



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 25, 2014**  
Time: **Beginning at 9:30 a.m.**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>2621 San Jose Avenue</b> Cross Street(s): <b>Between Foote &amp; Nagle streets</b> Block /Lot No.: <b>7063/028</b> Zoning District(s): <b>RH-2/40-X</b> Area Plan: <b>N/A</b>	Case No.: <b>2013.1819V</b> Building Permit: <b>2013.10.17.9573</b> Applicant/Agent: <b>Leonardo Redada</b> Telephone: <b>(650) 755-1493</b> E-Mail: <b>Leonardo Redada &lt;dgredada@yahoo.com&gt;</b>

The proposal is to legalize a one-story addition, at the rear of the existing two-story, single-family dwelling. The requested one-story rear addition would be 19 feet wide, 6 feet deep and 14 feet tall above grade.

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a minimum rear yard depth of 54 feet 10 inches, measured from the mid-point of the rear property line. The requested one-story rear addition would encroach 7 feet into the required rear yard to within 47 feet 10 inches of the rear property line.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1819V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: **[thomas.wang@sfgov.org](mailto:thomas.wang@sfgov.org)**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of the required Section 311 notification for this project has been performed.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電 : **558.6378**

Para información en Español llamar al: **558.6378**

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITION AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE COMMENCING ANY WORK.
2. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLY ALL THE NECESSARY INSPECTIONS REQUIRED BY THE CITY OF SAN FRANCISCO DURING AND AFTER CONSTRUCTION.
3. NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
4. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER PER PRESSURE TREATED LUMBER PRODUCT MFG.'S REQUIREMENTS.

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EXISTING WALL TO REMAIN

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EXISTING WALL TO BE REMOVED

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NEW WALL, 2X4 STUDS @ 16" O.C. WITH 48" GYP BOARD ON EACH SIDE, UNLESS NOTED OTHERWISE.

(E)

NEW

(R)

RELOCATED EXISTING

SMOKE DETECTOR, CEILING MOUNTED-HARDWIRED WITH BATTERY BACKUP.

(S)

ELECTRICAL CONN./WALL OUTLET

CEILING LIGHT FIXTURE (DOWN LIGHT)

(L)

WALL MOUNTED LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE

⌘

WASHER DRYER

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GAS METER

⌘

THERMOSTAT

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CARBON MONOXIDE ALARM

⌘

CENTRAL EXHAUST FAN

⌘

FLUORESCENT LIGHT FIXTURE

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CARBON MONOXIDE ALARM

2010 CALIFORNIA PLUMBING CODE WITH CITY OF SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA PLUMBING CODE WITH CITY OF SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA MECH. CODE WITH CITY OF SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA ELECTRICAL CODE WITH CITY OF SAN FRANCISCO AMENDMENTS

2010 CALIFORNIA ENERGY CODE

1. DOCUMENT AND LEGALIZE NEW AS-BUILT BATHROOMS

2. INSTALL NEW WINDOWS IN BEDROOMS 2 AND 3

3. NEW PLUMBING ASSOCIATED WITH NEW BATHROOMS

ADDRESS:  
2621 SAN JOSE AVENUE  
SAN FRANCISCO, CA

OCCUPANCY:  
RH-2

TYPE OF CONSTRUCTION:  
1-A

LOT DIMENSIONS:  
4,781 SF

BLDG. FOOTPRINTS:  
1,699 SF

NEW ADDITION:  
114 SF

NEW TOTAL:  
1,813 SF

LOT COVERAGE: 1873/4781= 39%

SETBACKS: FRONT: (HOUSE) 10'-8" TO CURB  
REAR: (GARAGE) 39'-10" TO CURB  
SIDES: 5'-0" E-SIDE TO PROPERTY LINE  
REAR: 43'-4"

A0 GENERAL NOTES, LEGEND AND SYMBOLS, PLOT PLAN

A1 PROPOSED FIRST FLOOR PLAN, BLDG. ELEVATIONS AND BLDG. SECTION

A2 FLOOR FINISHES, PLANS, WALL DETAILS

TT ENERGY COMPLIANCE (TITLE 24)

1 GENERAL NOTES

2 SYMBOLS

3 REFERENCE CODES

4 SCOPE OF WORK

5 BUILDING DATA

6 DRAWING INDEX

A. BASEMENT PLAN

B. FIRST FLOOR PLAN

C. ATTIC FLOOR PLAN

7 EXISTING CONDITION

SCALE: 1/8" = 1'-0"

8 PLOT PLAN

SCALE: 1" = 10'-0"

REDADA ARCHITECTS  
427-39TH STREET  
DALY CITY, CA 94015  
TEL. (650) 755-1493

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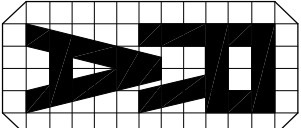
NEW BATHROOM EXTENSION  
2621 SAN JOSE AVE./SAN FRANCISCO, CA.

OWNER ACCEPTANCE SIGNATURE:  
OWNER: PATRICIA JULIAN TEL. NO. (415) 587-0824

TITLE  
GENERAL NOTES  
LEGEND & SYMBOLS  
REFERENCE CODES  
EXISTING CONDITIONS  
PLOT PLAN

CHECKED LR  
DATE 09-09-13  
SCALE AS SHOWN  
DRAWN LR  
JOB NO. 09/2013  
DWG. NO.

