



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 03, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard, Mass Reduction and Parking)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	170 Bocana St	Case No.:	2013.1887V
Cross Street(s):	Eugenia	Building Permit:	2013.12.20.4714
Block / Lot No.:	5620/019	Applicant/Agent:	Ryan Knock
Zoning District(s):	RH-1 / 40-X	Telephone:	215-2647
Area Plan:	Bernal SUD	E-Mail:	ryan@know-ad.com

PROJECT DESCRIPTION

The proposal is to convert storage space to usable floor area on the ground floor, to convert attic space to usable floor area by increasing the building height by approximately 6 feet on the third floor, and to construct a horizontal rear addition on the third floor above the existing two-story portion. The proposal adds approximately 1,080 square feet of usable floor area to the existing approximately 1,480 square foot single-family residence.

PER SECTION 242(e)(2) OF THE PLANNING CODE the subject property is required to maintain a rear yard of 35 percent of lot depth, which is 19'-3". The existing rear yard is 12'-6" to the existing two-story rear addition. The proposed rear addition would extend into the rear yard to the same depth as the existing two-story rear addition. The proposed rear addition would be constructed within the required rear yard; therefore, a variance is required.

PER SECTION 242(e)(3) OF THE PLANNING CODE the building is required to include a 'mass reduction' of 650 square feet. The proposed project would not comply with the mass reduction requirement; therefore, a variance is required.

PER SECTION 242(e)(4) OF THE PLANNING CODE the addition of more than 400 square feet of usable floor area for alterations within the RH-1 Zoning District that results in an usable floor area above 2,250 square feet requires three off street parking spaces. The new usable floor area would be approximately 2,560 square feet. The proposed project provides two off-street parking spaces, one of which is independently accessible; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson**

Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1887V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

RESIDENCE ADDITION

170 BOCANA STREET
SAN FRANCISCO, CA 94110

ABBREVIATIONS

GENERAL			
&	AND	D	
<	ANGLE	DBL	DOUBLE
@	AT	DEM	DEMOLISH
#	NUMBER	DET	DETAIL
		DF	DOUGLAS FIR
C.L.	CENTERLINE	DIA	DIAMETER
P.L.	PROPERTY LINE	DIM	DIMENSION
		DIV	DIVISION, DIVIDED
(E)	EXISTING	DN	DOWN
(N)	NEW	DP	DOUBLE POLE
		DS	DOWNSPOUT
A		DW	DISHWASHER
AB	ANCHOR BOLT	DWG	DRAWING
ABV	ABOVE		
AD	AREA DRAIN	E	
ADJ	ADJACENT	E	EAST
AFF	ABOVE FINISHED FLOOR	EA	EACH
ALT	ALTERNATE	EJ	EXPANSION JOINT
ALUM	ALUMINUM	EL	ELEVATION
ANOD	ANNODIZED	ELEC	ELECTRICAL
AP	ACCESS PANEL	ELEV	ELEVATOR
APX.APROX	APPROXIMATE	EO	ELECTRICAL PANELBOARD
ARCH	ARCHITECT, ARCHITECTURAL	EQ	EQUAL
ASPH	ASPHALT	EST	ESTIMATE
		EXH	EXHAUST
B		EXP	EXPOSED
BD	BOARD	EXT	EXTERIOR
BIT	BITUMINOUS		
BLDG	BUILDING	F	
BLK	BLOCK	FDN	FOUNDATION
BLKG	BLOCKING	FF	FINISHED FLOOR
BOT	BOTTOM	FIN	FINISH
B.O.	BOTTOM OF	FLR	FLOOR, FLOORING
BM	BEAM	FLUR	FLUORESCENT
B.U.	BUILT-UP	FOC	FACE OF CONCRETE
		FOM	FACE OF MASONRY
C		FOP	FACE OF PLYWOOD
CAB	CABINET	FOS	FACE OF STUD
CJ	CONTROL JOINT	FPL	FIREPLACE
C.L.	CENTERLINE	FTG	FOOTING
CLG	CEILING	FURN	FURNISH, FURNISHED
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT	G	
CNTL	CONTROL	GA	GAUGE
COL	COLUMN	GALV	GALVANIZED
CONT	CONTINUOUS	GC	GENERAL CONTRACTOR
CPT	CARPET	GL	GLAZING
CT	CERAMIC TILE	GLB	GLASS BLOCK
CTR	CENTER	GND	GROUND
		GYP BD	GYPSUM BOARD

O		T.O.P	TOP OF
O/	OVER	T.O.S	TOP OF SLAB
OC	ON CENTER	T.O.W	TOP OF WALL
OD	OUTSIDE DIMENSION	TP	TOILET PAPER HOLDER
OFD	OVERFLOW DRAIN	TR	TOWEL RACK
OFS	OVERFLOW SCUPPER	TV	TELEVISION
OPNG	OPENING	TYP	TYPICAL
P		U	
PERF	PERFORATED	UON	UNLESS OTHERWISE NOTED
PL	PLATE	UR	URINAL
PLY	PLYWOOD		
PT	PRESSURE TREATED	V	
PTD	PAINTED	VAR	VARIES
		VCT	VINYL COMPOSITE TILE
		VERT	VERTICAL
		VIF	VERIFY IN FEILD
R			
R	RISER	W	WEST
RAD	RADIUS	WC	WATER CLOSET
RDWD	REDWOOD	WD	WOOD
REF	REFER, REFERENCE	WIN	WINDOW
RET.	RETURN	WWF	WELDED WIRE FABRIC
REV	REVISED, REVISION		
RM	ROOM		
RO	ROUGH OPENING		
RWL	RAINWATER LEADER		
S			
S	SOUTH		
SC	SOLID CORE		
SCD	SEE CIVIL ENGINEERING		
SECT	DRAWINGS		
SF	SECTION		
SHT	SQUARE FEET		
SIM	SHEET		
SLD	SIMILAR		
SP	SEE LANDSCAPE DRAWINGS		
SQ	SINGLE POLE		
SSD	SQUARE		
SSTL	SEE STRUCTURAL DRAWINGS		
STC	STAINLESS STEEL		
	SOUND TRANSMISSION		
	COEFFICIENT		
STL	STEEL		
T			
TEL	TELEPHONE		
TEMP	TEMPERED		
T.O.	TOP OF		
T.O.FF	TOP OF FINISH FLOOR		

SYMBOLS

ALIGN WALLS OR OBJECTS	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DATUM LINE	
FINISH NOTE MARKER - FLOOR	
FINISH NOTE MARKER - WALL	
WINDOW SYMBOL	
DOOR SYMBOL	
ELEVATION MARKER	
SECTION MARKER	
INTERIOR ELEVATION MARKER	
ENLARGED DETAIL MARKER	
REVISION MARKER	

