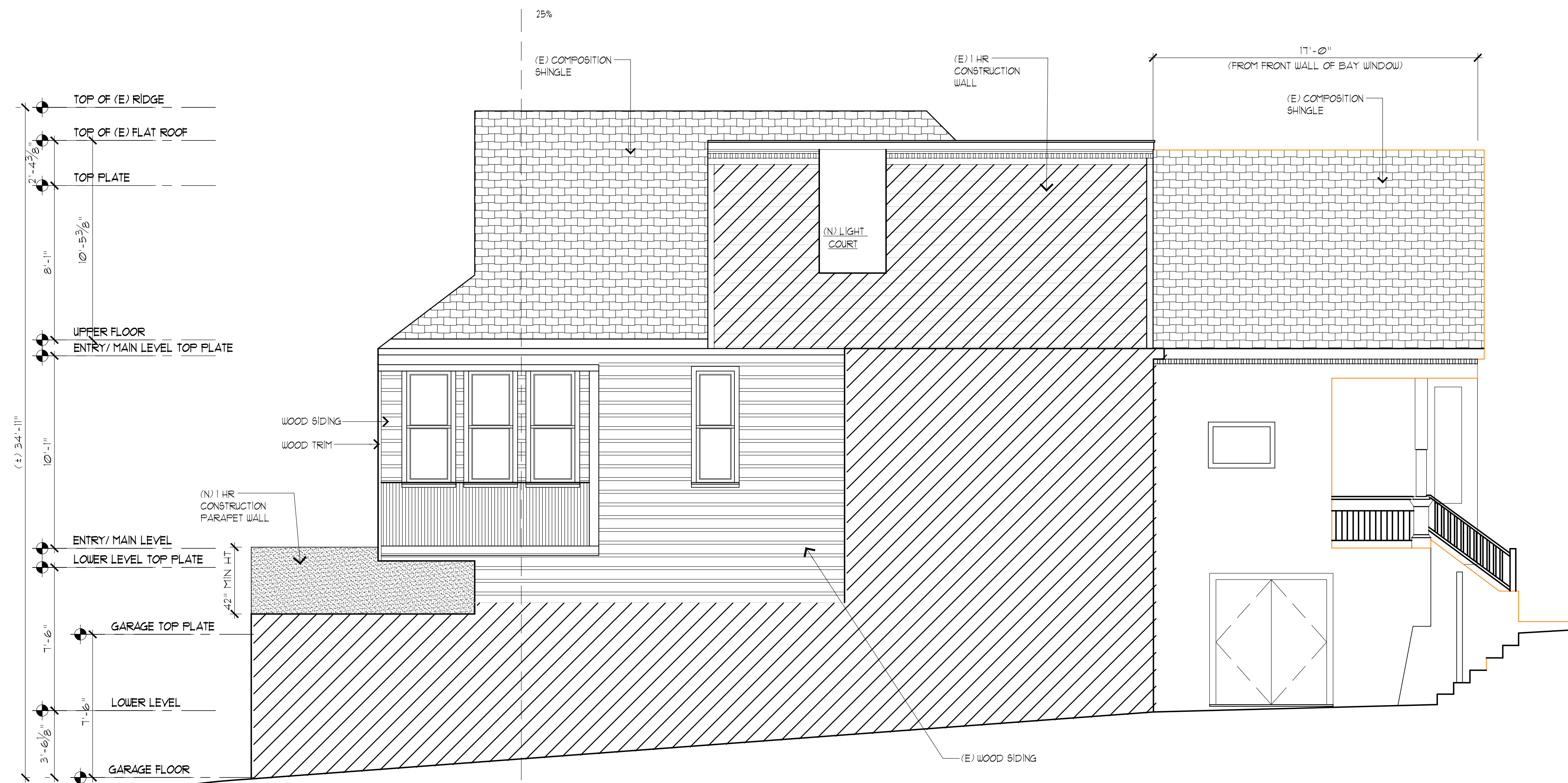
DATE: OCT 21, 2014  
SCALE: AS NOTED  
DRAWN: SF  
FOR: SF  
SHEET NO.

**A.5**  
OF SHEETS





EXISTING LEFT ELEVATION  
SCALE: 1/4"=1'-0"



NEW LEFT ELEVATION  
SCALE: 1/4"=1'-0"