A0  
SHEET 1 OF 2



REDDA ARCHITECTS  
427/89TH STREET  
DALY CITY, CA 94015  
TEL. (650) 755-1483

REVIS PER PLANNING  
COMMENTS: 1/17/13

OWNER ACCEPTANCE SIGNATURE:  
OWNER: PATRICIA JULIAN TEL. NO. (415) 587-0824

NEW BATHROOM EXTENSION  
2621 SAN JOSE AVENUE/SAN FRANCISCO, CA.



TITLE  
PROPOSED FOUR PLAN  
SECTION  
BLDG. SECTION

CHECKED LR

DATE 09-10-13

SCALE AS SHOWN

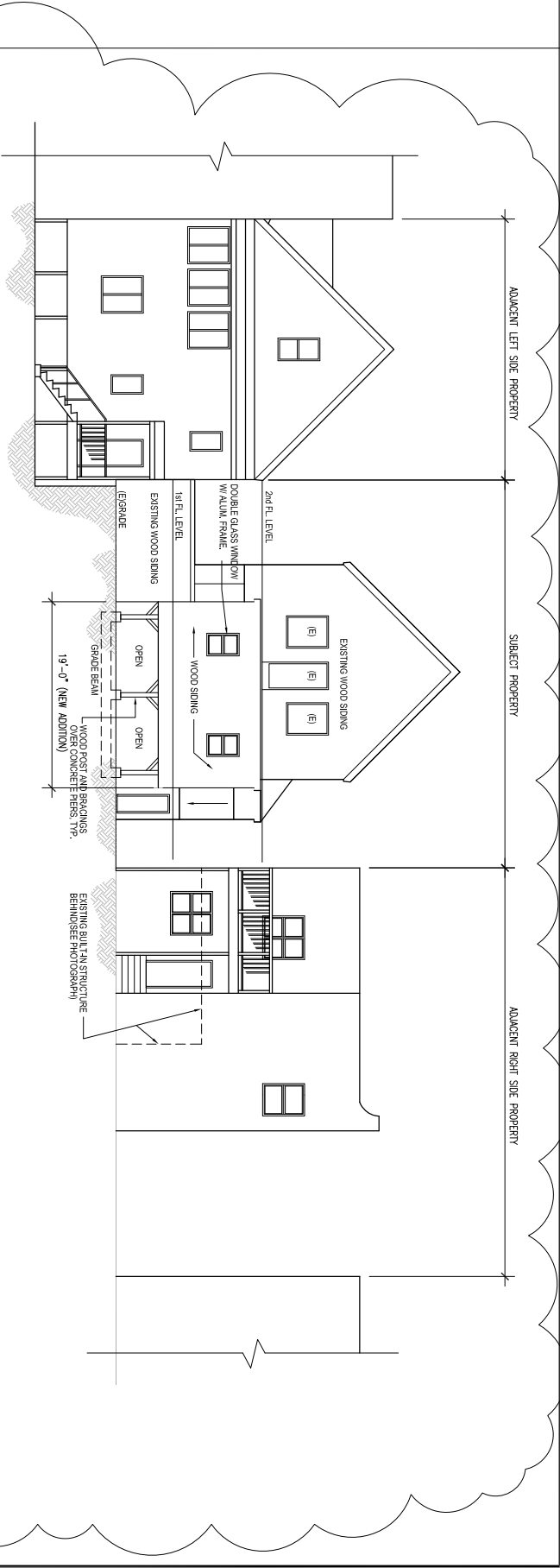
DRAWN LR

JOB NO. 09/2013

DWG. NO.

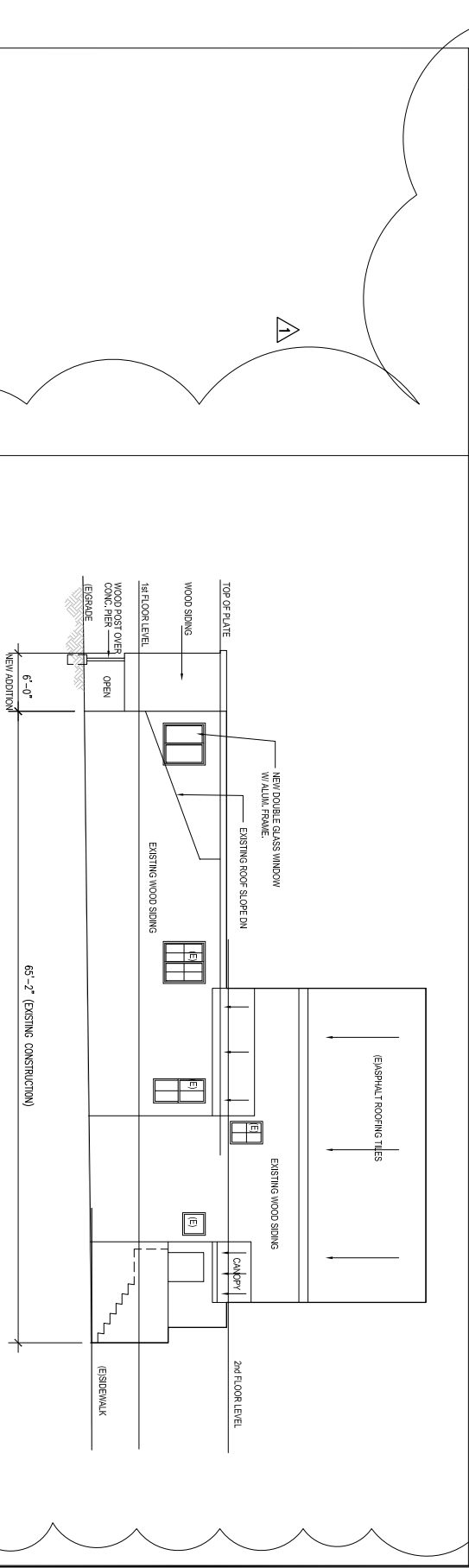
A1

SHEET 2 OF 2



2 REAR SIDE ELEVATIONS

SCALE: 1/8" = 1'-0"