APPLICABLE CODES

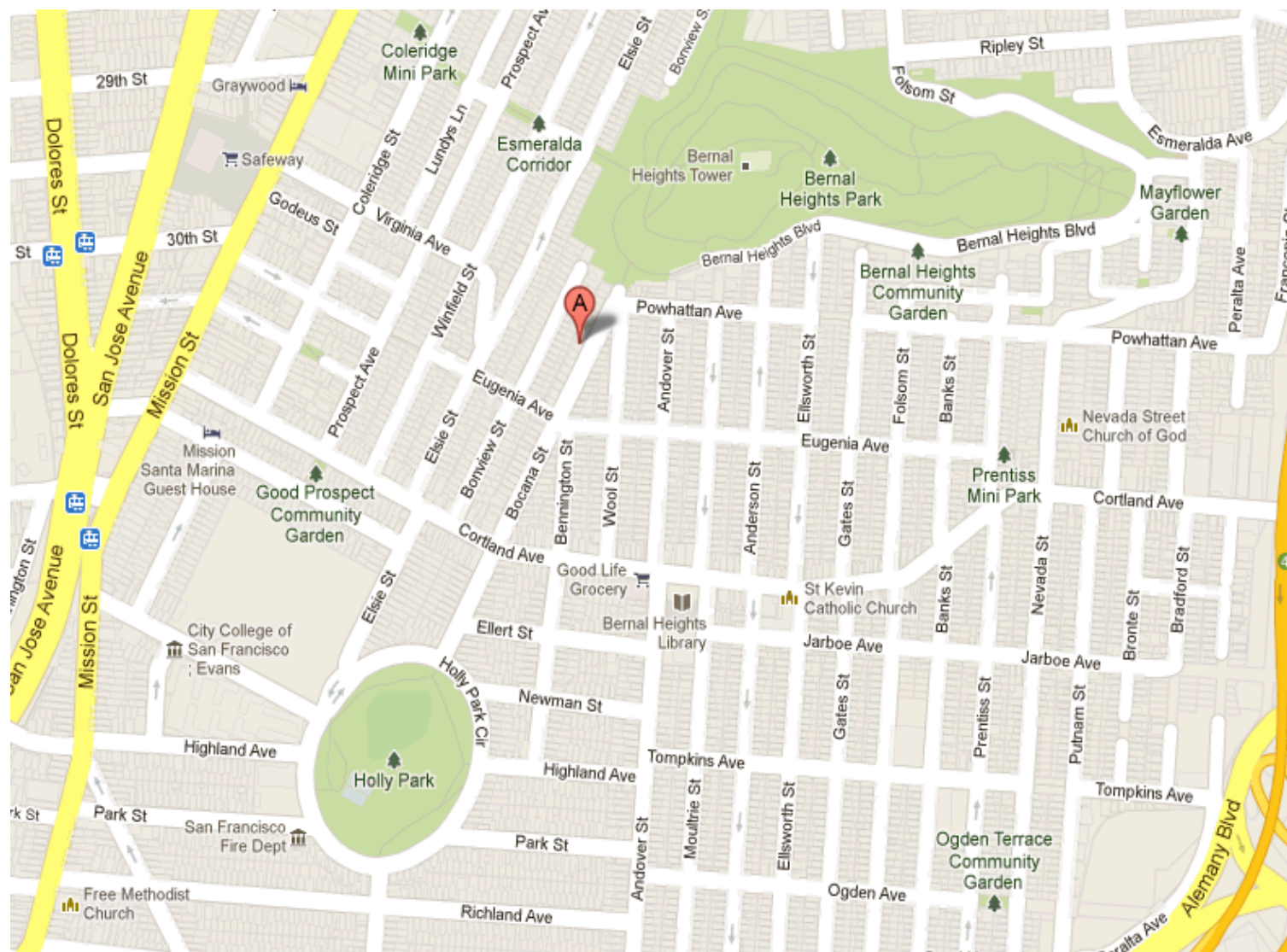
ALL DRAWINGS, REGARDLESS OF DETAILS ON DRAWINGS,
SHALL COMPLY WITH THE FOLLOWING CODE AND ANY LOCAL AMENDMENTS

2010 CALIFORNIA BUILDING CODE AND SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA ELECTRICAL CODE AND SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA ENERGY CODE AND SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA GREEN BUILDING CODE AND SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA PLUMBING CODE AND SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA MECHANICAL CODE AND SAN FRANCISCO AMENDMENTS

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VICINITY MAP



PROJECT INFO

OWNER:	MARK MONSARRAT 170 BOCANA STREET SAN FRANCISCO, CA 94110
ARCHITECT:	RYAN KNOCK KNOCK ARCHITECTURE AND DESIGN 1405 FRANKLIN STREET #307 SAN FRANCISCO, CA 94109
Project Data	
Block & Lot:	5620, 019
Zoning:	RH-1
Occupancy:	R3, Single Family Residence
Construction Type:	Type V-B (Non-rated)
Building Height:	Existing: 19'-8", 24'-10" PROPOSED
Year Built:	1921
Resource Status:	B
Project Description:	Renovation and addition to existing single story home. Exterior Remodel including expanded garage door, cover for entry porch, and facade renovation including a raised roofline, new materials, and new windows and doors. Addition at rear including new windows and doors, infill atop existing roof deck, and new windows and doors, including lot line windows.

Interior work includes:
-Conversion of storage space to living space at first level with a master bedroom suite. Excavate 18" for new space.
-Reconfigure 2nd floor space to have two bedrooms, a bathroom and a home office/art studio area.
-Convert attic space to legal level with living, dining and kitchen space

Gross Floor AREA:

FIRST FLOOR:	607
SECOND FLOOR:	1010
THIRD FLOOR:	955
TOTAL:	2572

12.04.13	PREAPPLICATION
12.09.13	REV / CLARIFICATIONS
07.12.14	REVISIONS NODPR
11.01.14	REVISIONS 311/YAR



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MONSARRAT RESIDENCE
170 BOCANA STREET, SAN FRANCISCO, CA

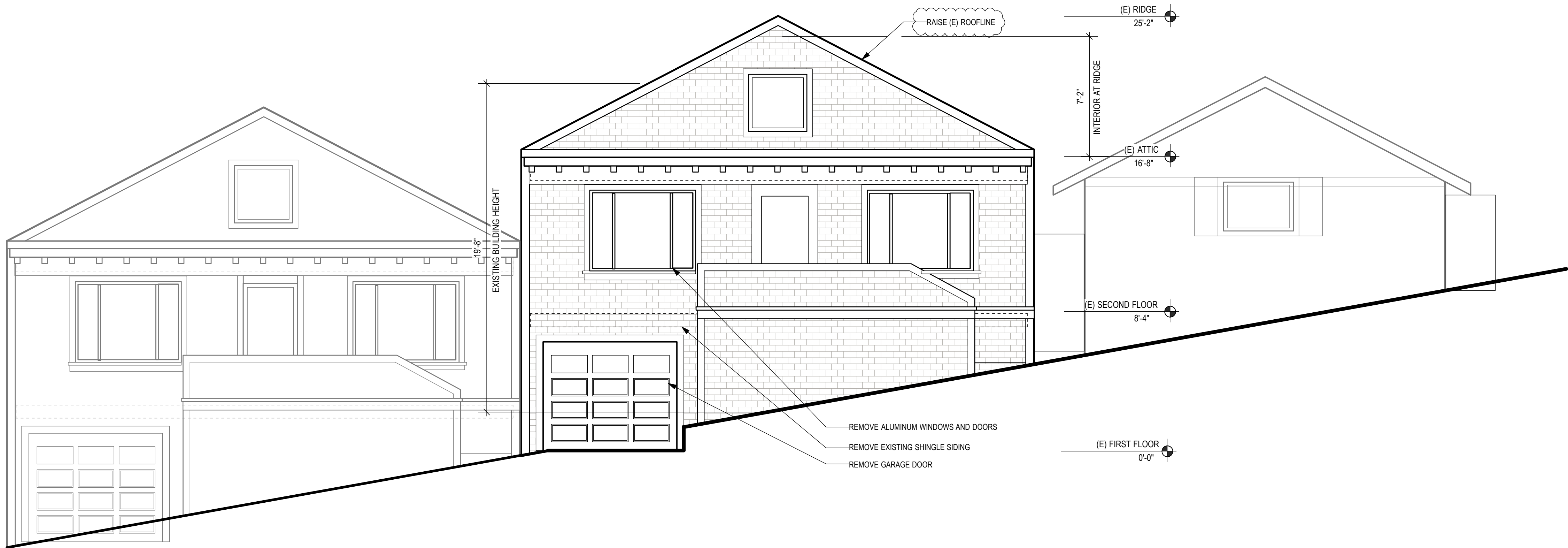
permit #:

PROJECT INFO

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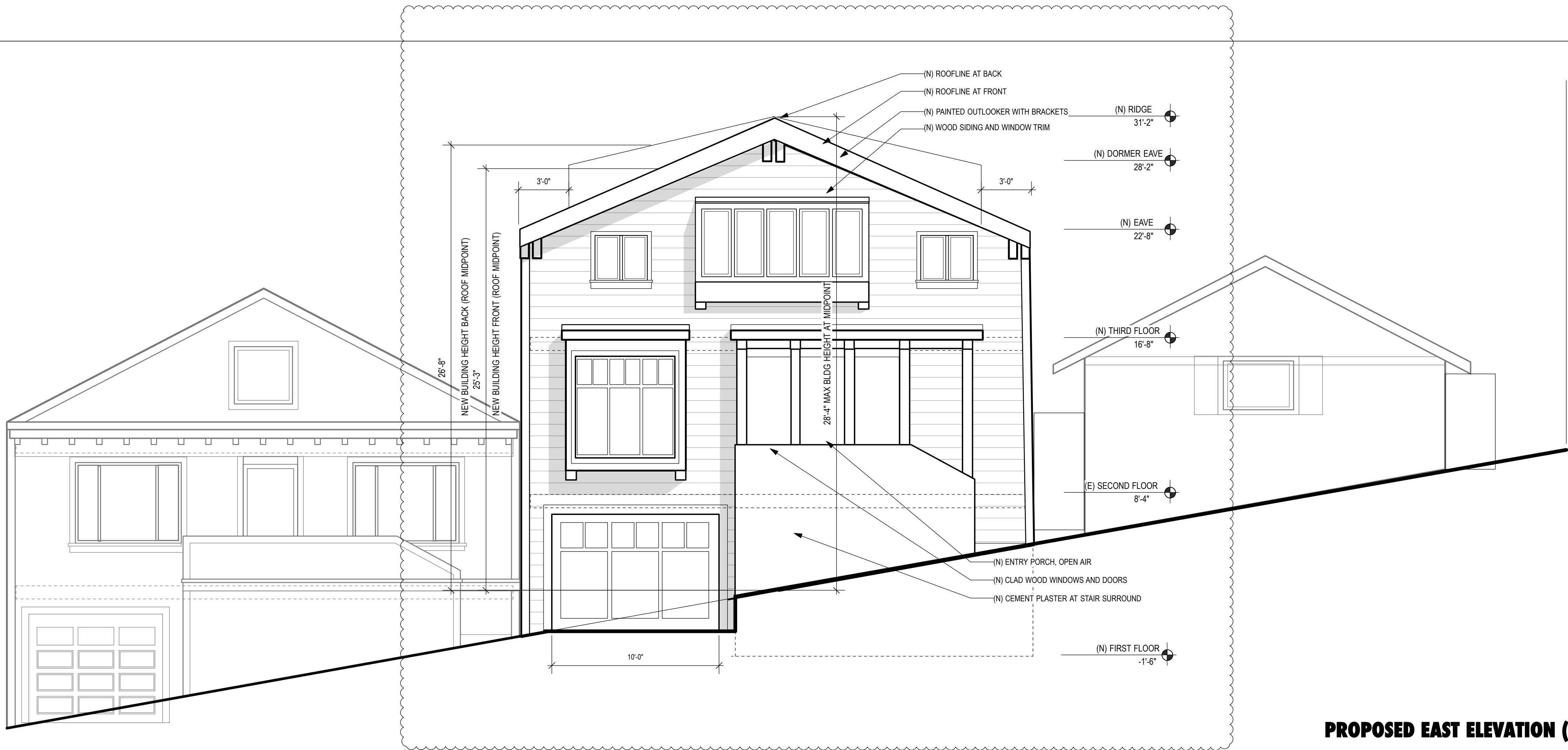
A0.0

SCALE:
PLOT DATE:



EXISTING EAST ELEVATION (BOCANA STREET ELEVATION)
1/4" = 1'-0"

1



PROPOSED EAST ELEVATION (BOCANA STREET)
1/4" = 1'-0"

2

12.04.13	PRICING SETTION
12.09.13	REV/CLARIFICATIONS
07.13.14	REVISIONS NODPR
10.23.14	RDY DORMER REV
11.01.14	REVISIONS 311/VAR



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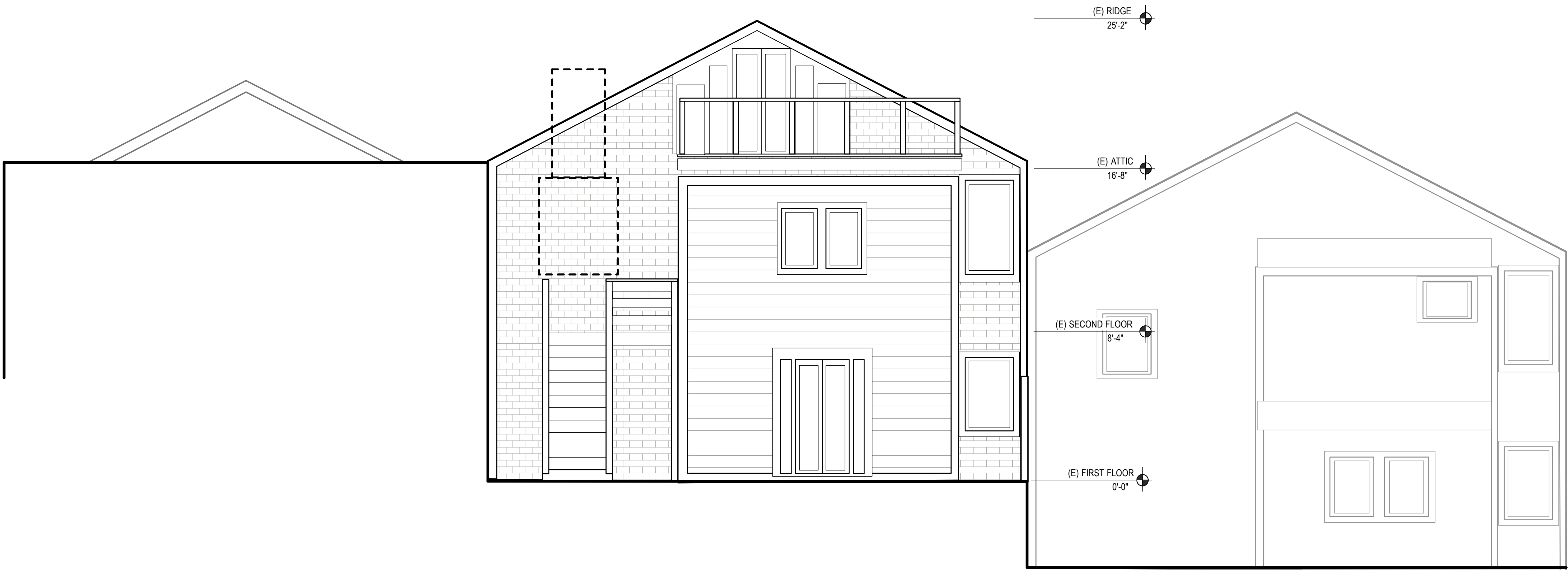
EAST ELEVATIONS

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A3.0

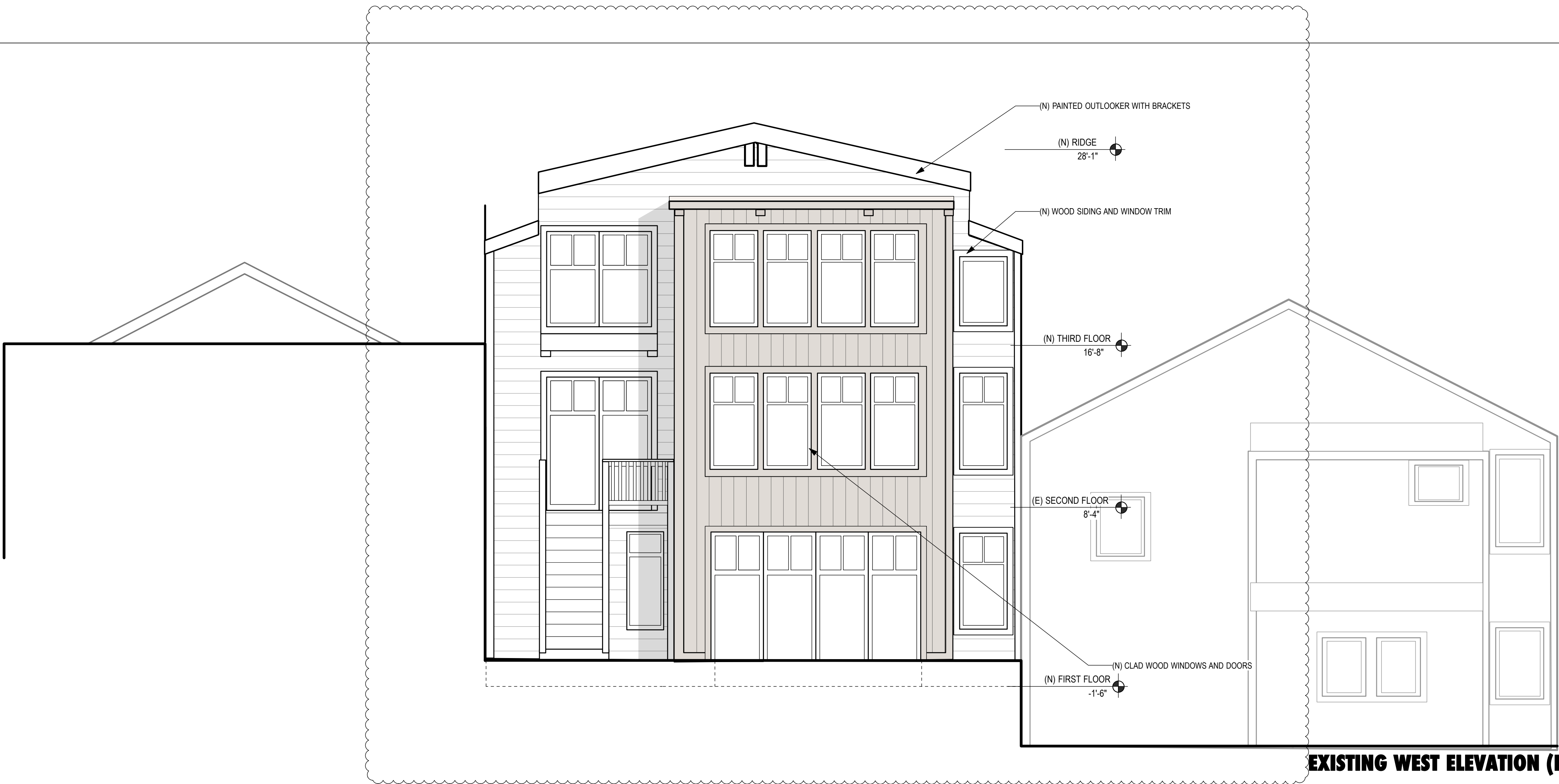
SCALE: _____

PLOT DATE: _____



EXISTING WEST ELEVATION (FACING REAR YARD)
1/4" = 1'-0"

1



EXISTING WEST ELEVATION (FACING REAR YARD)
1/4" = 1'-0"