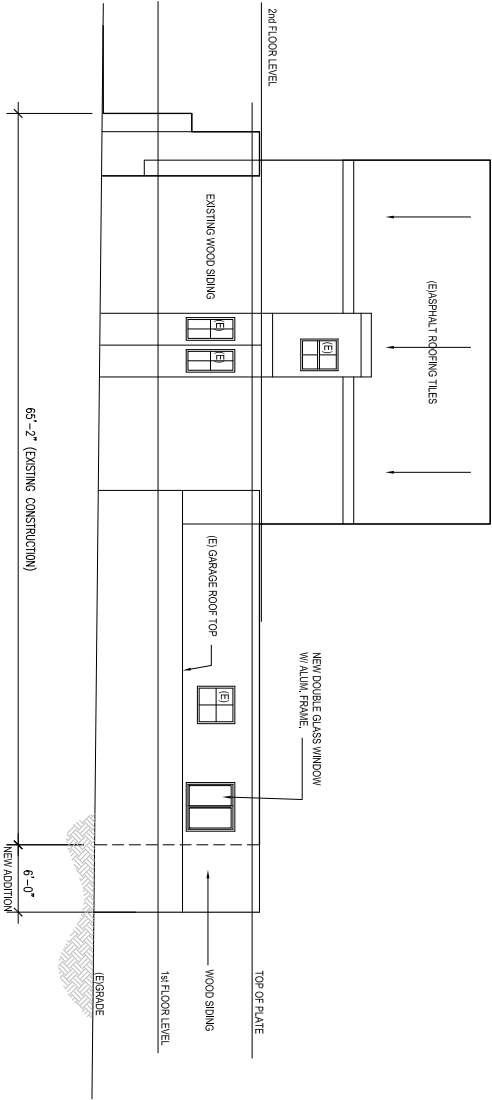
5 - 6 LEFT SIDE ELEVATION FROM STREET VIEW

SCALE: 1/8" = 1'-0"

- 1 36"x36" FABRICATED SHOWER STALL  
2 REMOVE EXISTING WINDOW AND FRAME TO RECEIVE NEW DOOR OPENING PATCH AND FINISH FLOOR AND WALL TO MATCH ADJACENT FINISH.  
3 PROVIDE OPENING INTO EXISTING WALL TO RECEIVE NEW WINDOW PATCH AND FINISH WALL TO MATCH ADJACENT FINISH.