2

12.04.13	PREAPPLICATION
12.09.13	REV/CLARIFICATIONS
07.12.14	REVISIONS NODPR
11.01.14	REVISIONS 311/YAR

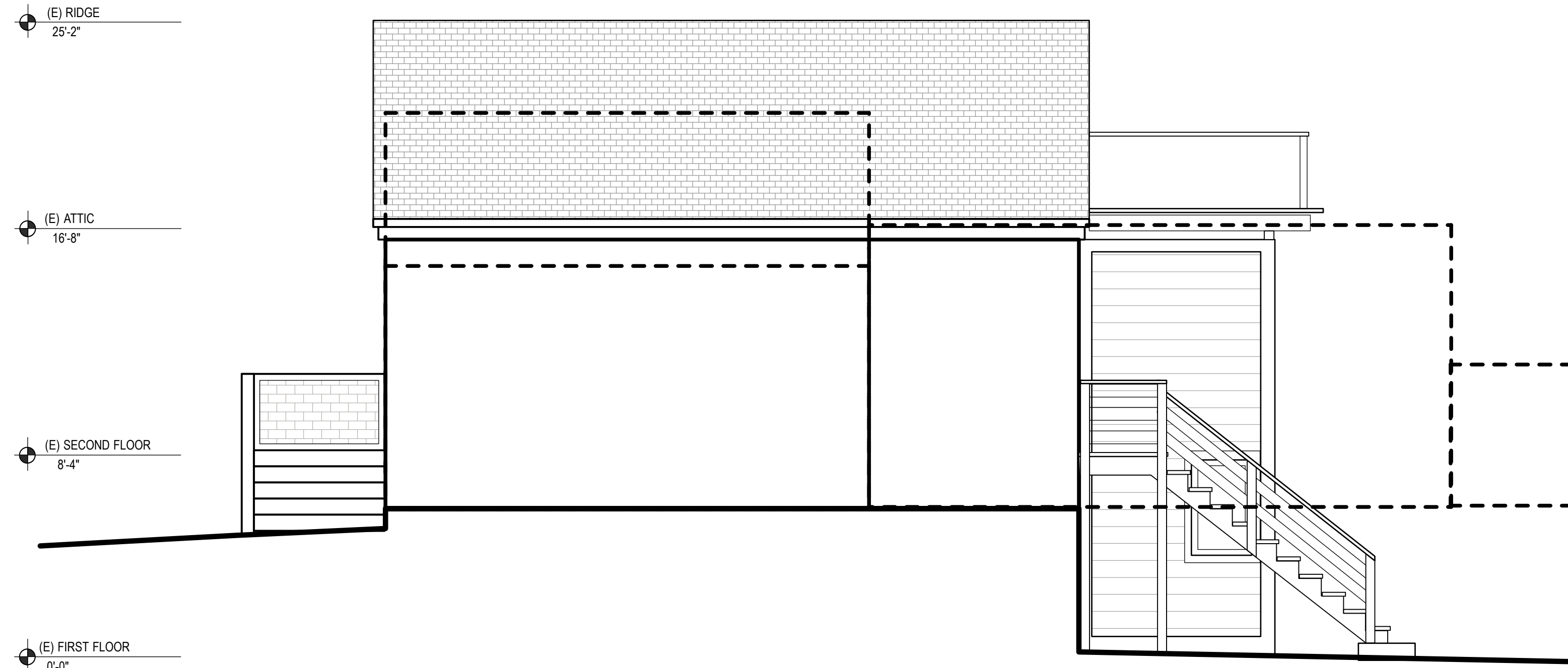


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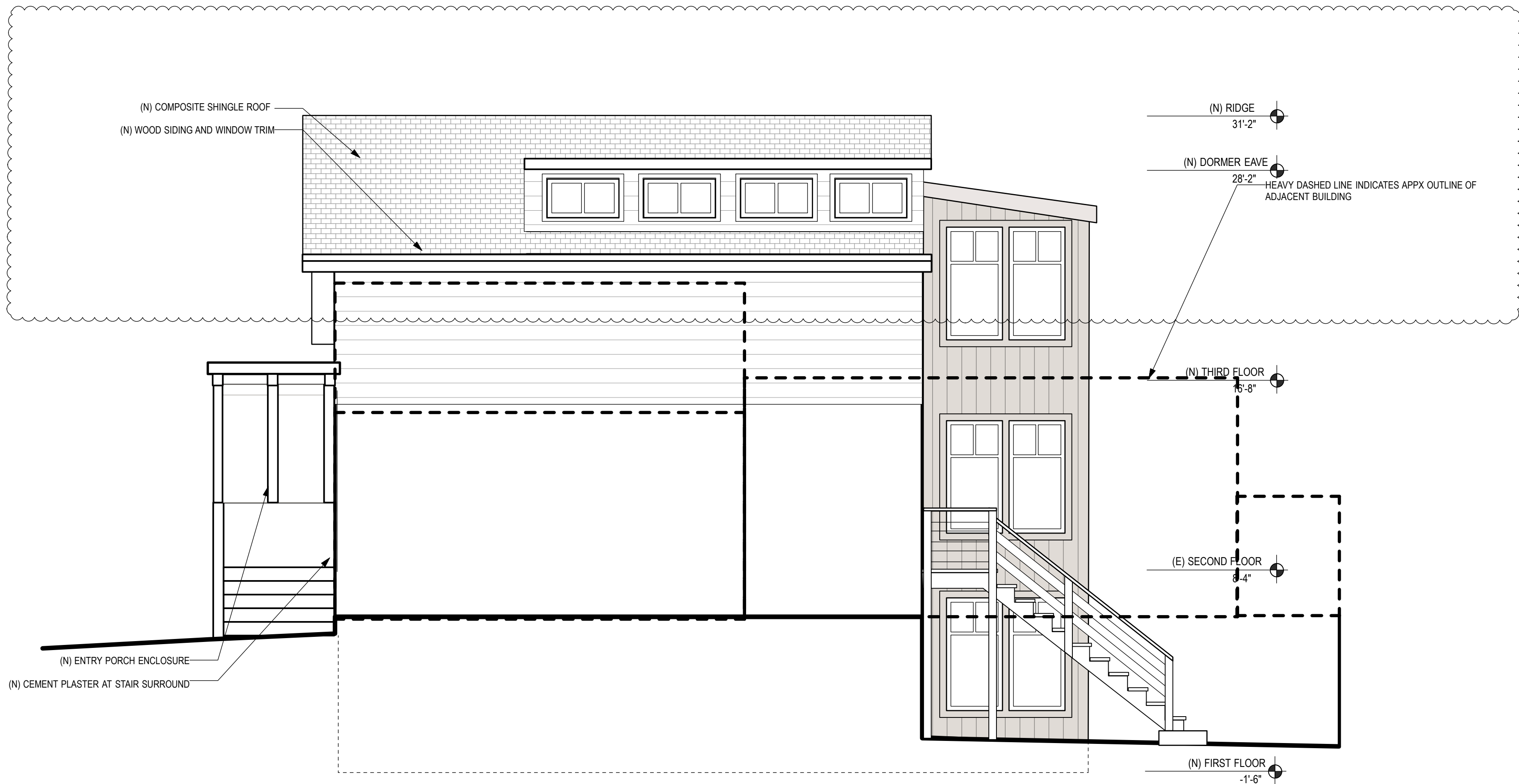
permit #:

WEST ELEVATIONS
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A3.1
SCALE:
PLOT DATE:



EXISTING NORTH ELEVATION
1/4" = 1'-0"

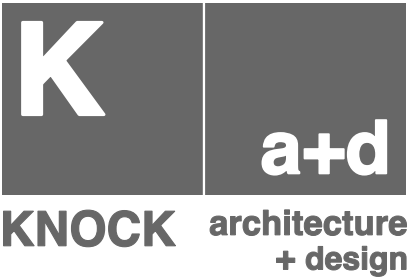
1



PROPOSED NORTH ELEVATIONS
1/4" = 1'-0"

2

12.04.13	PREAPPLICATION
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NORTH ELEVATIONS

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A3.2

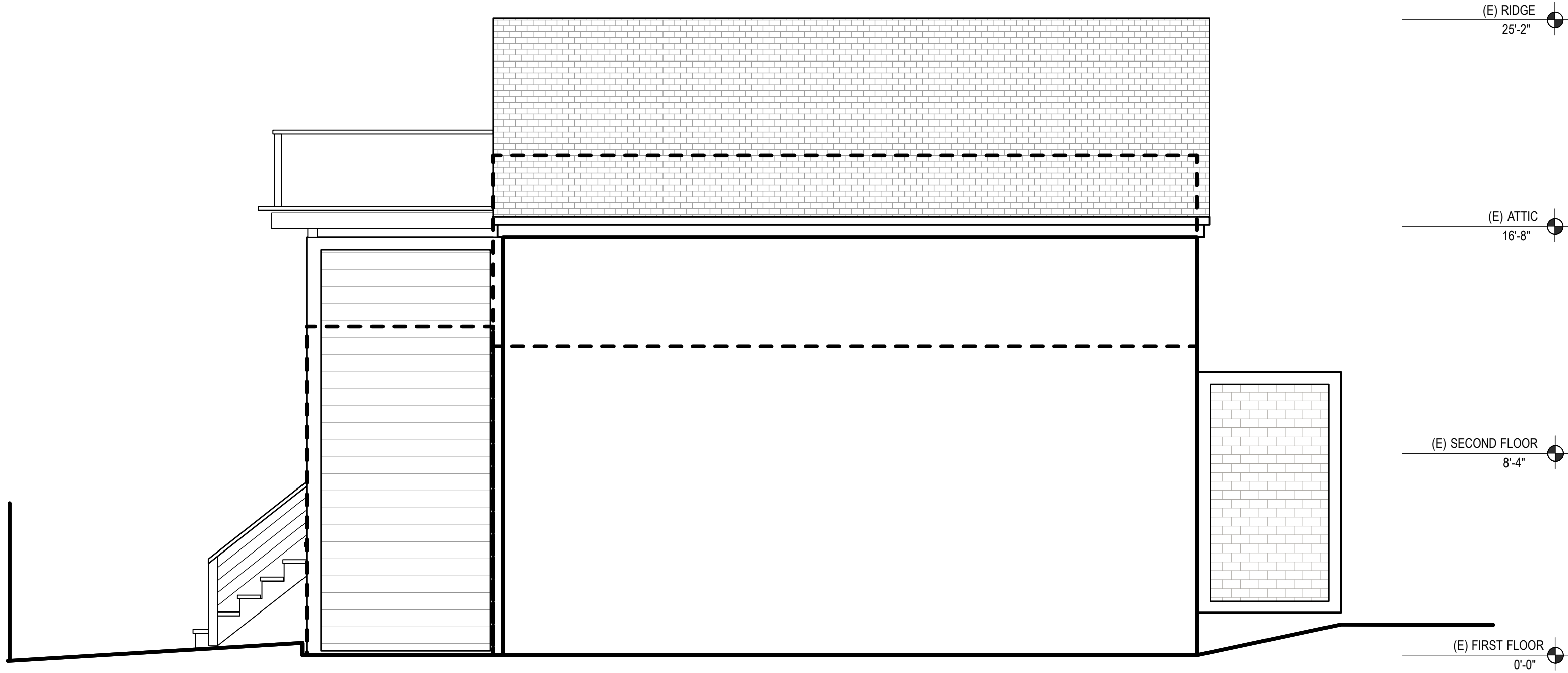
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PLOT DATE: _____