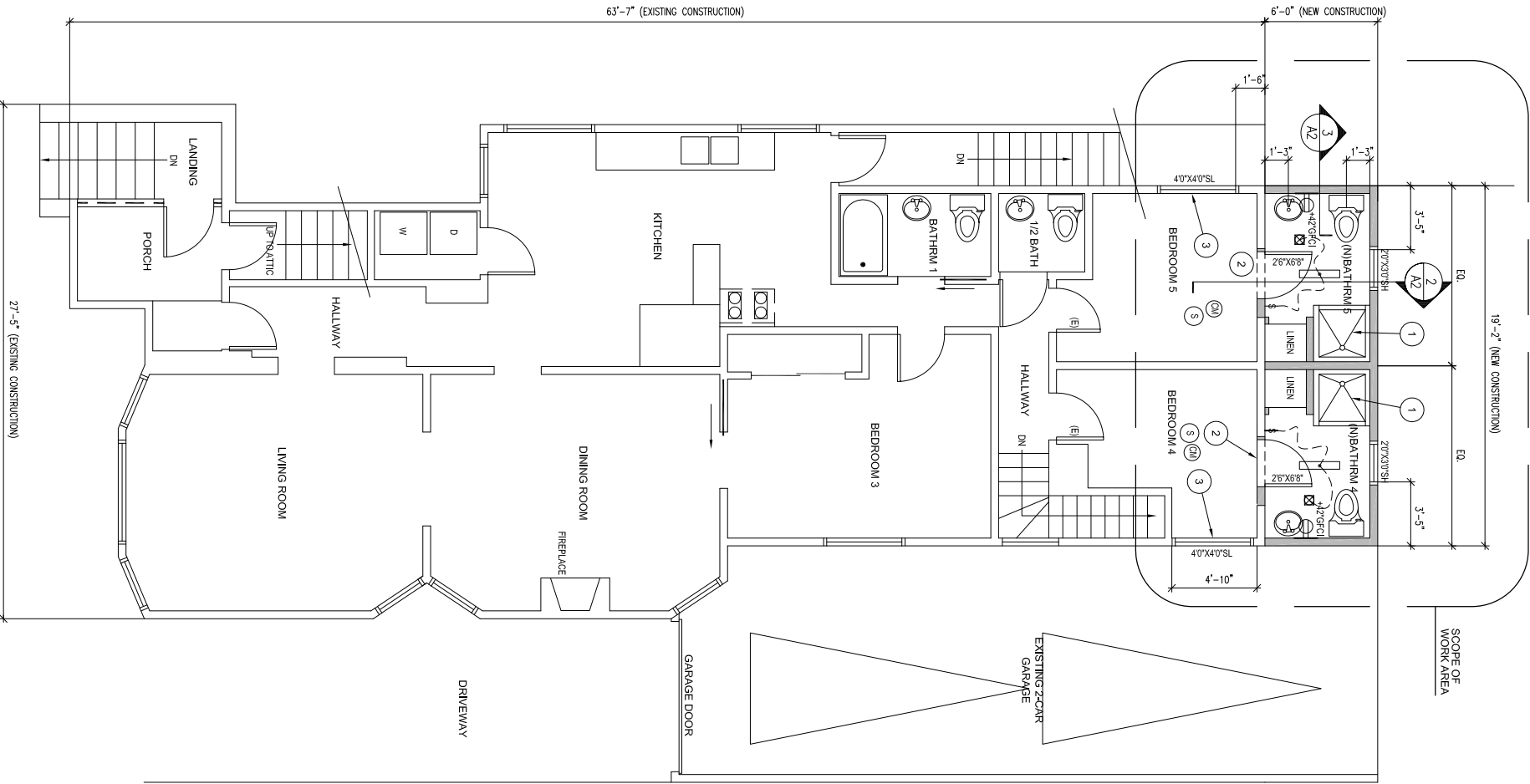
7 KEYNOTES

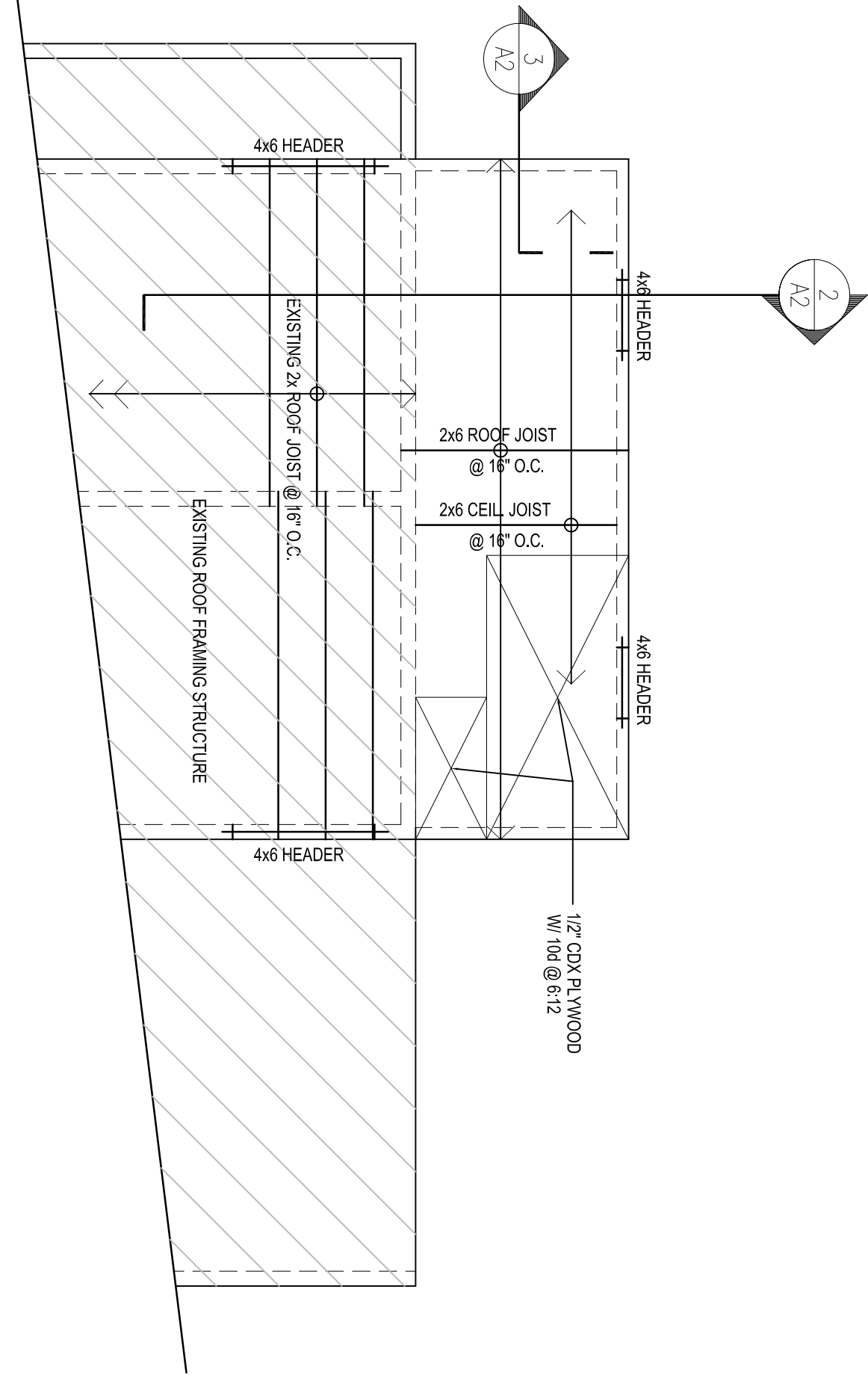
8 RIGHT SIDE ELEVATION FROM STREET VIEW



1 PROPOSED FIRST FLOOR PLAN

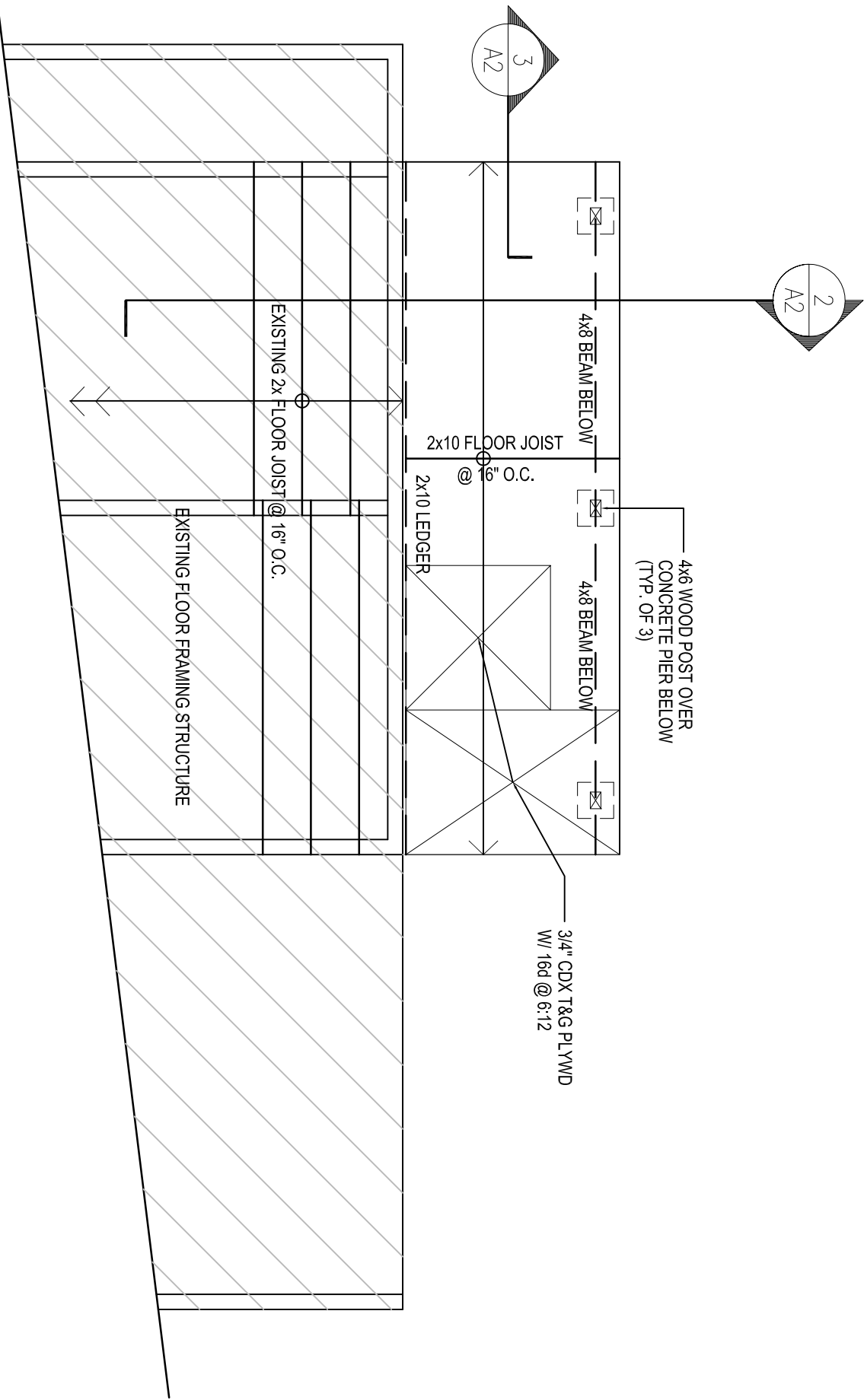
SCALE: 1/4" = 1'-0"