12.04.13	PREAPPLICATION
12.09.13	REV/CLARIFICATIONS
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11.01.14	REVISIONS 311/YAR

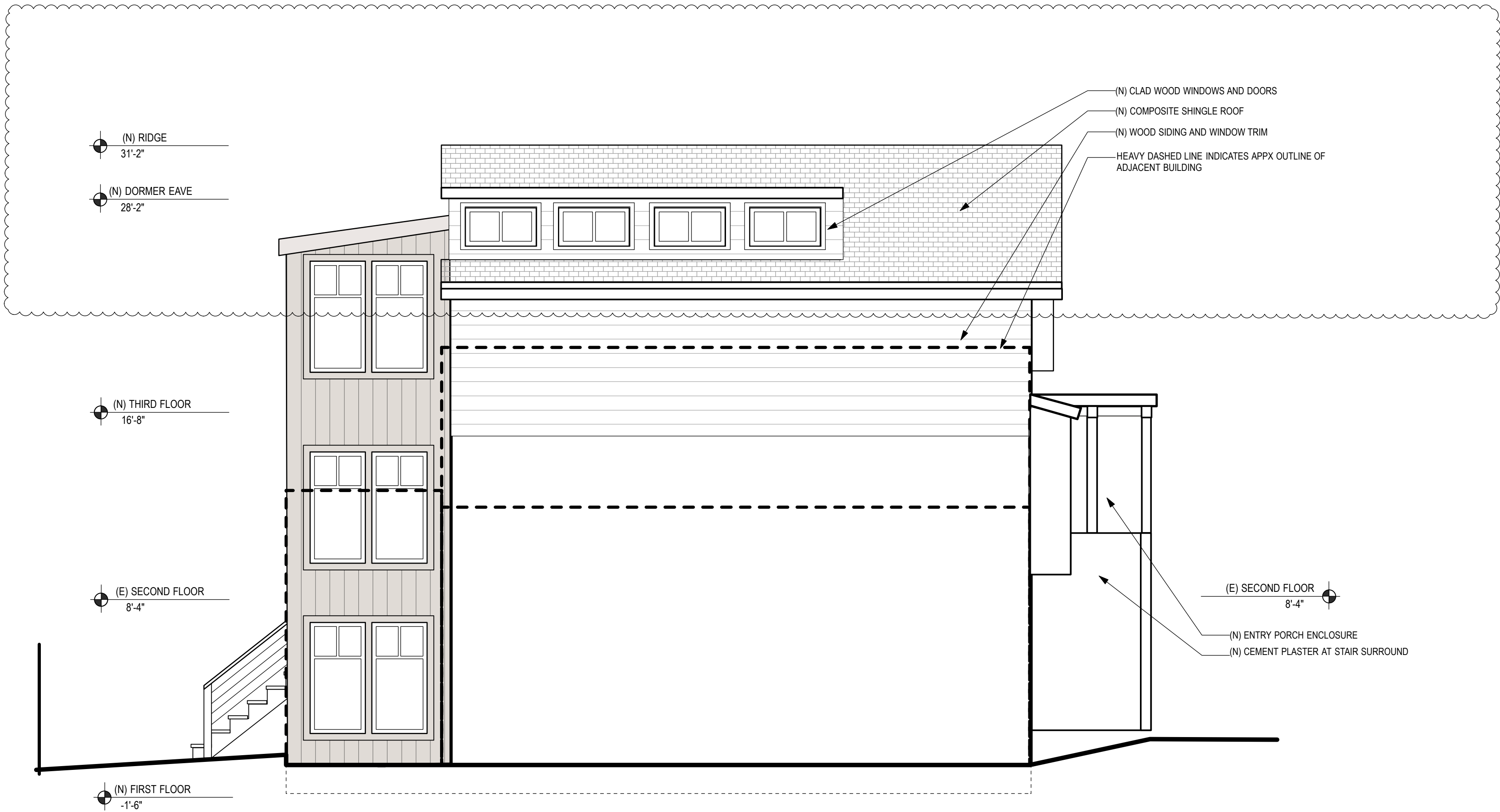


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EXISTING SOUTH ELEVATION
1/4" = 1'-0"