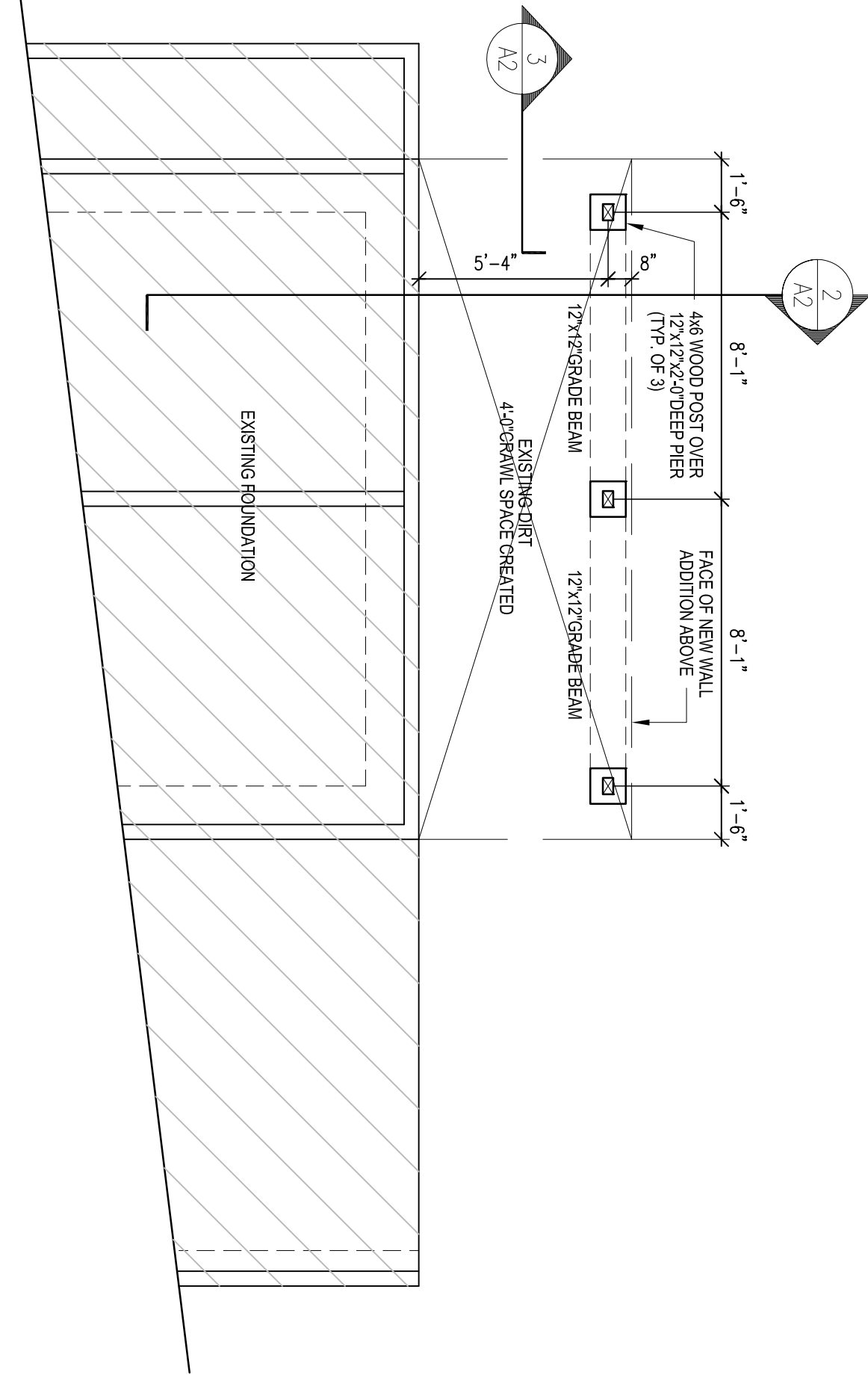
1 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



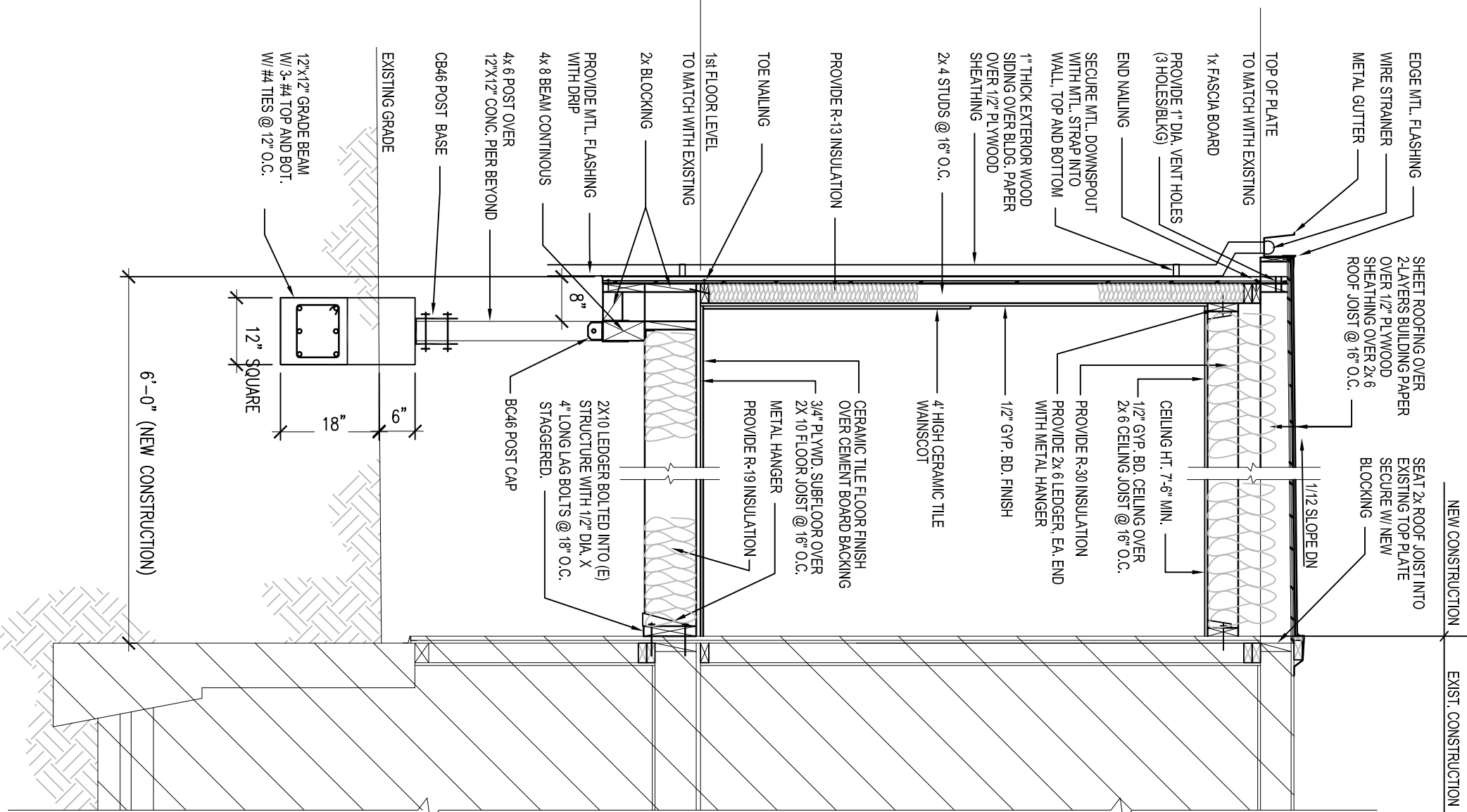
5 FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



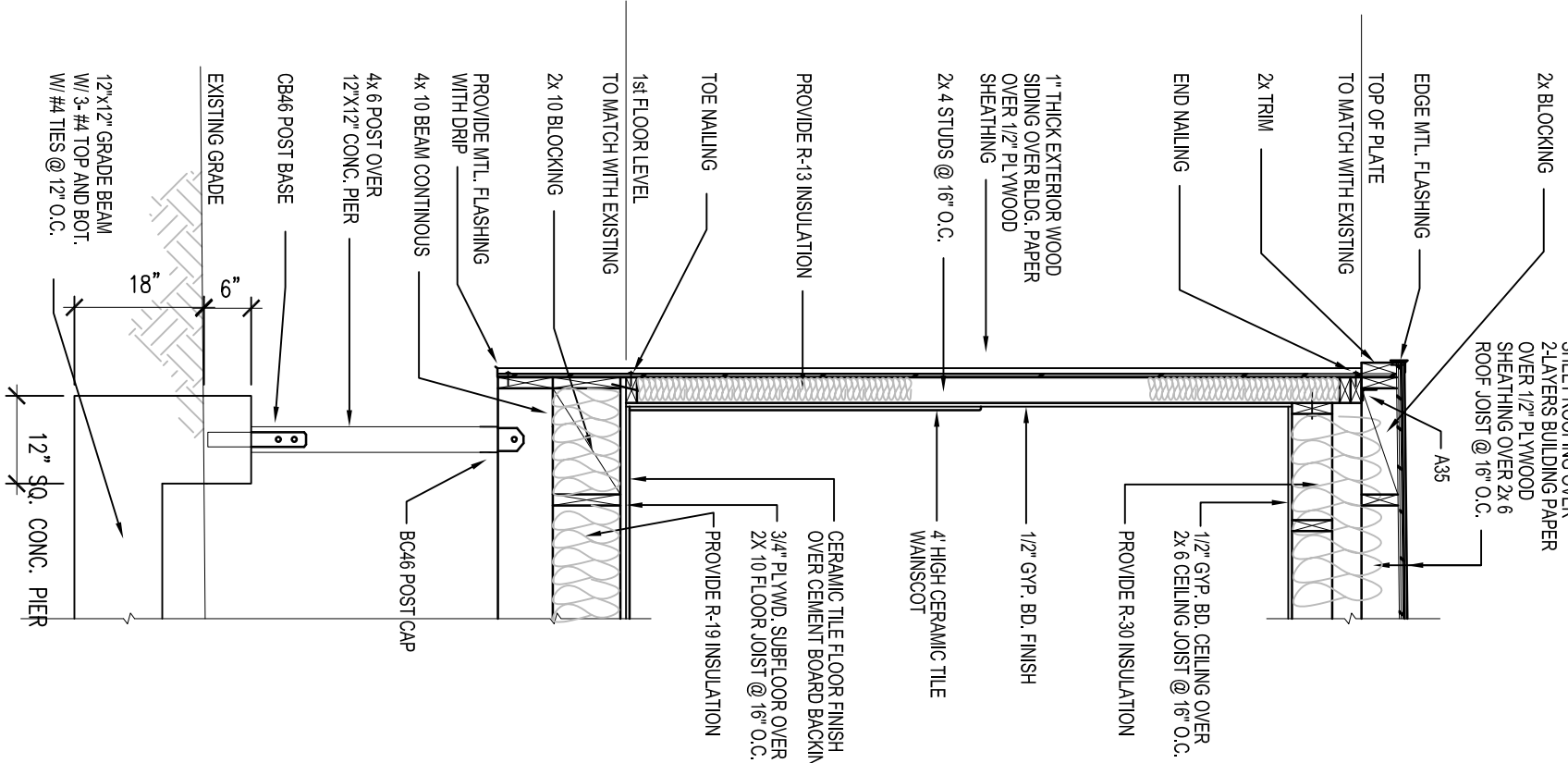
8 FOUNDATION PLAN

SCALE: 1/4"=1'-0"