1



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

2

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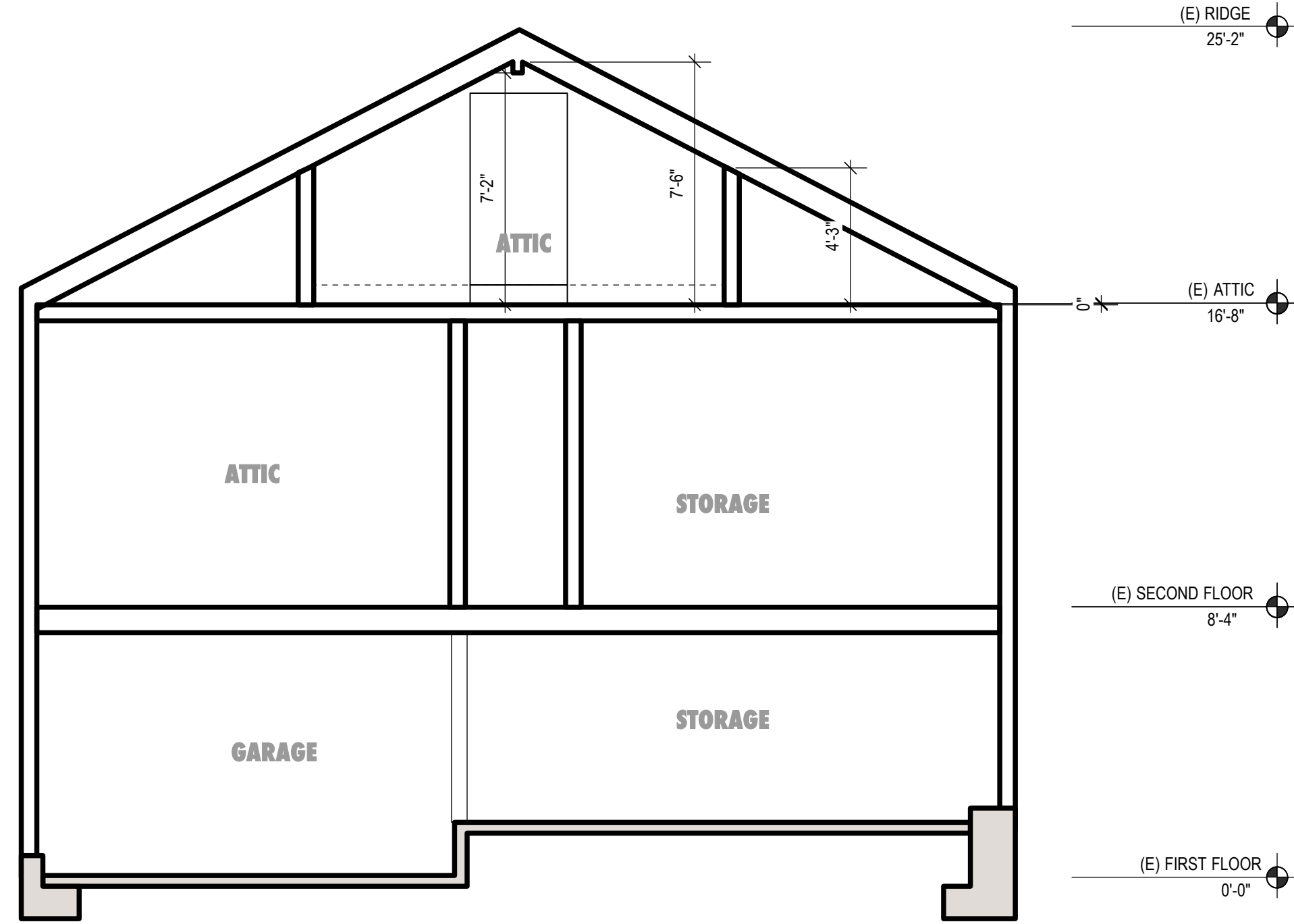
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SOUTH ELEVATIONS

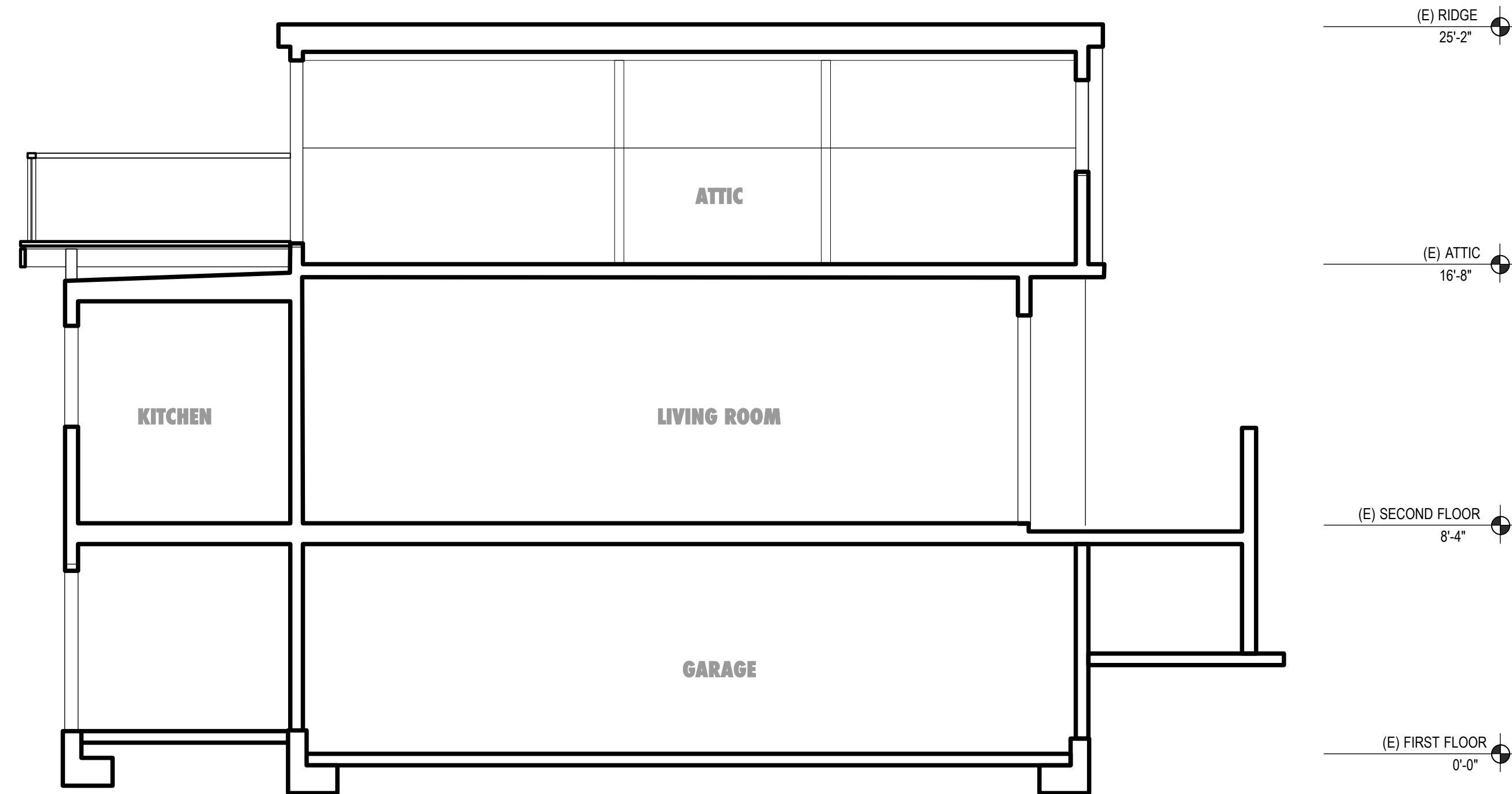
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A3.3