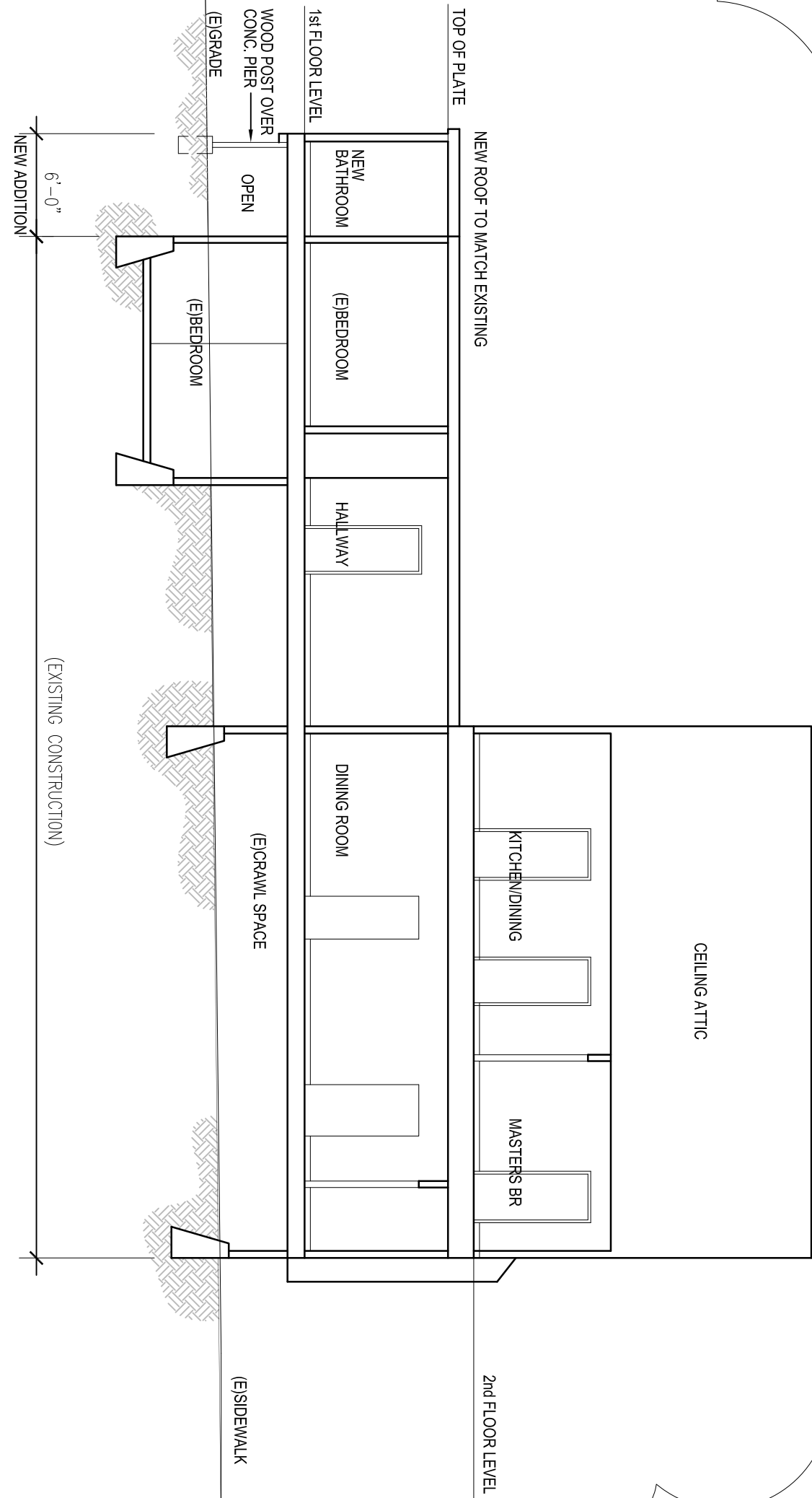
2 WALL SECTION

SCALE: 1/2"=1'-0"



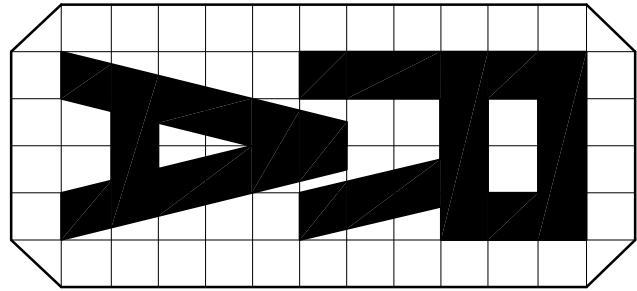
3 WALL SECTION

SCALE: 1/2"=1'-0"



9 BUILDING SECTION

SCALE: 1/8"=1'-0"

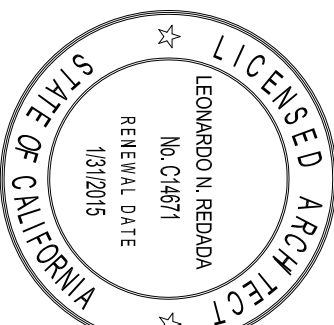


REDADA ARCHITECTS  
427-89TH STREET  
DALY CITY, CA 94015  
TEL: (650) 755-1493

REUSED PER PLANNING  
COMMENTS: 11/7/13

NEW BATHROOM EXTENSION  
2621 SAN JOSE AVENUE/SAN FRANCISCO, CA.

OWNER ACCEPTANCE SIGNATURE:  
OWNER: PATRICIA JULIAN TEL. NO. (415) 587-0824



TITLE	FRAMING PLANS WALL DETAILS
CHECKED LR	
DATE 09-10-13	
SCALE AS SHOWN	
DRAWN LR	
JOB NO. 09/2013	
DWG. NO.	
A2	
SHEET 2 OF 2	