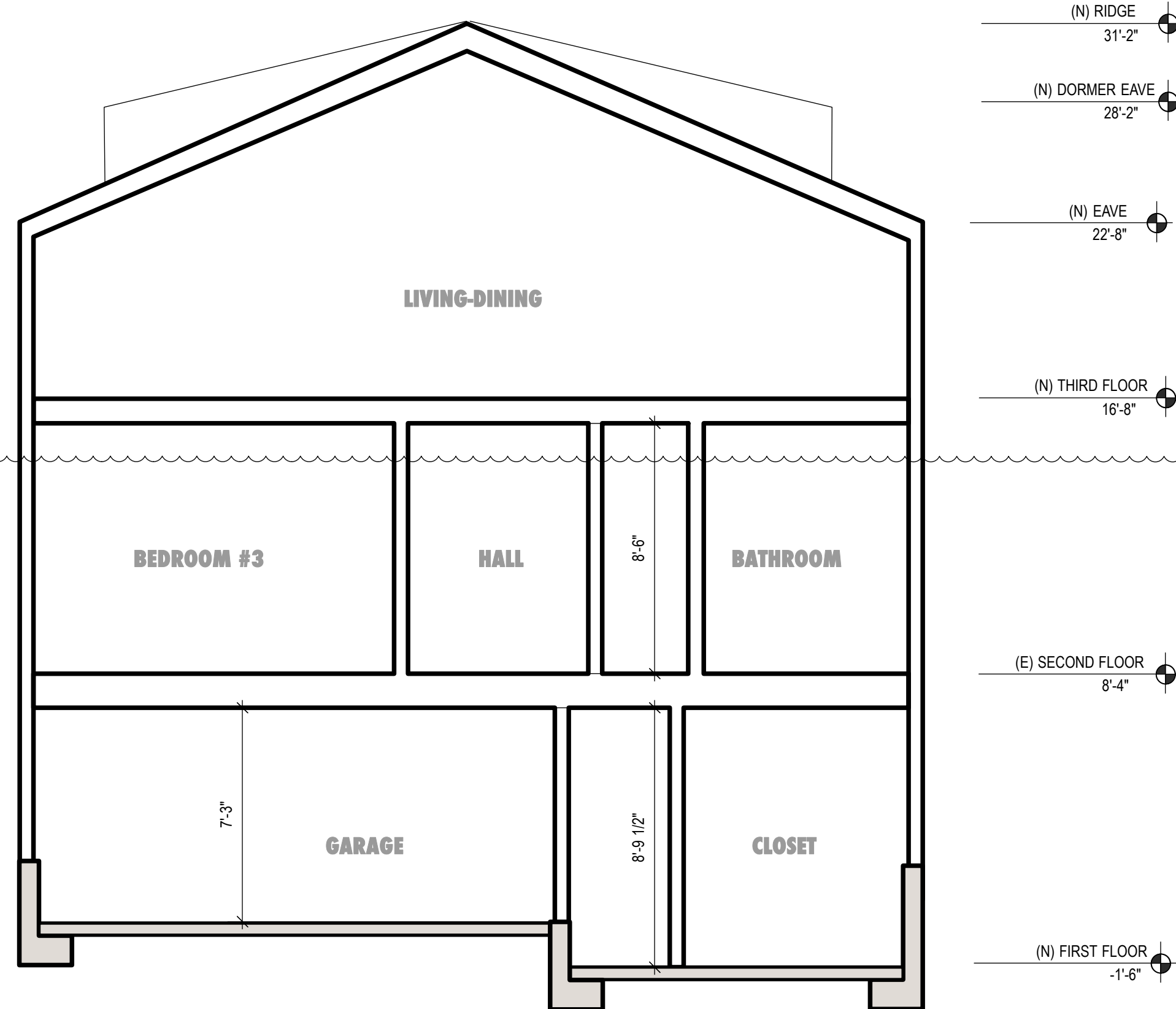
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PLOT DATE: _____



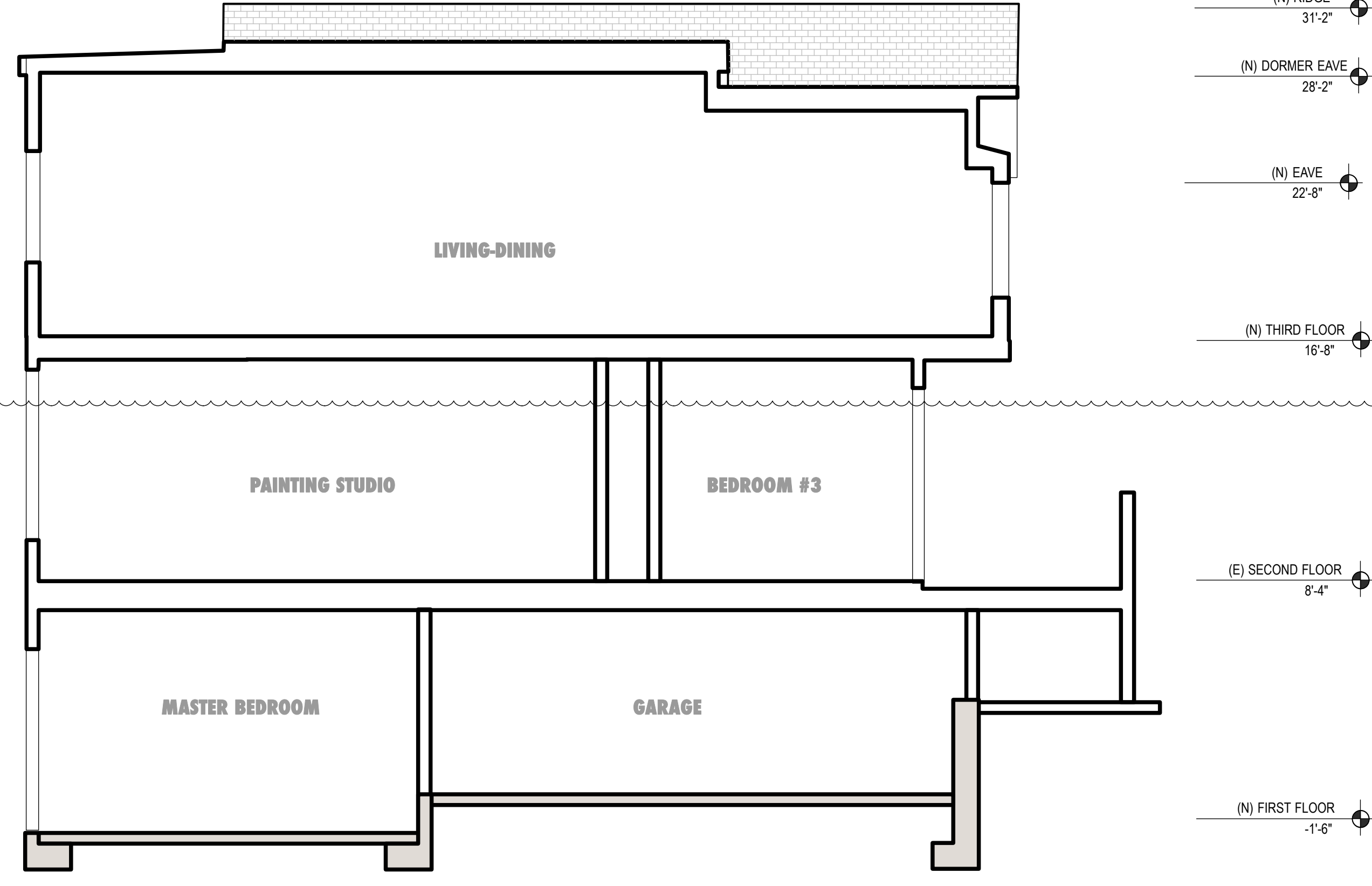
EXISTING TRANSVERSE SECTION
1/4" = 1'-0" 3



EXISTING LONGITUDINAL SECTION
1/4" = 1'-0" 1

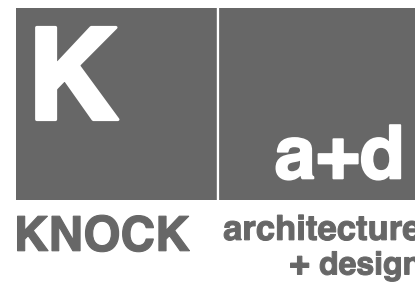


PRPOSED TRANSVERSE SECTION
1/4" = 1'-0" 4



PRPOSED LONGITUDINAL SECTION
1/4" = 1'-0" 2

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BUILDING SECTIONS

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A4.0

SCALE:

PLOT DATE: