



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 23, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3009 Jackson St	Case No.:	2013.1621V
Cross Street(s):	Baker Street	Building Permit:	2013.11.06.1261
Block / Lot No.:	0982/037	Applicant/Agent:	Krisjon Svanberg
Zoning District(s):	RH-3 / 40-X	Telephone:	(650) 348-3223
Area Plan:	n/a	E-Mail:	krisjon@sssalatarchitect.com

PROJECT DESCRIPTION

The project proposes to construct a vertical addition of approximately 3 feet, replacement and expansion of two rear decks, and remodel the existing units within the three-story-over-garage, two-unit building.

PLANNING CODE SECTION 134 requires an approximately 57- foot deep rear yard, which is equal to 45% of the lot depth. As the existing building extends to within 32 feet of the rear property line and is therefore located partially within the required rear yard, any expansion, including the vertical addition and rear decks, would require a rear yard variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christine Lamorena** Telephone: **415-575-9085** Mail: christine.lamorena@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1621V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

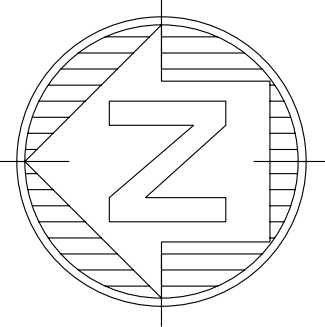
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

Beilin Yakaqon Residence
3009 Jackson Street
San Francisco, CA 94115

[illegible]

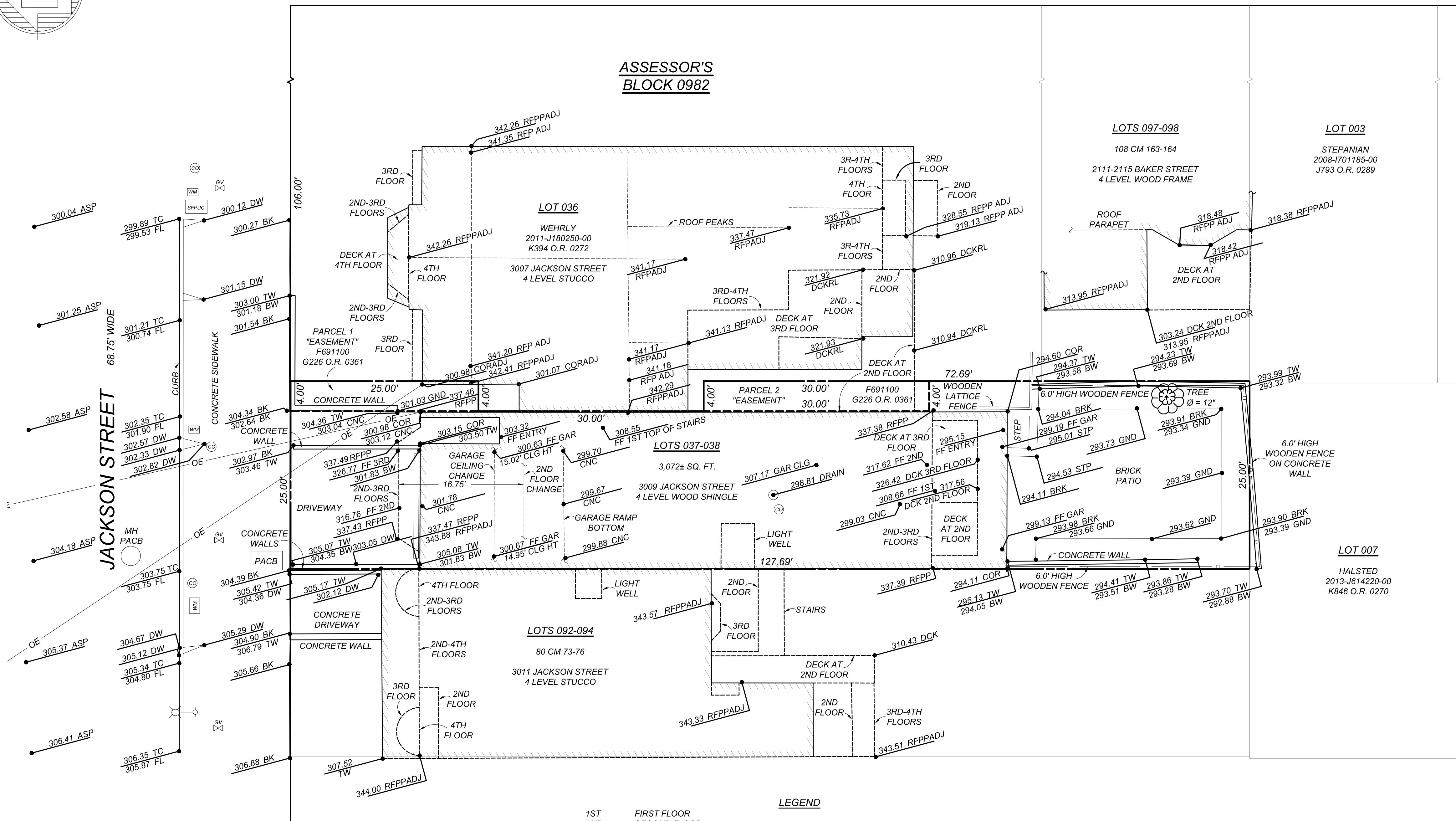
Project	
Beilin/Makagon Residence	
3009 Jackson Street San Francisco, CA 94115	
Block/Lot: 0982/037-038	
Sheet Title	
Title Sheet	
Job No	
248	
Drawn	
KS	
Date	
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BAKER STREET

68.75' WIDE

ASSESSOR'S BLOCK 0982



NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.

2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.

3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR ALEXANDER BEILIN AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.

5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JUNE 04, 2013.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:

① LOTS 037-038: RECORDED APRIL 22, 2010, DOCUMENT NUMBER 2010-1956329-00, ON REEL K127 AT IMAGE 0583

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF JACKSON AND LYON STREETS. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. N.W. CORNER, CROW CUT OUTER RIM SWI. ELEVATION = 329.629'

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

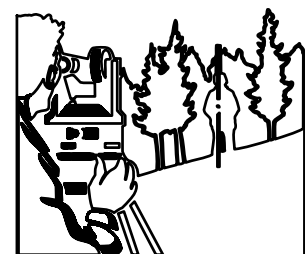


Frederick T. Seher

FREDERICK T. SEHER, PLS
LICENSE NO. 6216
LICENSE EXPIRES: MARCH 31, 2014

OCTOBER 22, 2013
DATE:

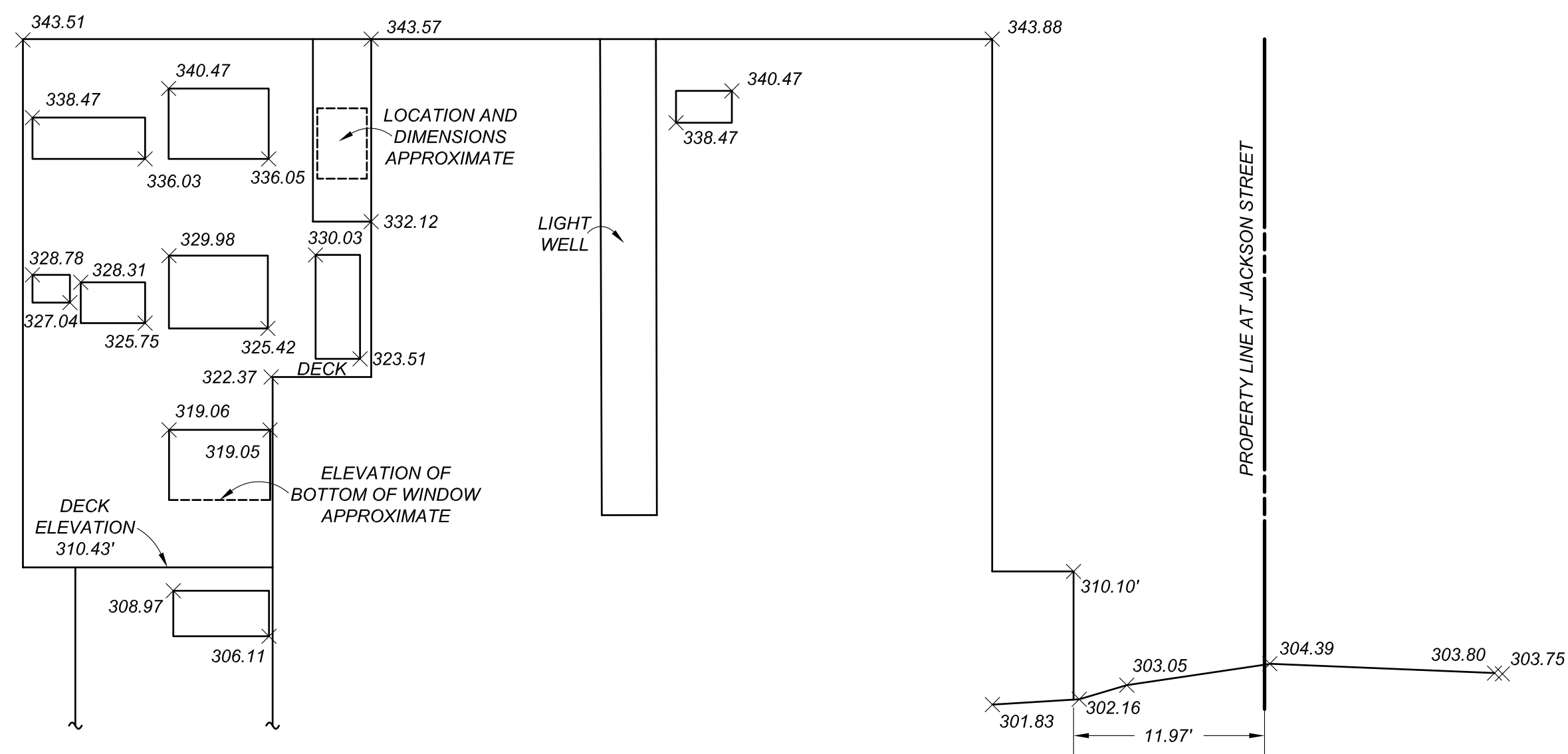
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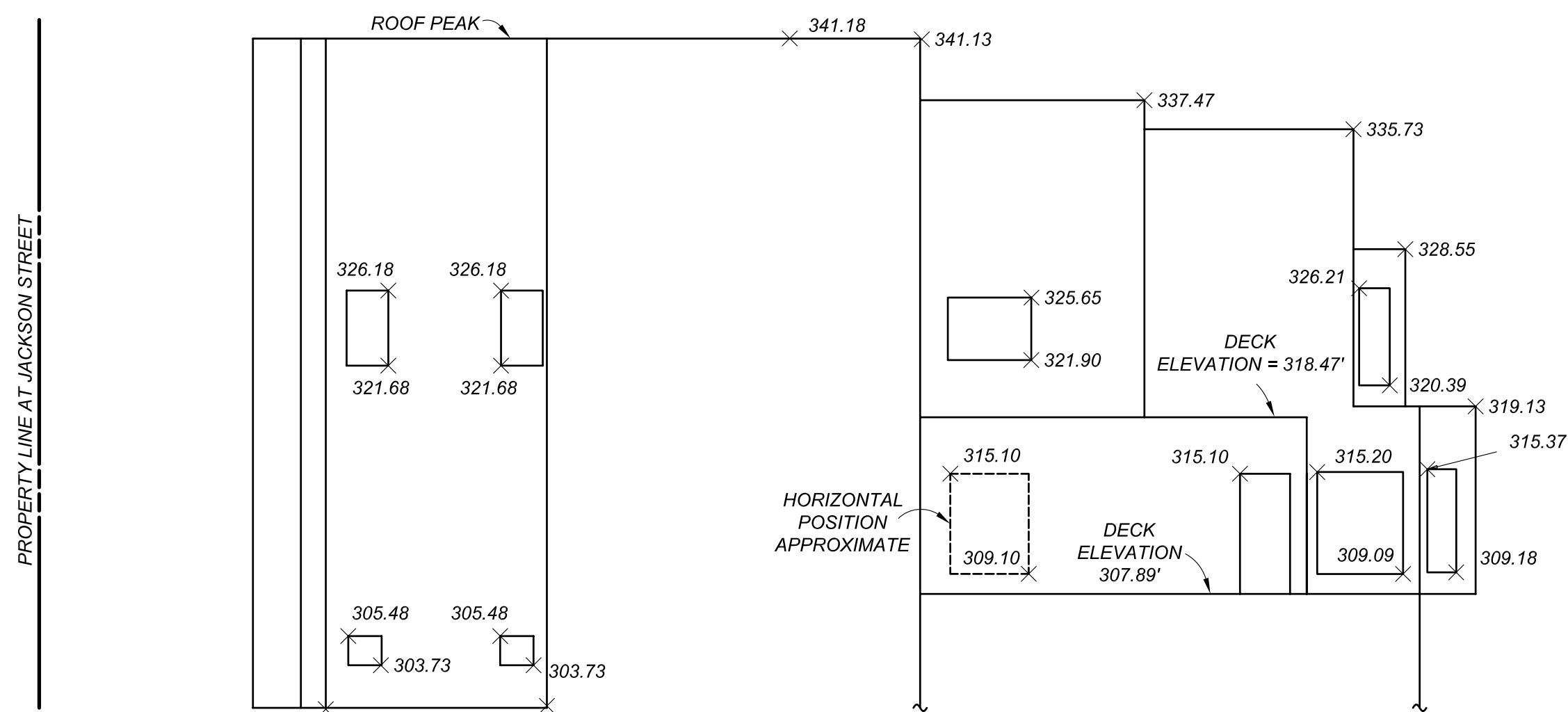
FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
3009 JACKSON STREET, SAN FRANCISCO, CA 94115
ASSESSOR'S BLOCK 0982, LOTS 037-038

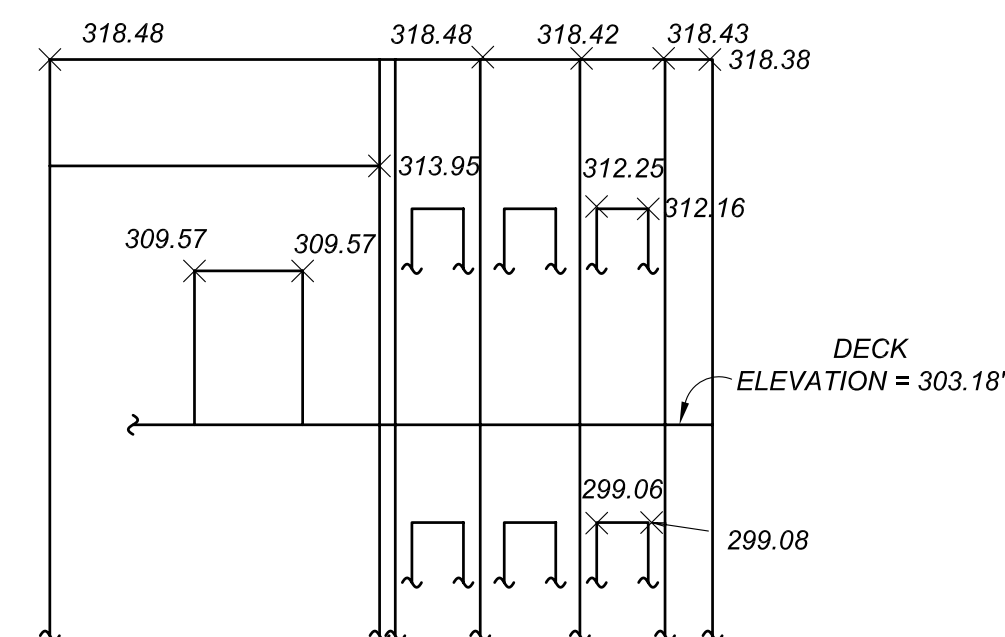
SHEET	1
OF	2 SHEETS
JOB NO.:	568-02



3011 JACKSON STREET
EAST ELEVATION



3007 JACKSON STREET
WEST ELEVATION



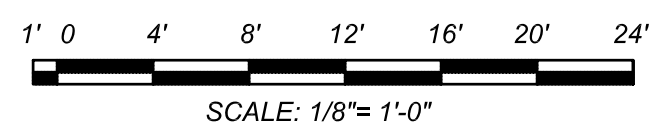
2111-2115 BAKER STREET
WEST ELEVATION

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

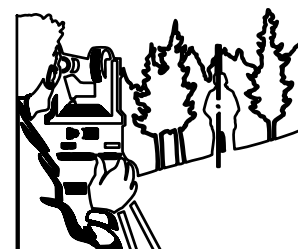


Frederick T. Seher
FREDERICK T. SEHER, PLS
LICENSE NO. 6216
LICENSE EXPIRES: MARCH 31, 2014
OCTOBER 22, 2013
DATE:



SCALE: 1/8"= 1'-0"

DATE: JUNE, 2013	NO.:	BY:	DATE:	REVISIONS:
SCALE: 1" = 8'				
DRAWING NAME: 568-02				
DRAWN BY: SDA				
SURVEYED BY: FTS				
CHECKED BY: EF				
CHECKED BY:				



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

WINDOW LOCATION & ELEVATION SURVEY OF ADJACENT BUILDINGS
3009 JACKSON STREET, SAN FRANCISCO, CA 94115
ASSESSOR'S BLOCK 0982, LOTS 037-038

SHEET	2
OF	2 SHEETS
JOB NO.:	568-02

312 N. San Mateo Dr., San Mateo, CA 94401
Phone 650.348.3223 Fax 650.348.2222
arkitype@essalatarchitects.com

Beilin/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94111
Block/Lot: 0982/037-038

Sheet Title
Site Plan

Job No	248
Drawn	KS
Date	09-9-13

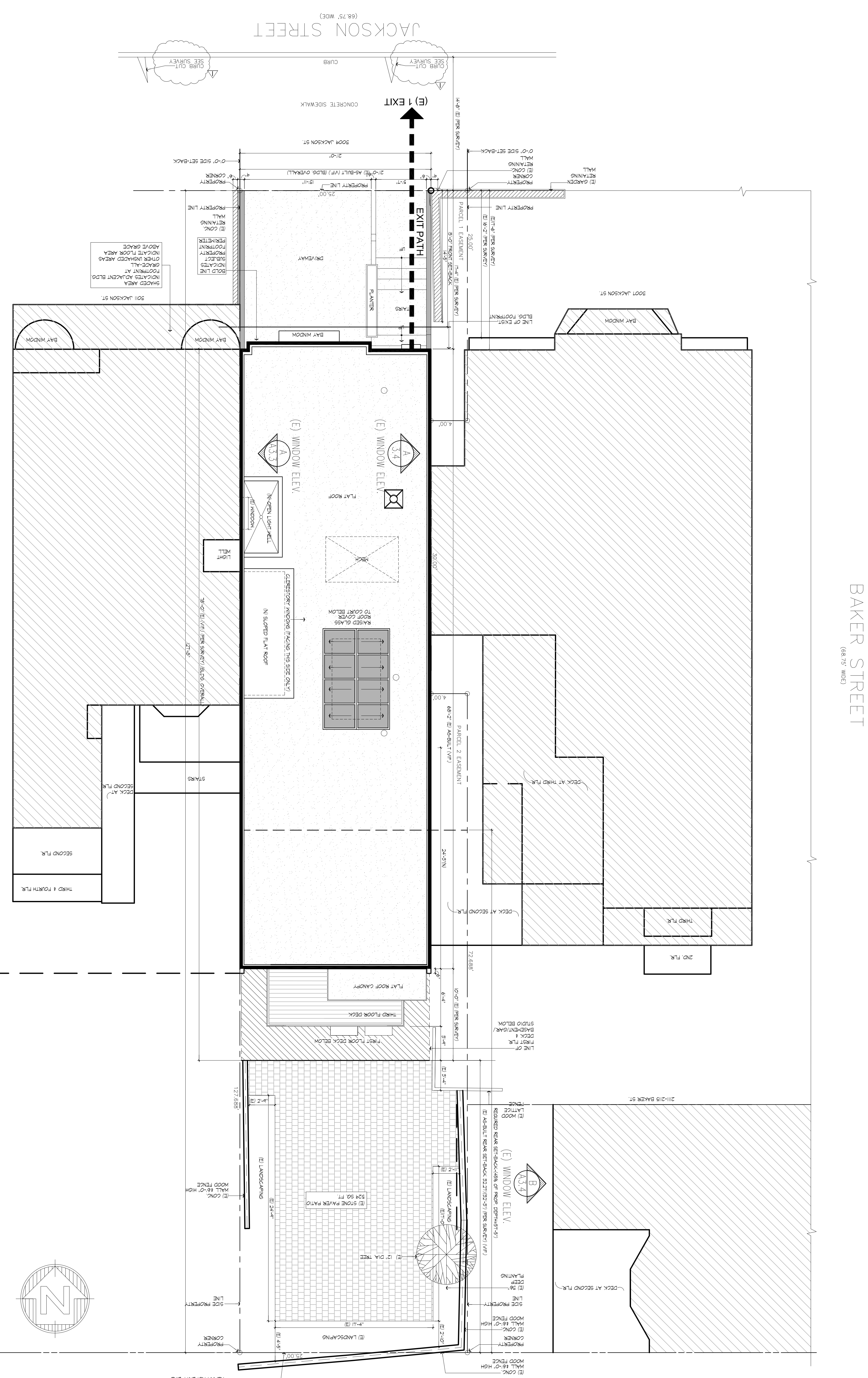
REVISIONS

1 Planning rev.comments 1..

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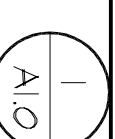
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A1.0



SITH PLAN

SCALE: NT



All drawings & Specifications provided as instruments of service are the property of the Architect whether the project is executed or not. It is unlawful for any person, without the written consent of the Architect, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



Project

Beilin/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Proposed
Floor Plans
Lower/Gar. Plan
First Floor Plan

Job No	248
Drawn	KS
Date	09-9-13

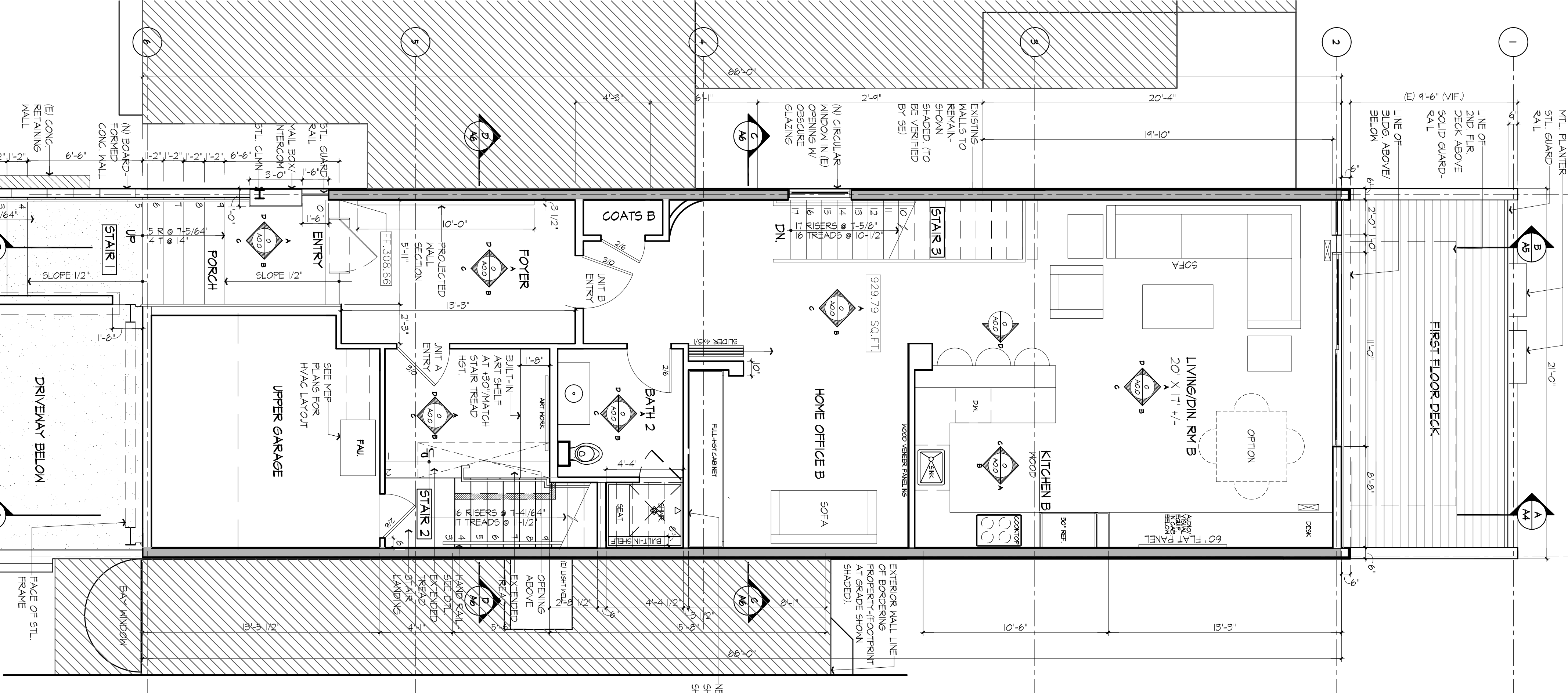
Revisions
△ 9/9/13

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Scale 1/4" = 1'-0"

Sheet

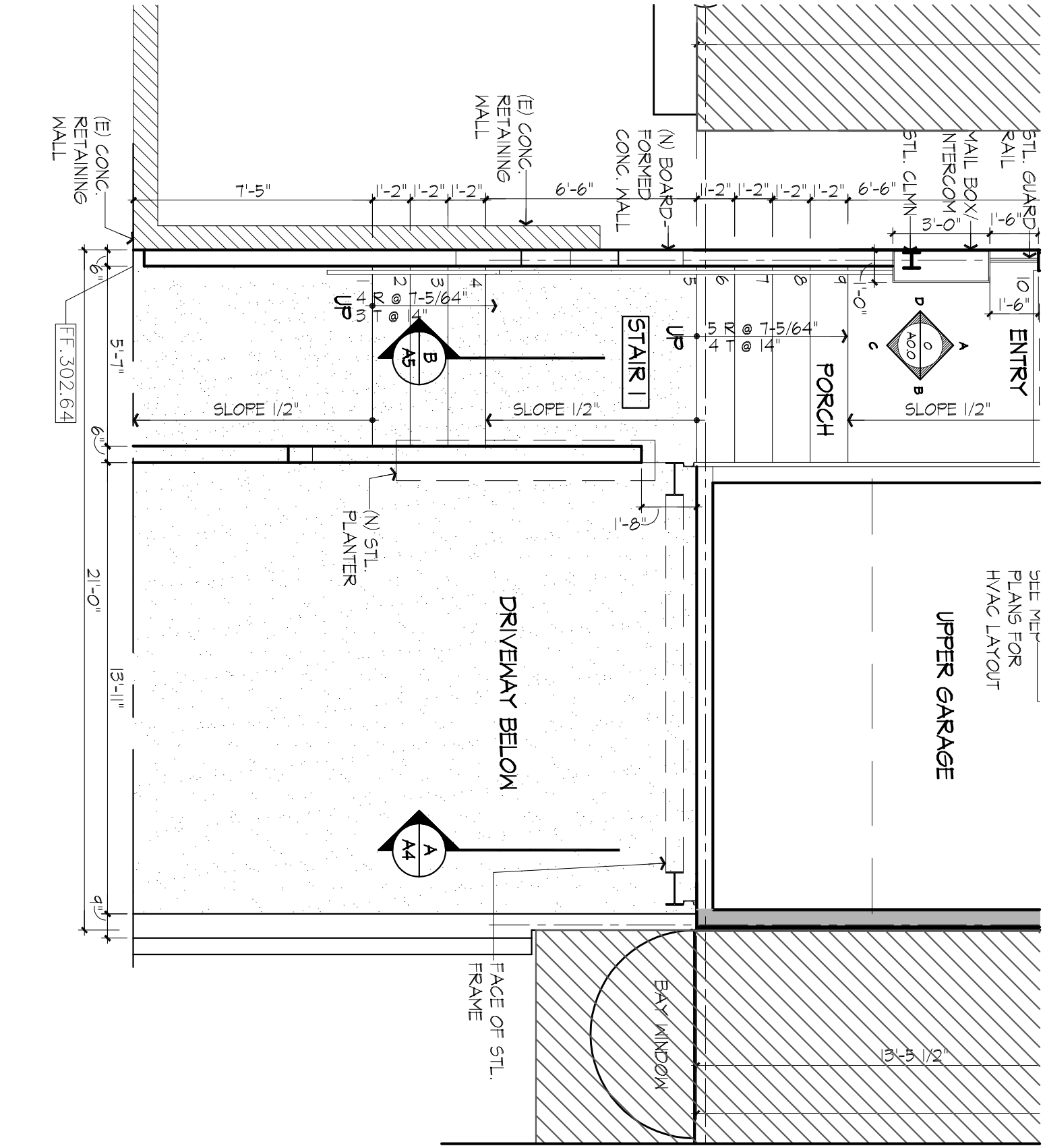
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SECOND FLOOR PLAN (UNIT B)

SCALE 1/4" = 1'-0"

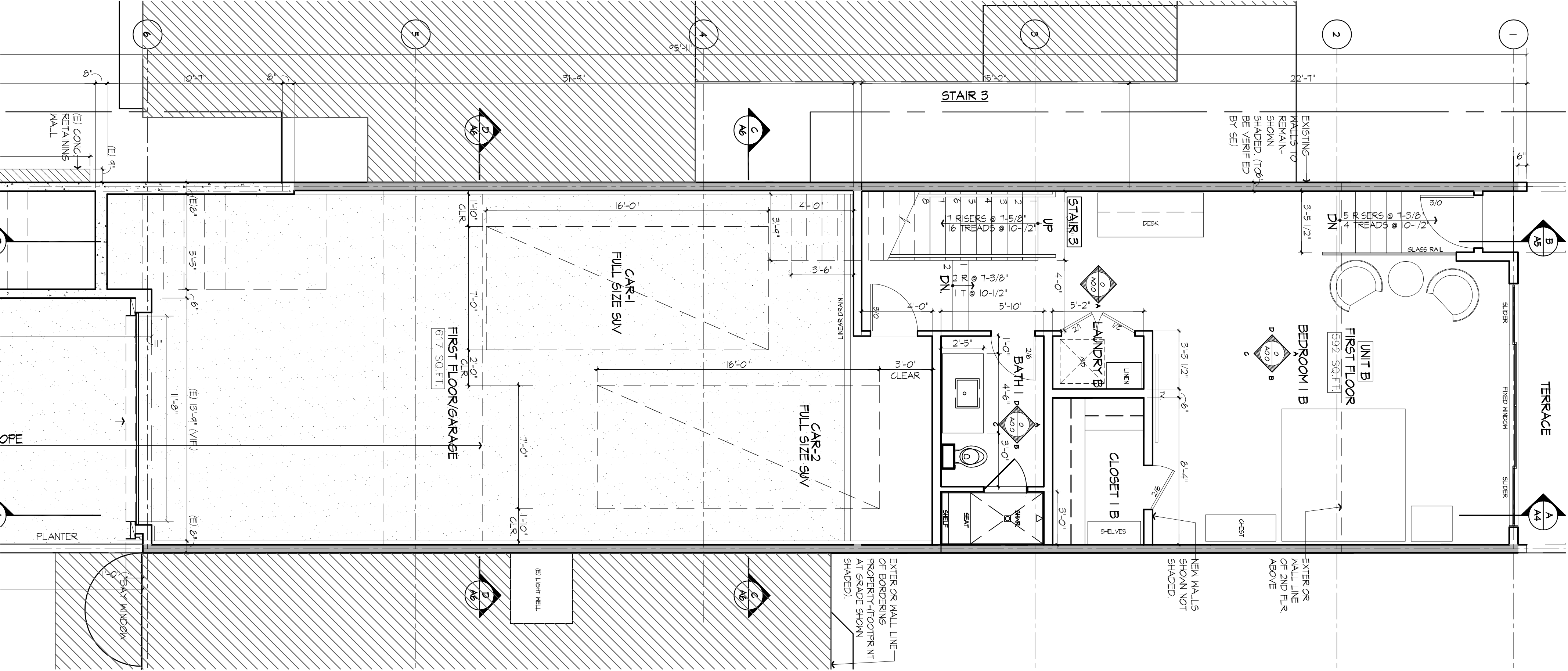
A2.1



PARTIAL SECOND FLOOR PLAN (UNIT B)

SCALE 1/4" = 1'-0"

A2.1



FIRST FLOOR PLAN/GARAGE (UNIT B)

SCALE 1/4" = 1'-0"

A2.1



Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Proposed Floor Plan
Third Floor Plan
Fourth Floor Plan
Roof Plan

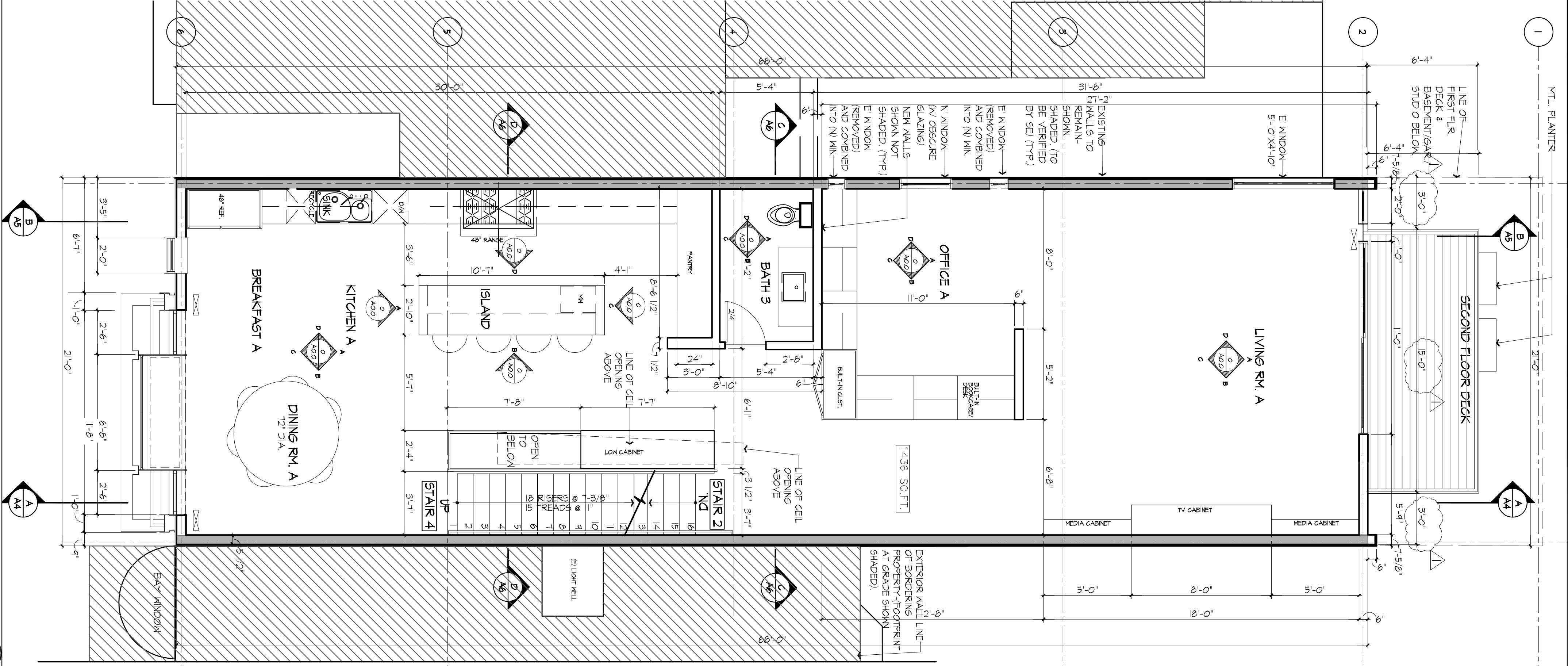
Job No	248
Drawn	KS
Date	09-9-13

- Revisions
- △ Planning rev. comments 1.24.11
 - △ Planning rev. comments 2.5.14
 - △
 - △
 - △
 - △
 - △

Scale	1/4" = 1'-0"
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Sheet

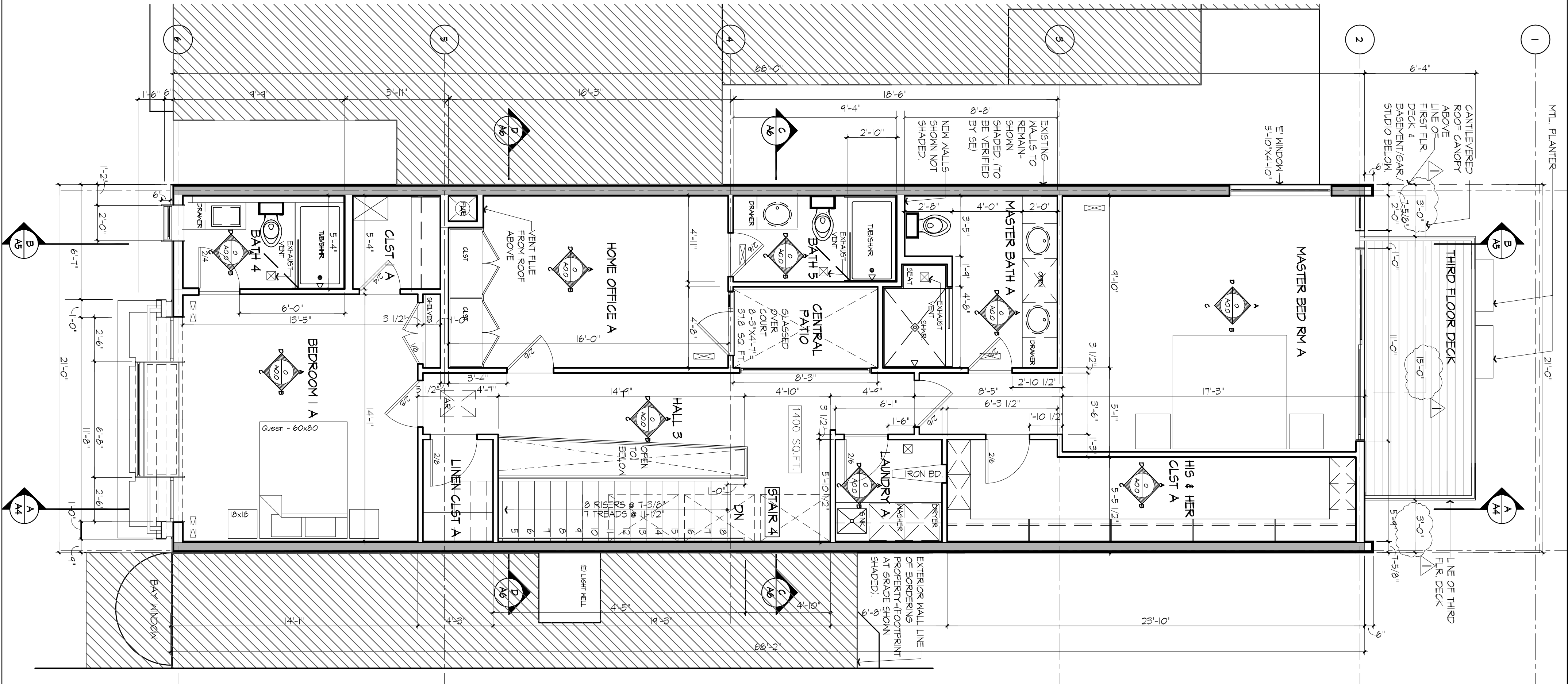
A2.2



THIRD FLOOR PLAN (UNIT A)

SCALE 1/4" = 1'-0"

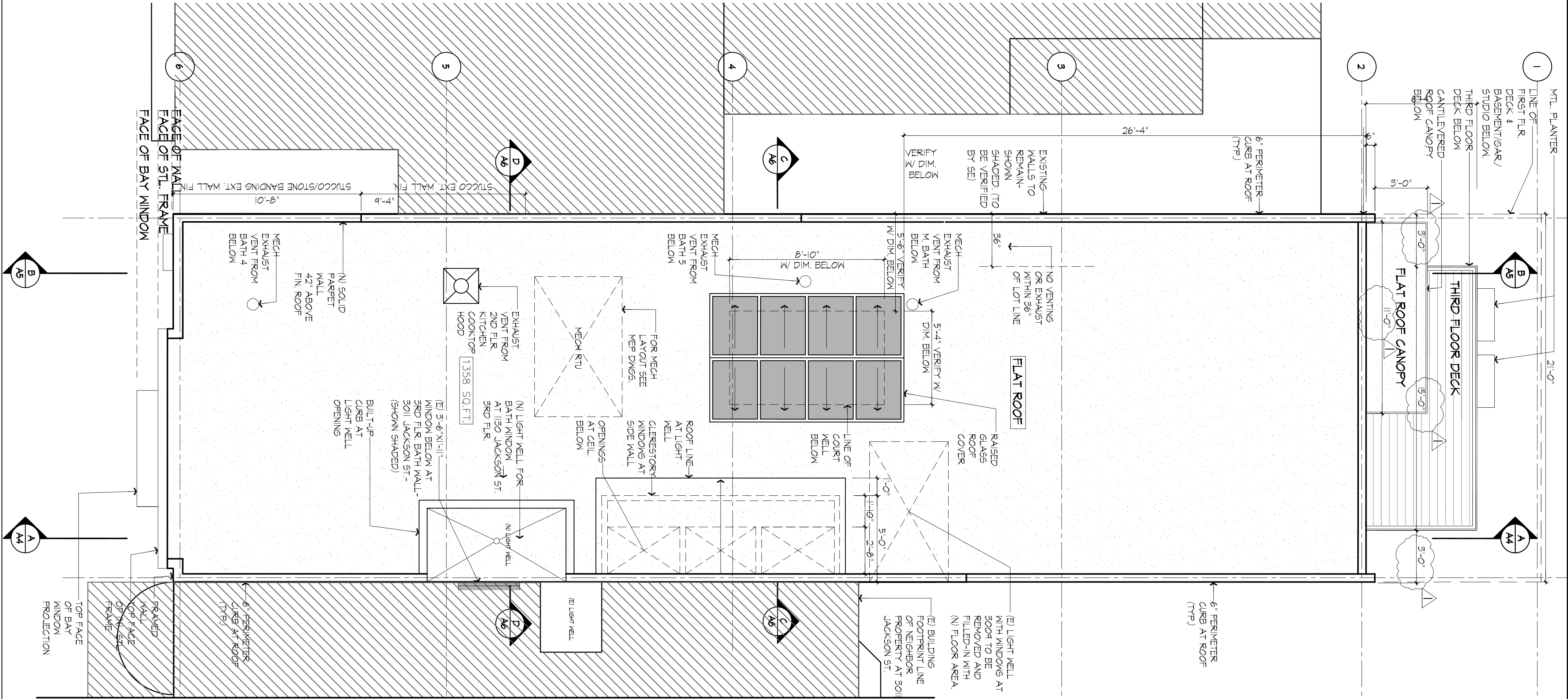
A2.2



FOURTH FLOOR PLAN (UNIT A)

SCALE 1/4" = 1'-0"

A2.2



ROOF PLAN

SCALE 1/4" = 1'-0"

A2.2



Project
Beilim/Makagon
Residence
3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Exist. & New
Square footage
Calculations

Job No	248
Drawn	KS
Date	09-9-13

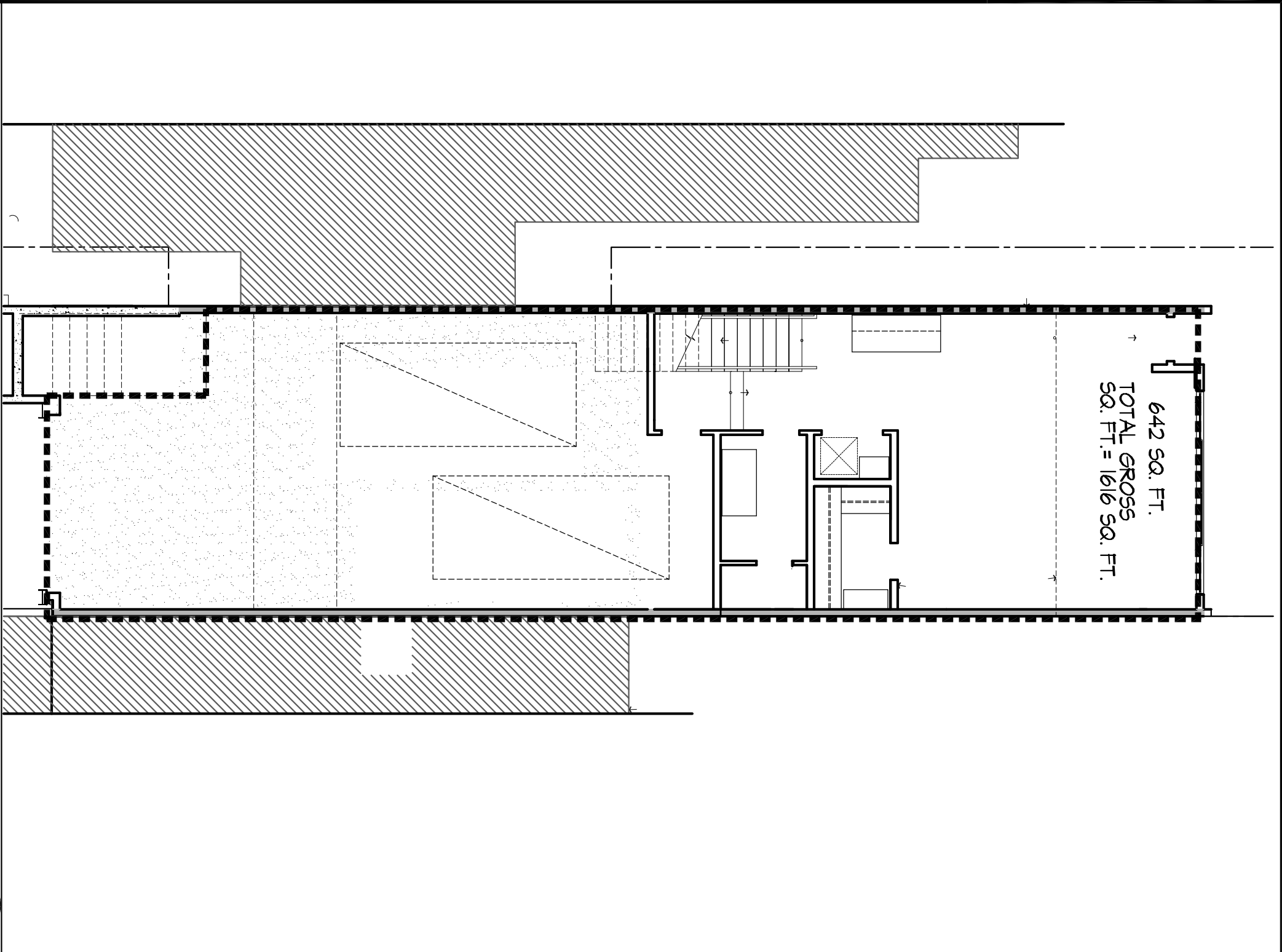
Revisions
△ 9/9/13

- △
- △
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Scale 1/4" = 1'-0"

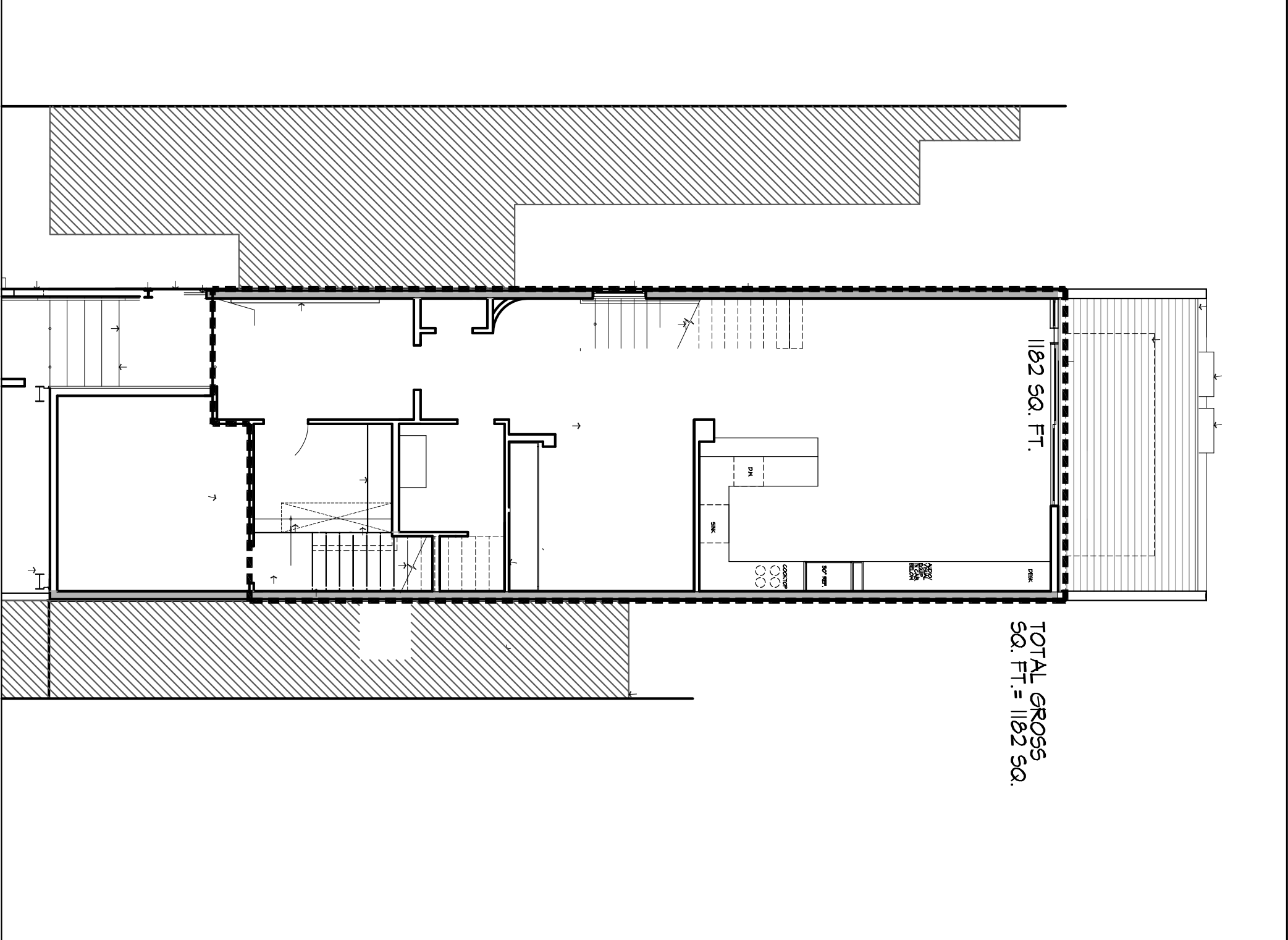
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A2.3



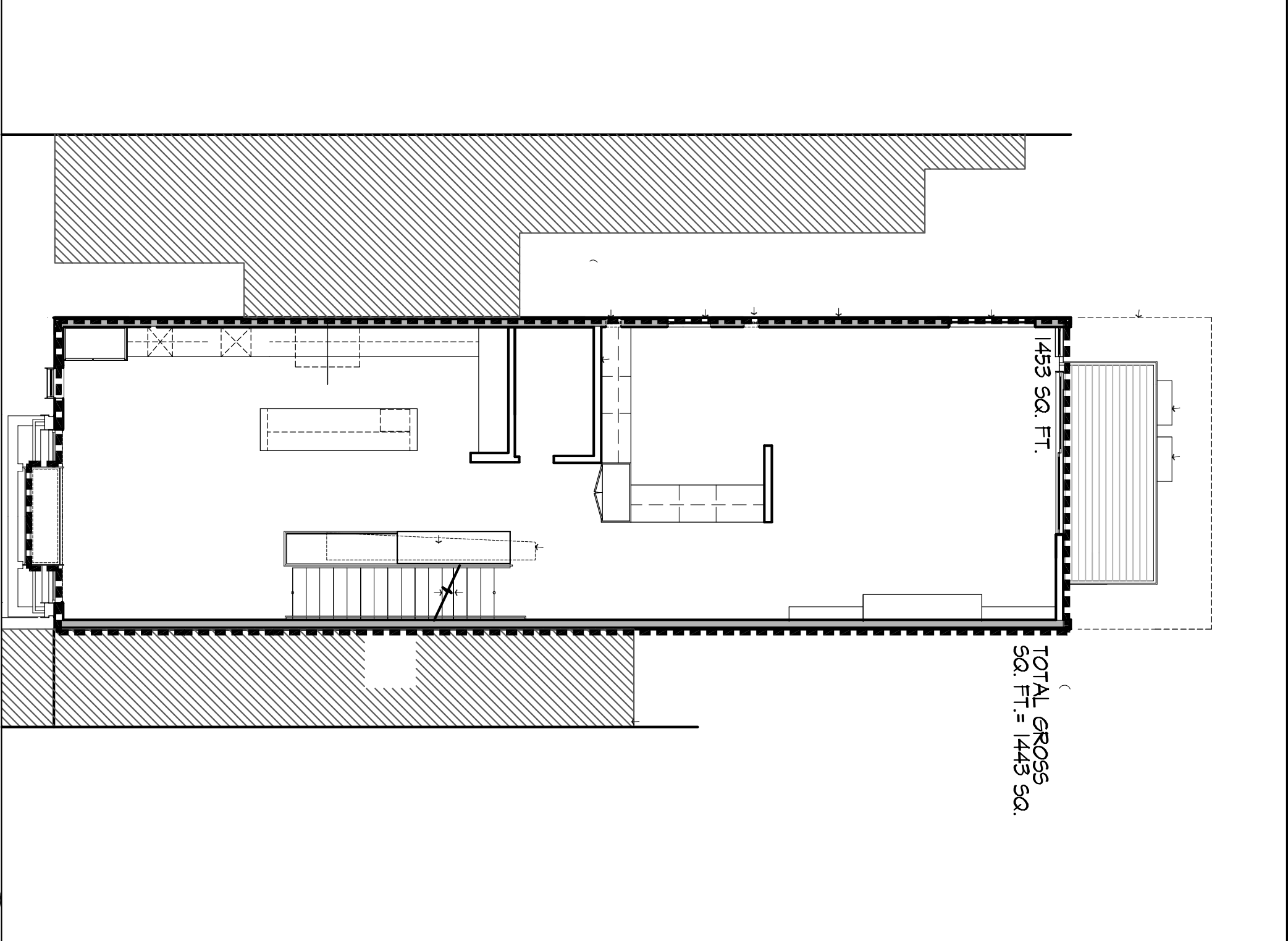
(N) FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"
1
A2.3



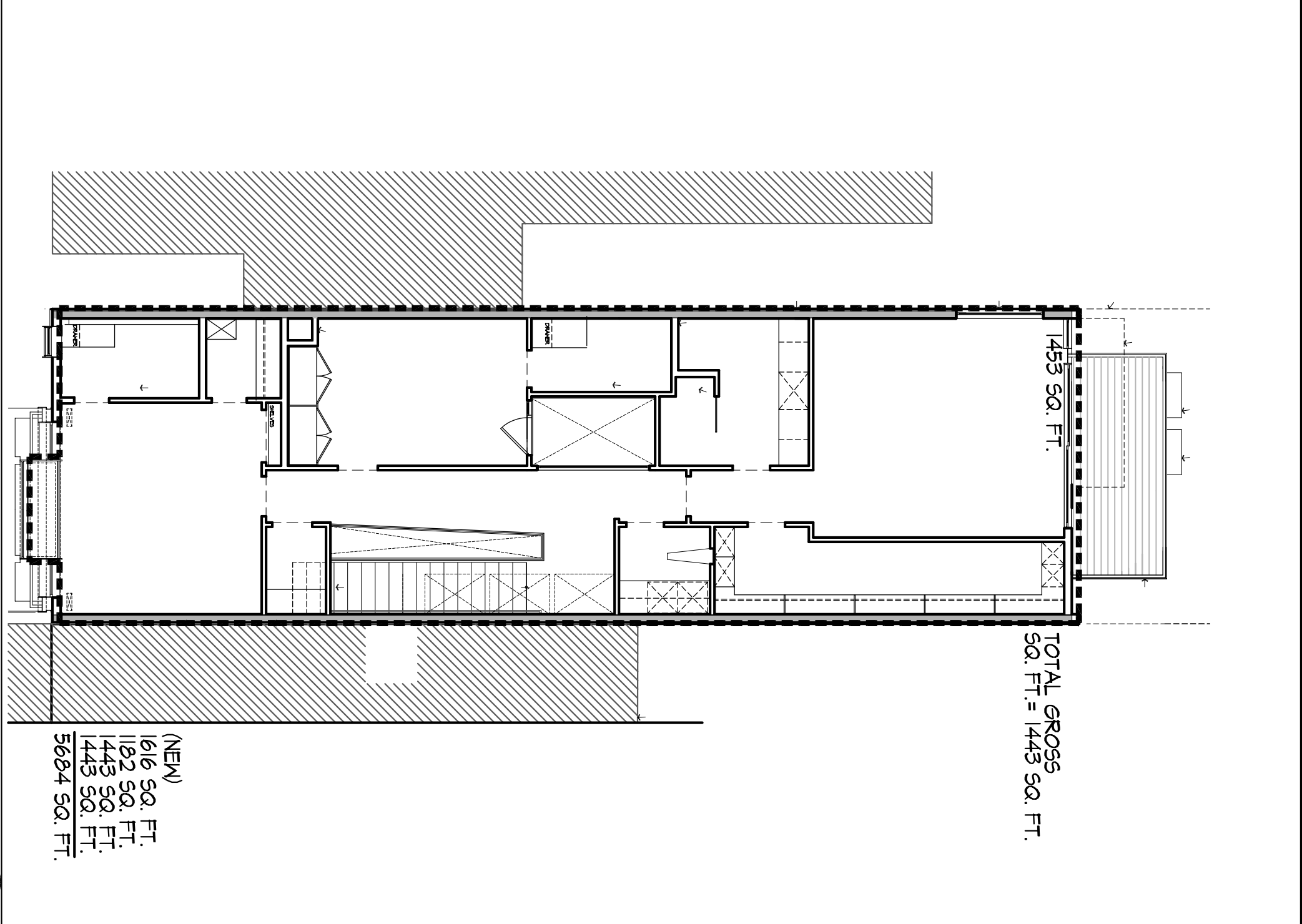
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SCALE 1/8" = 1'-0"
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A2.3



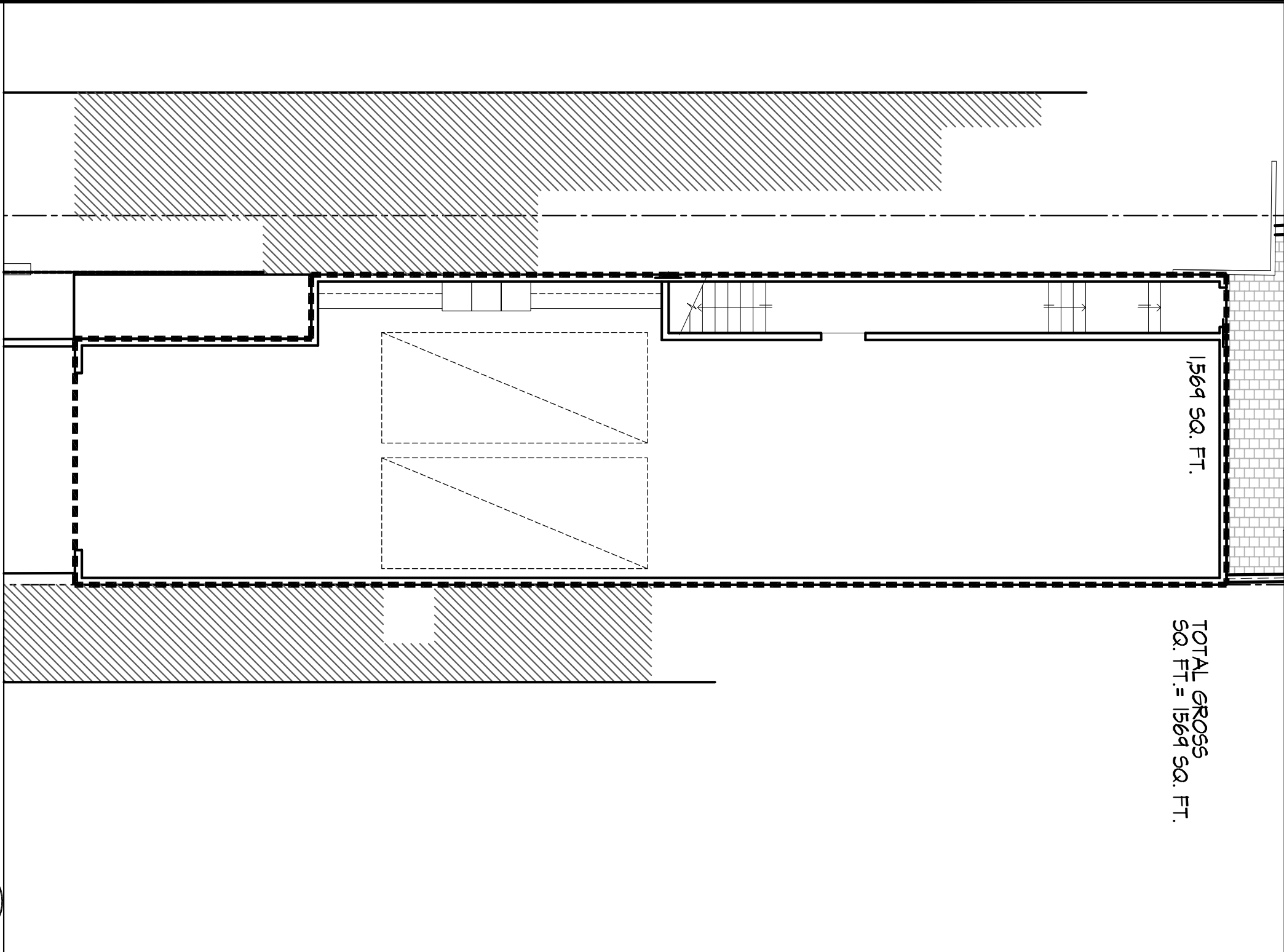
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A2.3



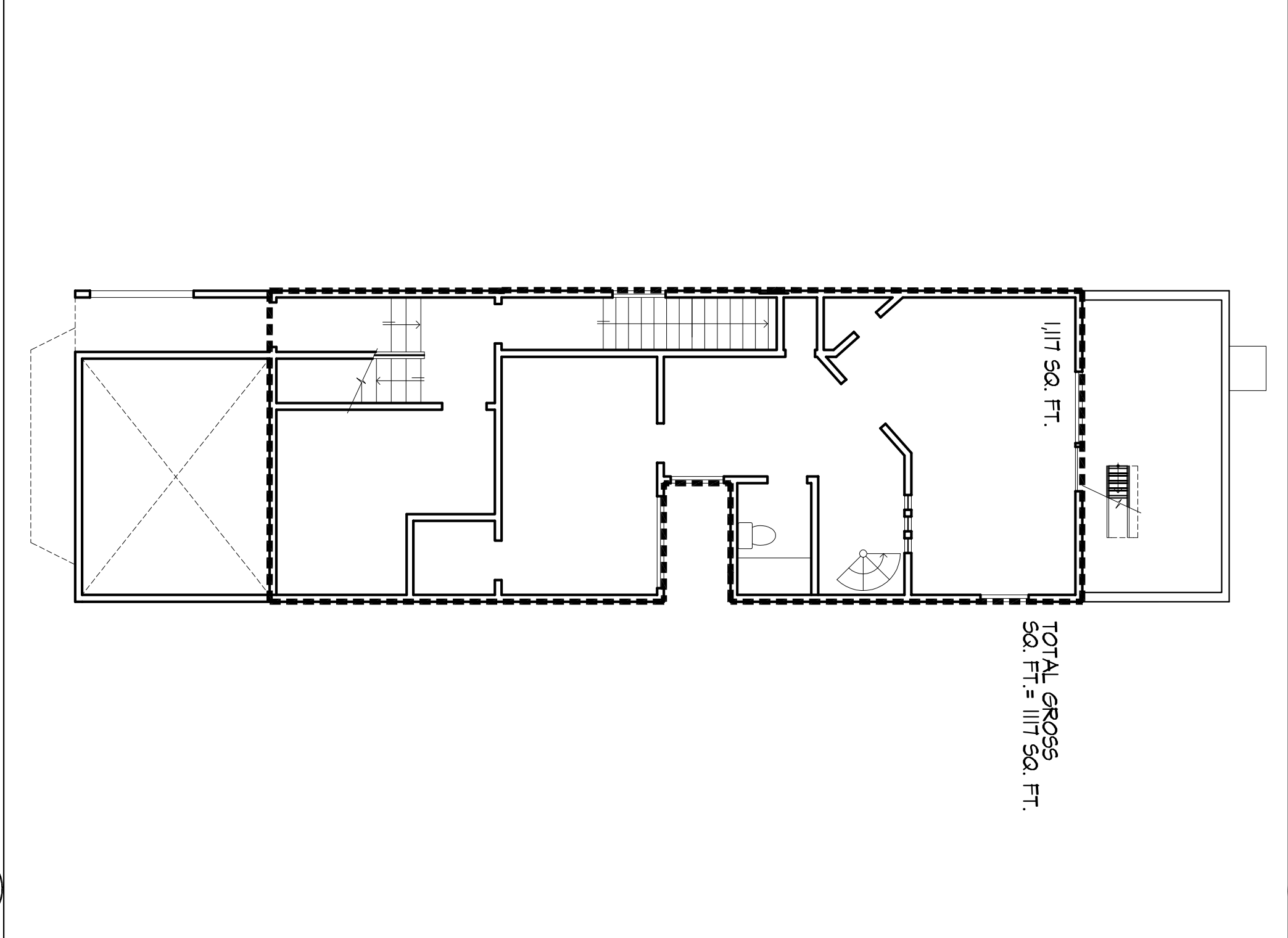
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SCALE 1/8" = 1'-0"
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A2.3



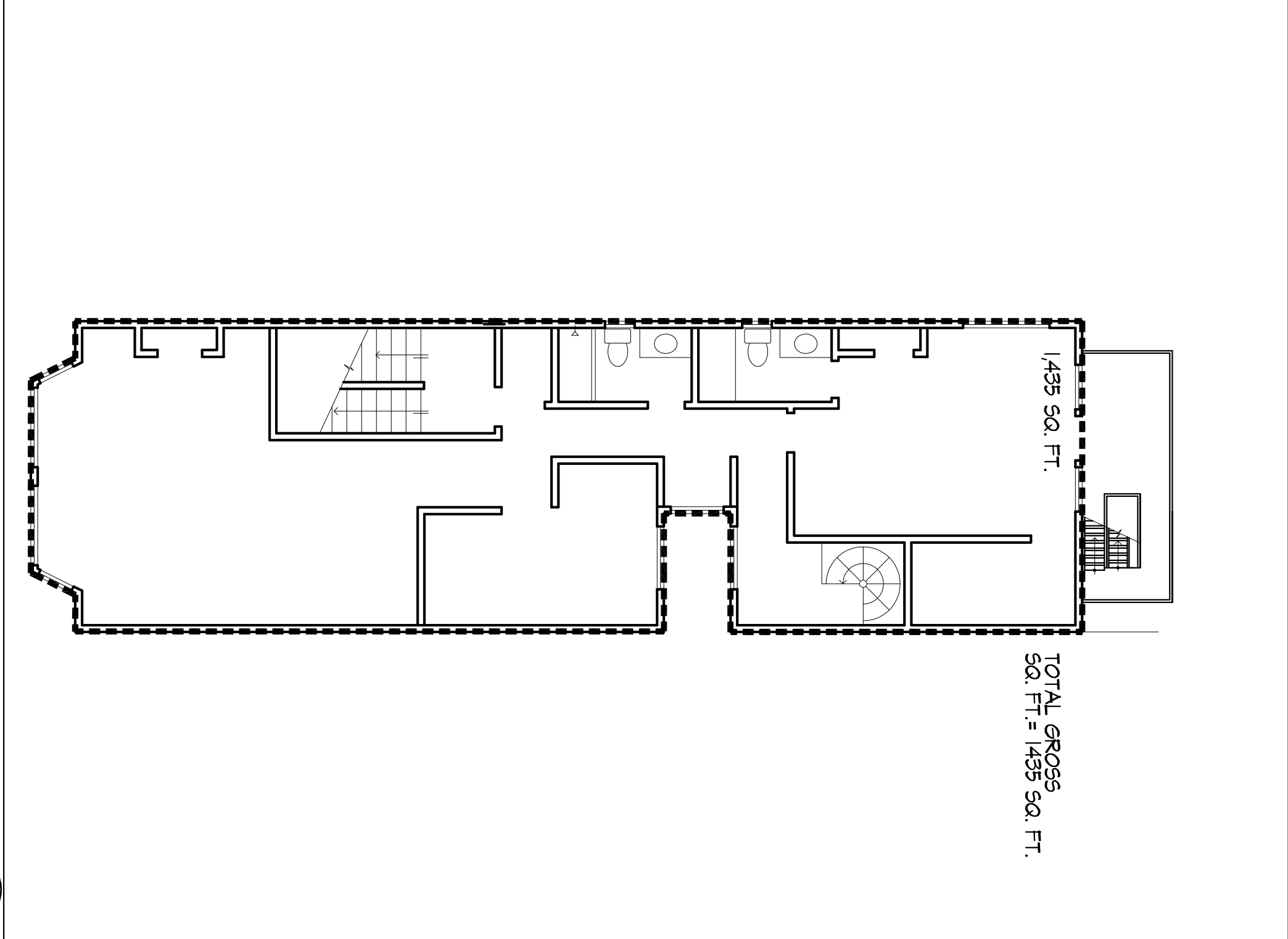
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SCALE 1/8" = 1'-0"
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A2.3



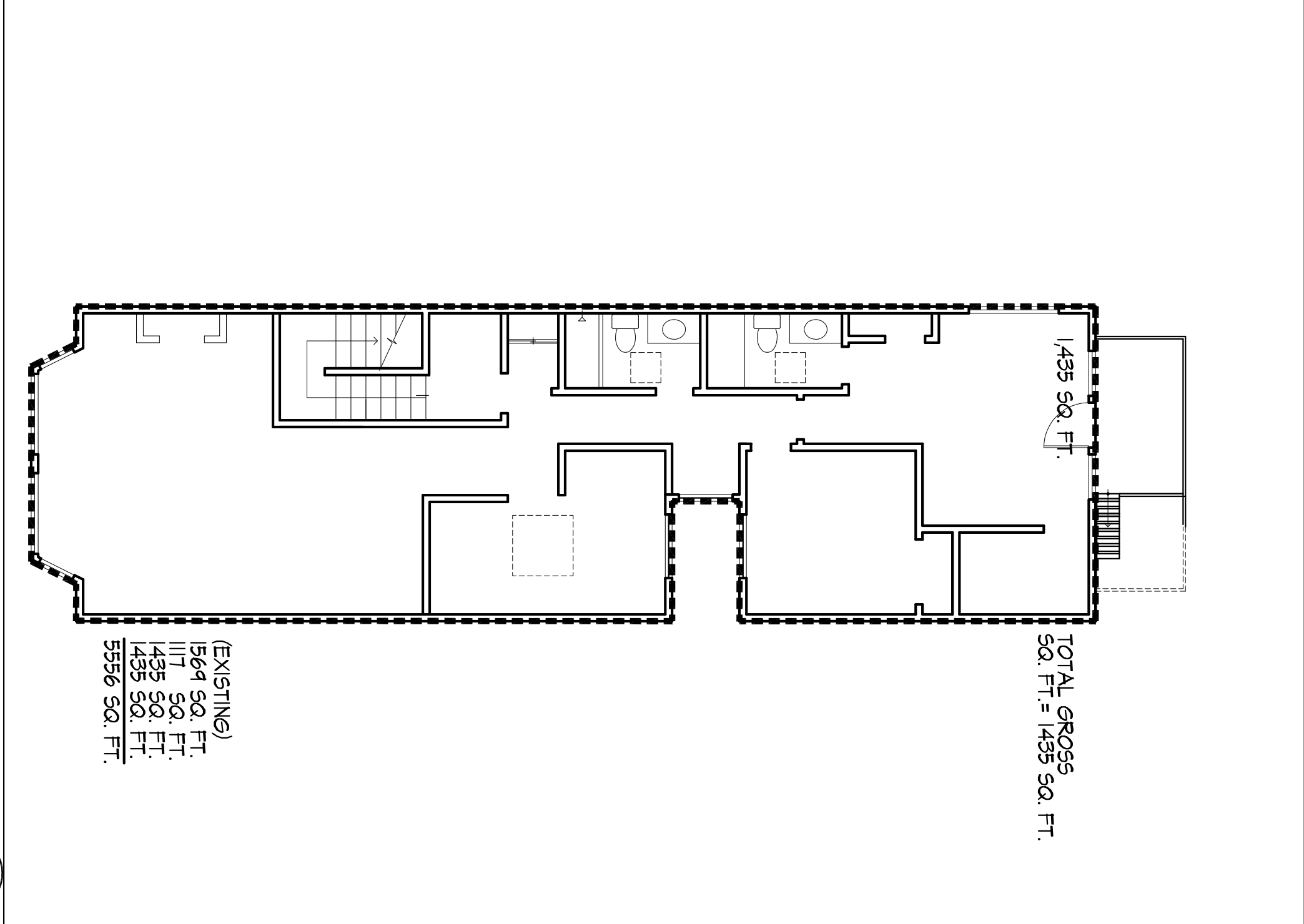
(E) SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"
2
A2.3



(E) THIRD FLOOR PLAN

SCALE 1/8" = 1'-0"
3
A2.3



(E) FOURTH FLOOR PLAN

SCALE 1/8" = 1'-0"
4
A2.3



Project

Beilin/Makgon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title

Proposed Exterior
Elevations
North (front)
South (rear)

Job No	248
Drawn	KS
Date	09-9-13

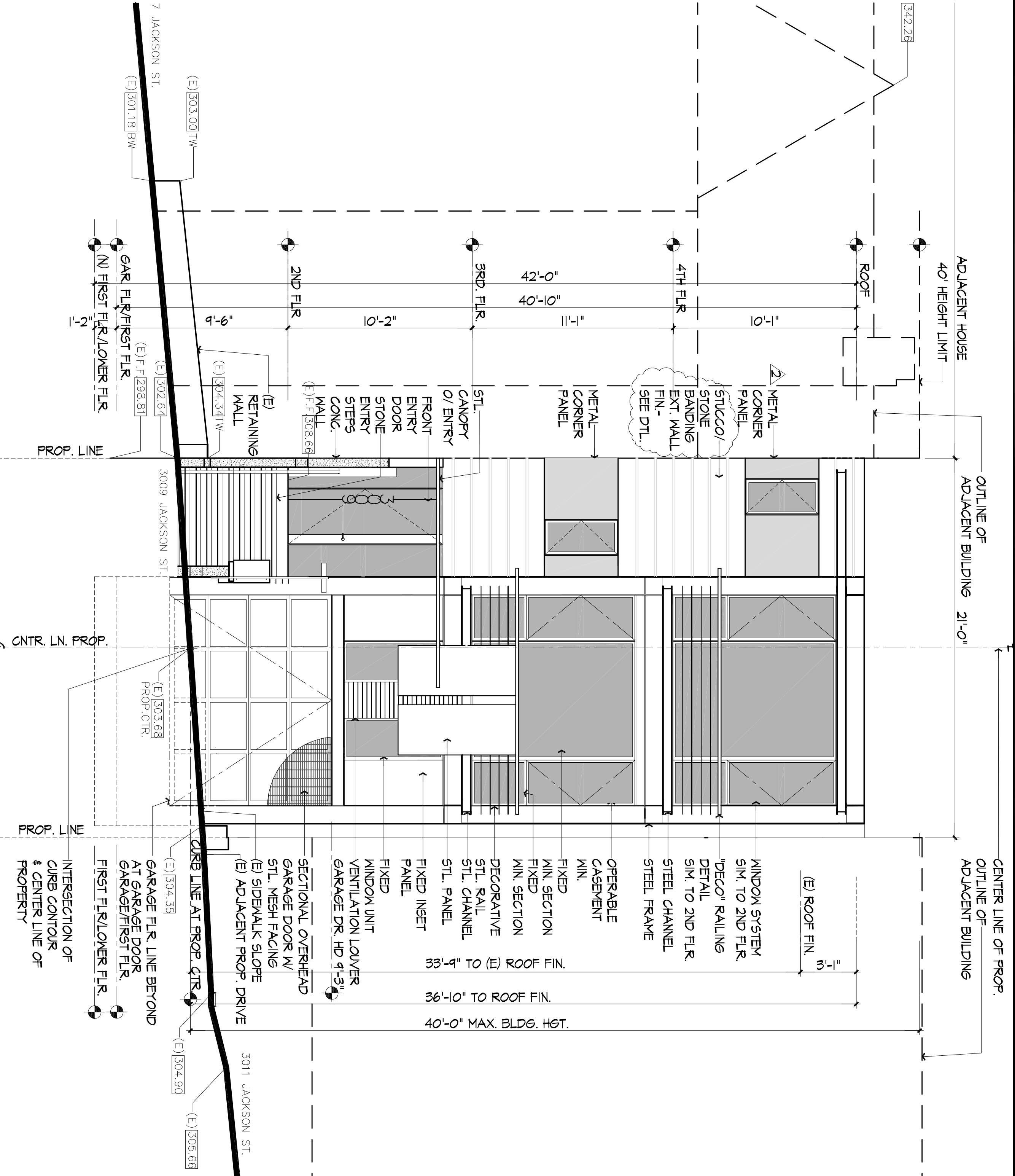
Revisions
△ 9/9/13 Planning rev. comments 2.5.14

- △
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Scale 1/4" = 1'-0"

Sheet

A3.0

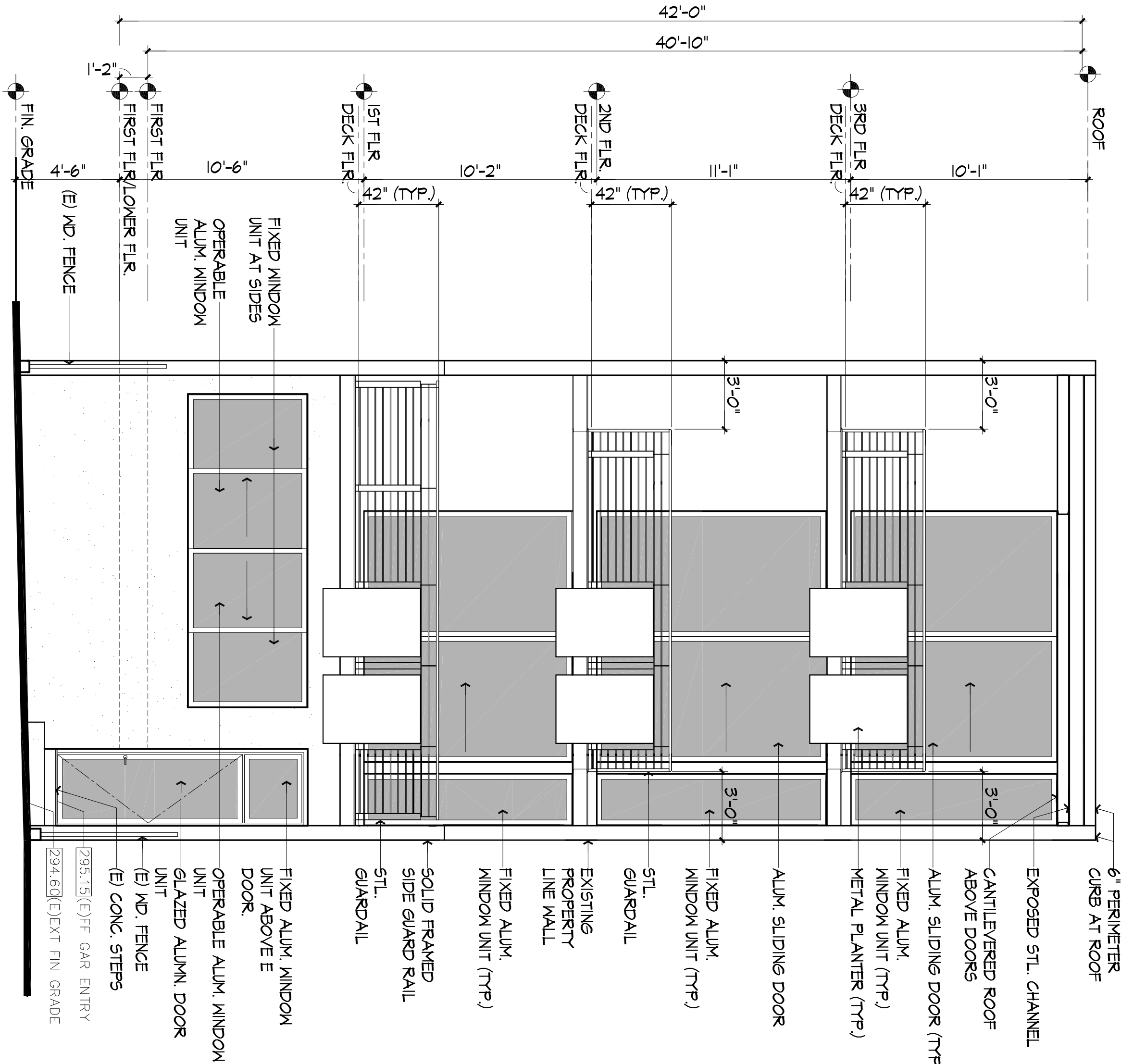


2
A3.0

NORTH ELEVATION

SCALE 1/4" = 1'-0"

1
A3.0



SCALE 1/4" = 1'-0"

2
A3.0

SOUTH ELEVATION

EAST ELEVATION AT DRIVEWAY

SCALE 1/4" = 1'-0"

3
A3.0



Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Proposed
Bldg. Elev.
East

Job No 248
Drawn KS
Date 09-9-13

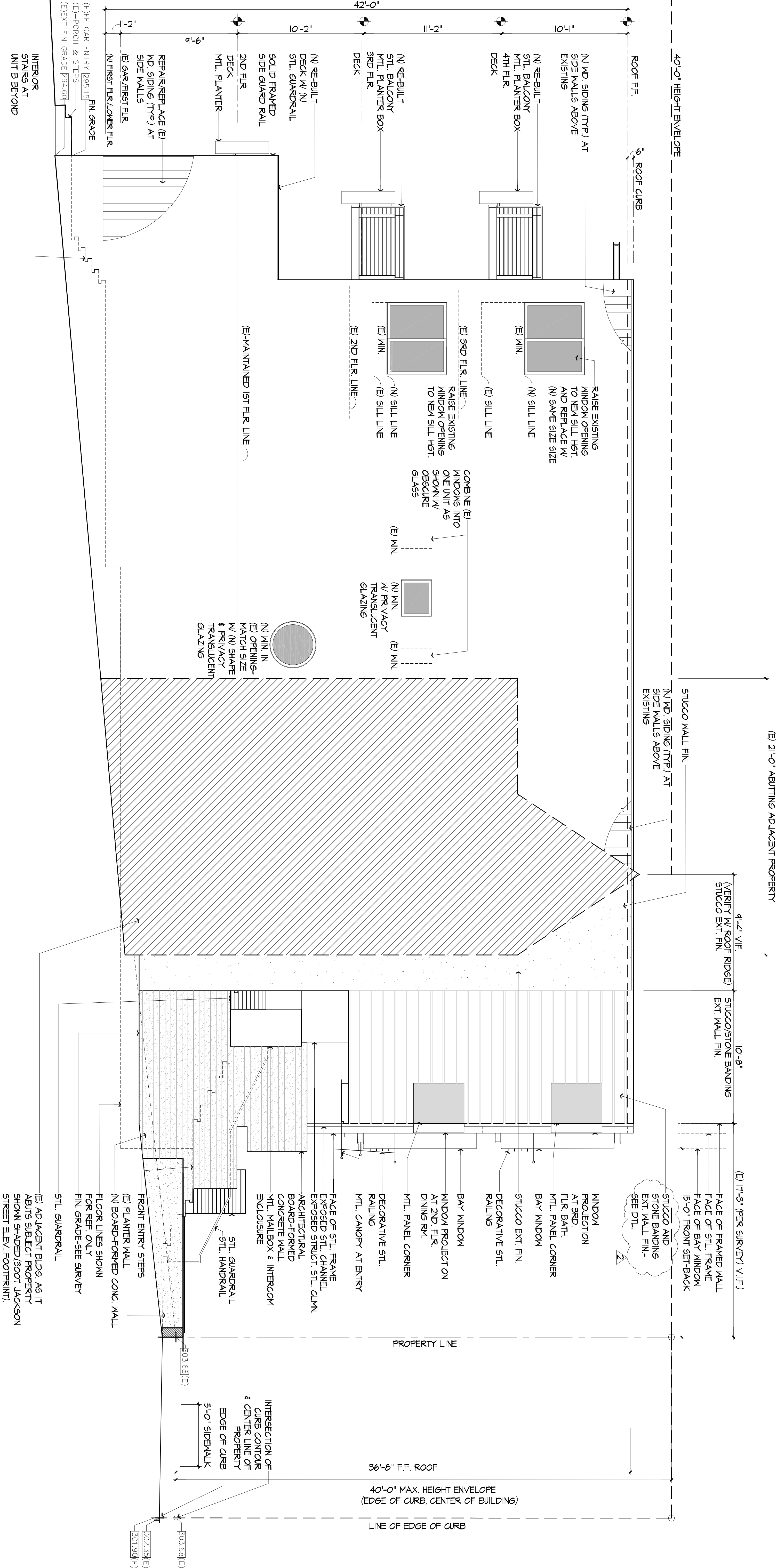
Revisions
△ 9.9.13
△ Planning rev. comments 2.5.14

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Scale 1/4" = 1'-0"

Sheet

A3.1

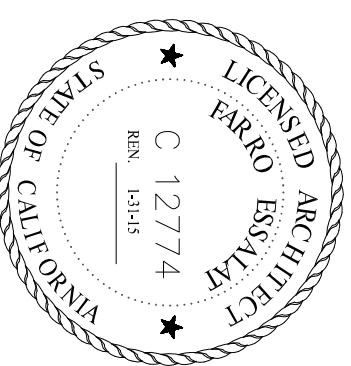


EAST ELEVATION

SCALE 1/4" = 1'-0"

A
A3.1

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arkitype@essalatarchitects.com



Project

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Block/Lot: 0982/037-038

Sheet Title
Proposed
Bldg. Elev.
West

Job No	248
Drawn	KS
Date	09-9-13

Revisions

2.2.15

→ 3

5

70

Scale 1/4" = 1'-0"

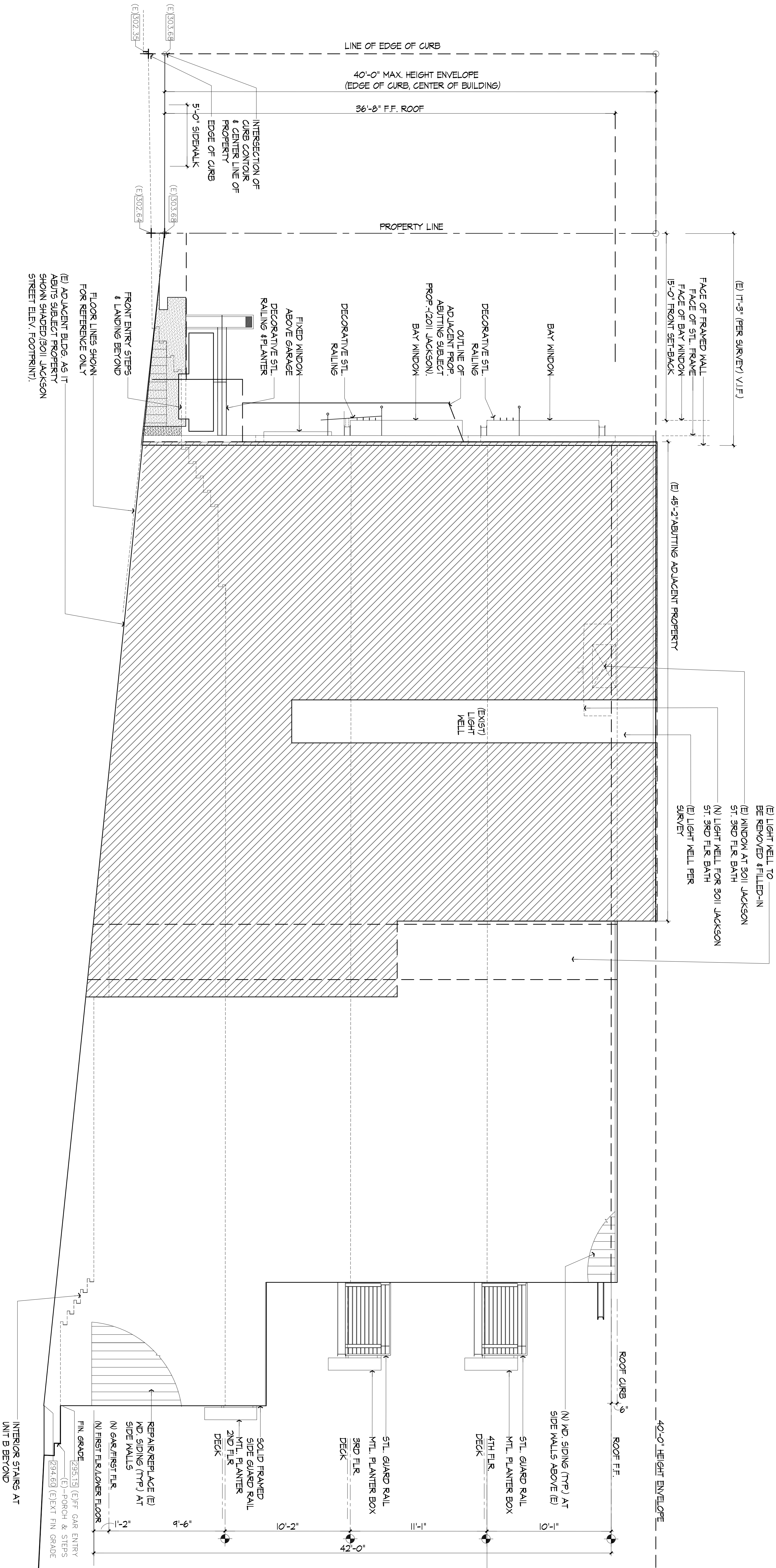
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A3.2

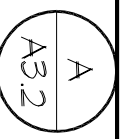
WEST ELEVATION

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SCALE 1/4" = 1'-0"





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Residence**

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
**Existing East
Window
Elevation Footprin
(3011 Jackson St.)**

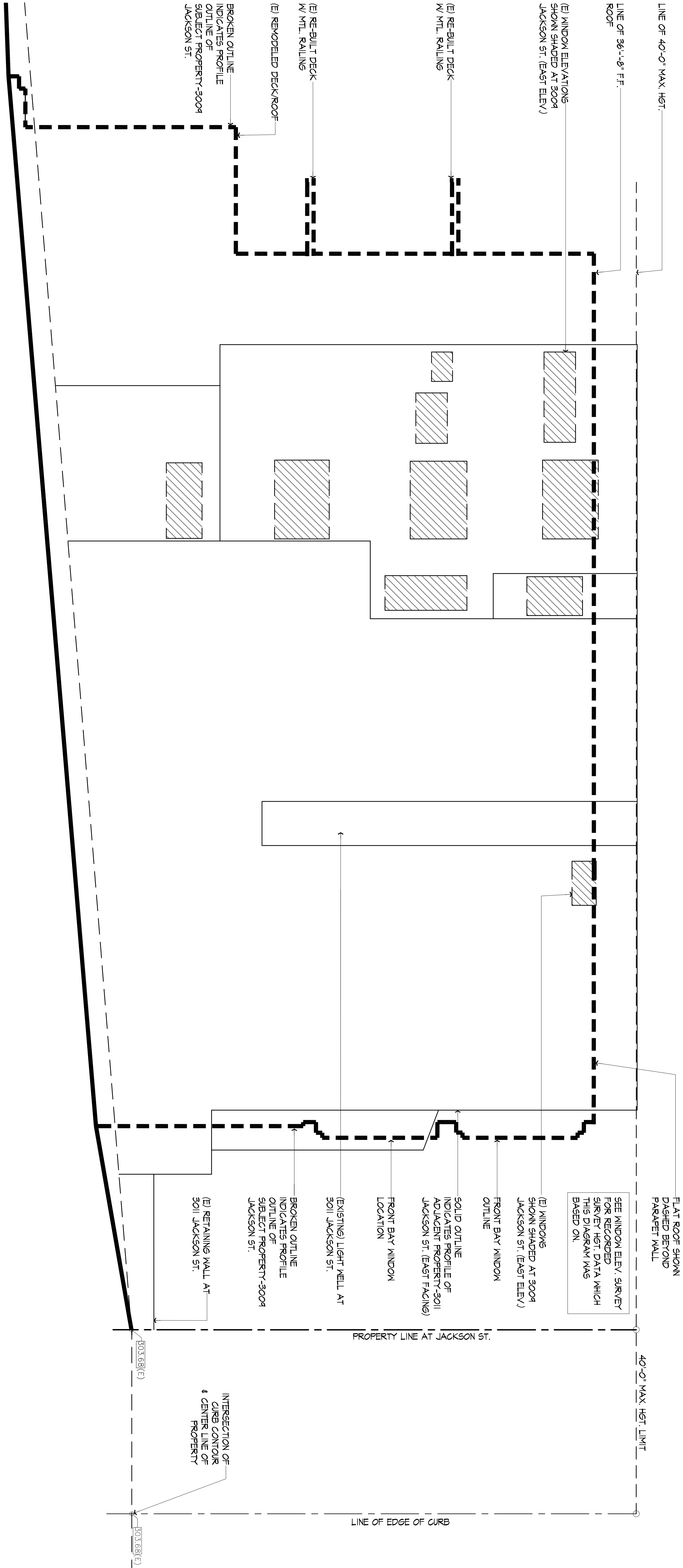
Job No	248
Drawn	KS
Date	09-9-13

Revisions	
△ 9.9.13	
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Scale 1/4" = 1'-0"

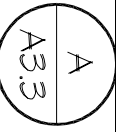
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A3.3



EXISTING EAST WINDOW ELEVATION FOOT PRINT (3011 JACKSON ST.)

SCALE 1/4" = 1'-0"





Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Existing West
Window
Elevation Footprin
(3009 Jackson St.)

Job No	248
Drawn	KS
Date	09-9-13

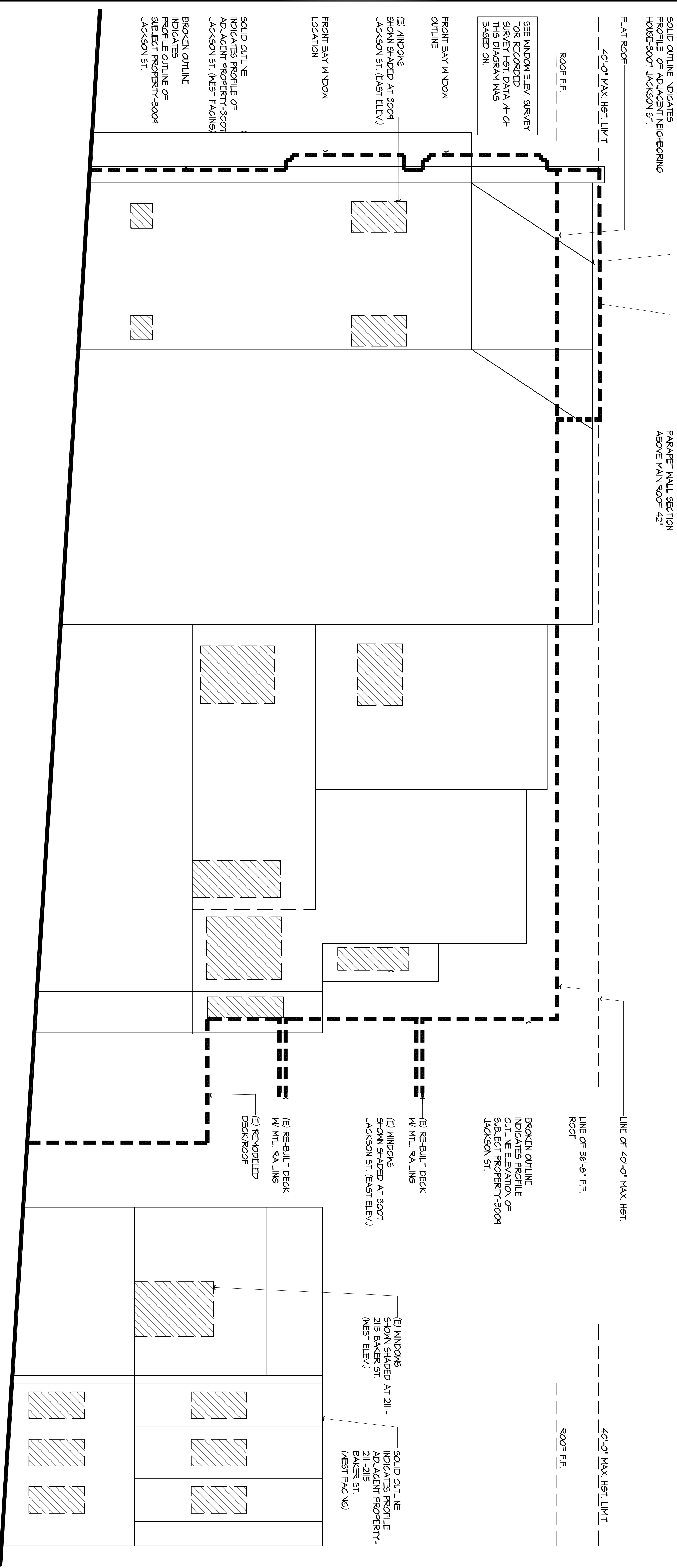
Revisions
△ 9.9.13

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Scale	1/4" = 1'-0"
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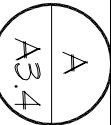
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A3.4



EXISTING WEST WINDOW ELEVATION FOOT PRINT (3004 JACKSON ST.)

SCALE 1/4" = 1'-0"





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arktype@essalatchitects.com



Project
Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Building Height-
Diagram
Calculations
Plan & Elevation

Job No	248
Drawn	KS
Date	09-9-13

Revisions

△ 9.9.13

△

△

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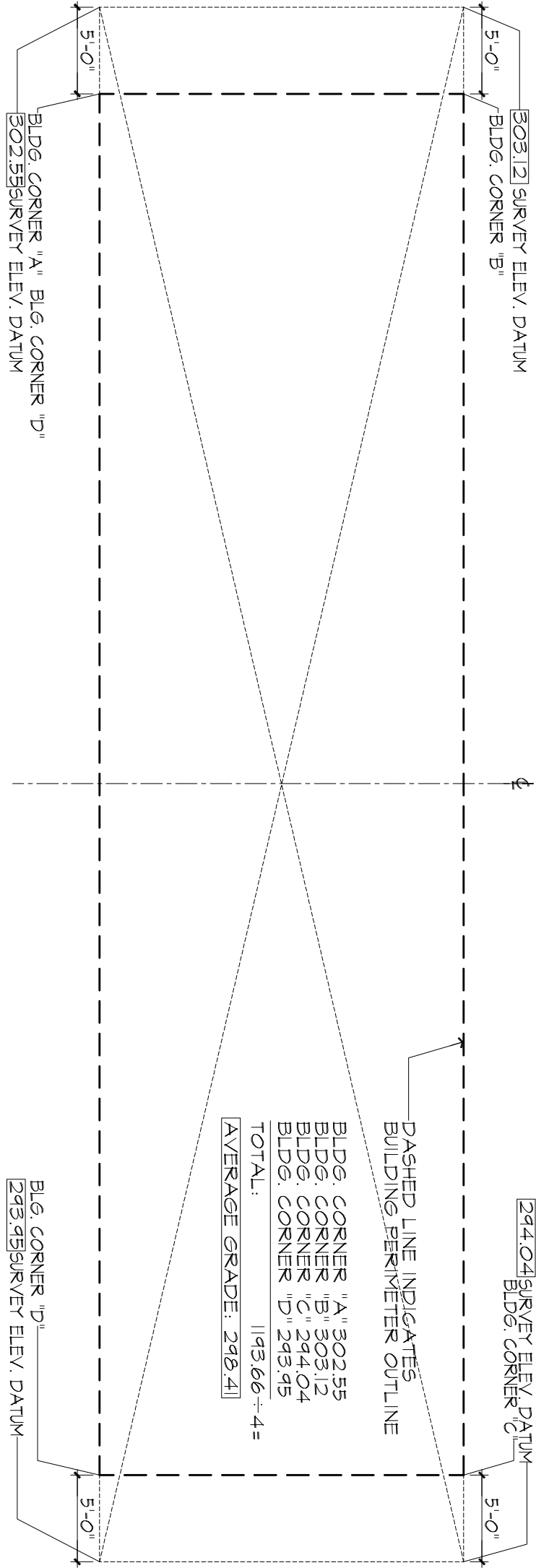
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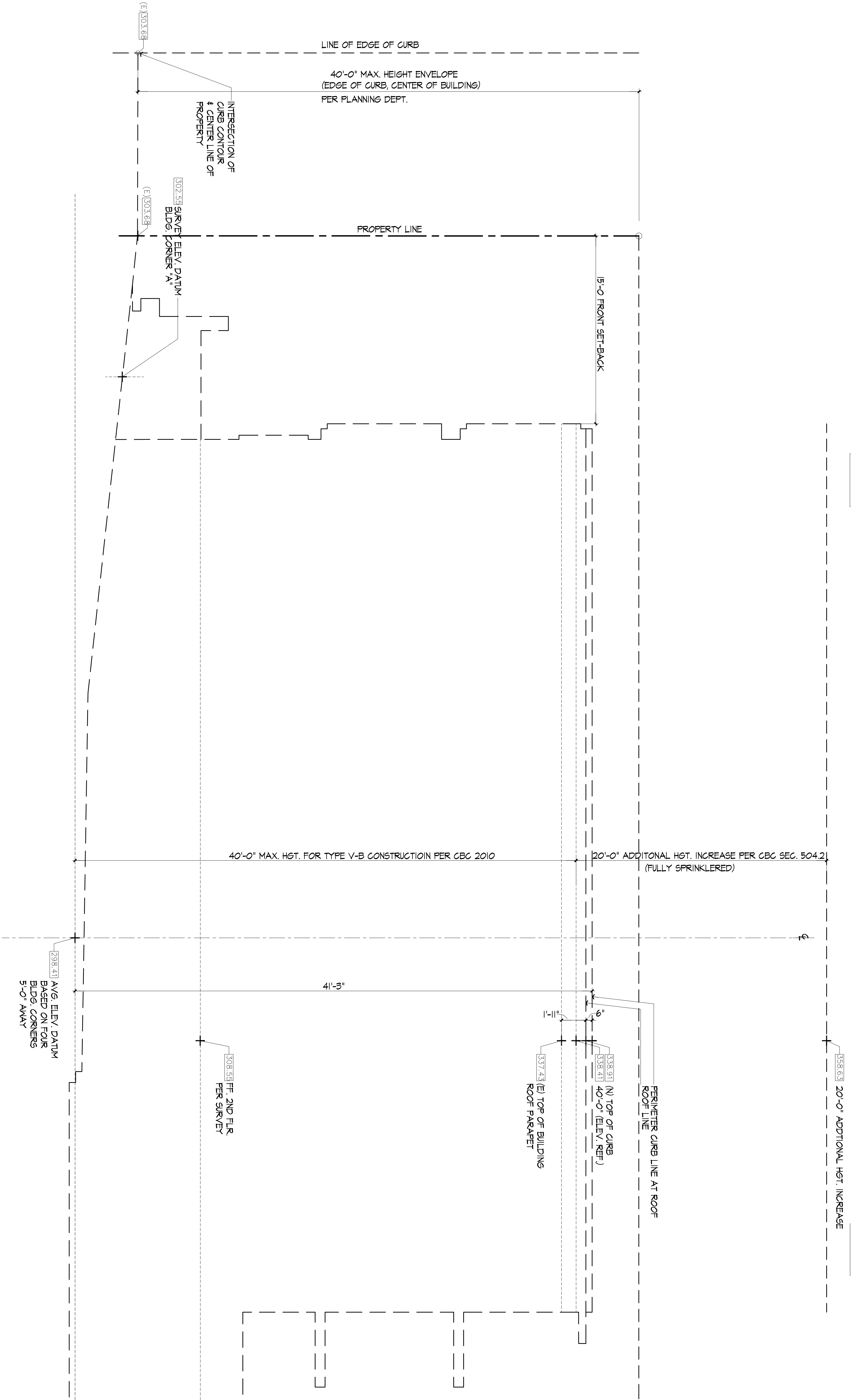
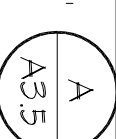
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A3.5



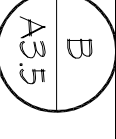
AVERAGE PLANE HEIGHT CALCULATION DIAGRAM PLAN

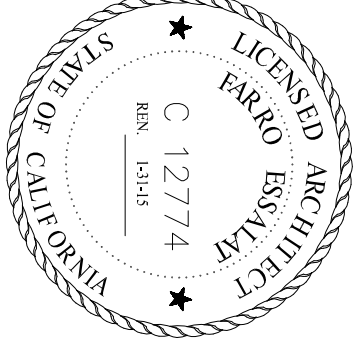
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AVERAGE PLANE HEIGHT CALCULATION DIAGRAM ELEVATION

SCALE 1/4" = 1'-0"





Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Proposed
Bldg. Section A

Job No	248
Drawn	KS
Date	09-9-13

Revisions
△ Planning rev. comments 1.24.13

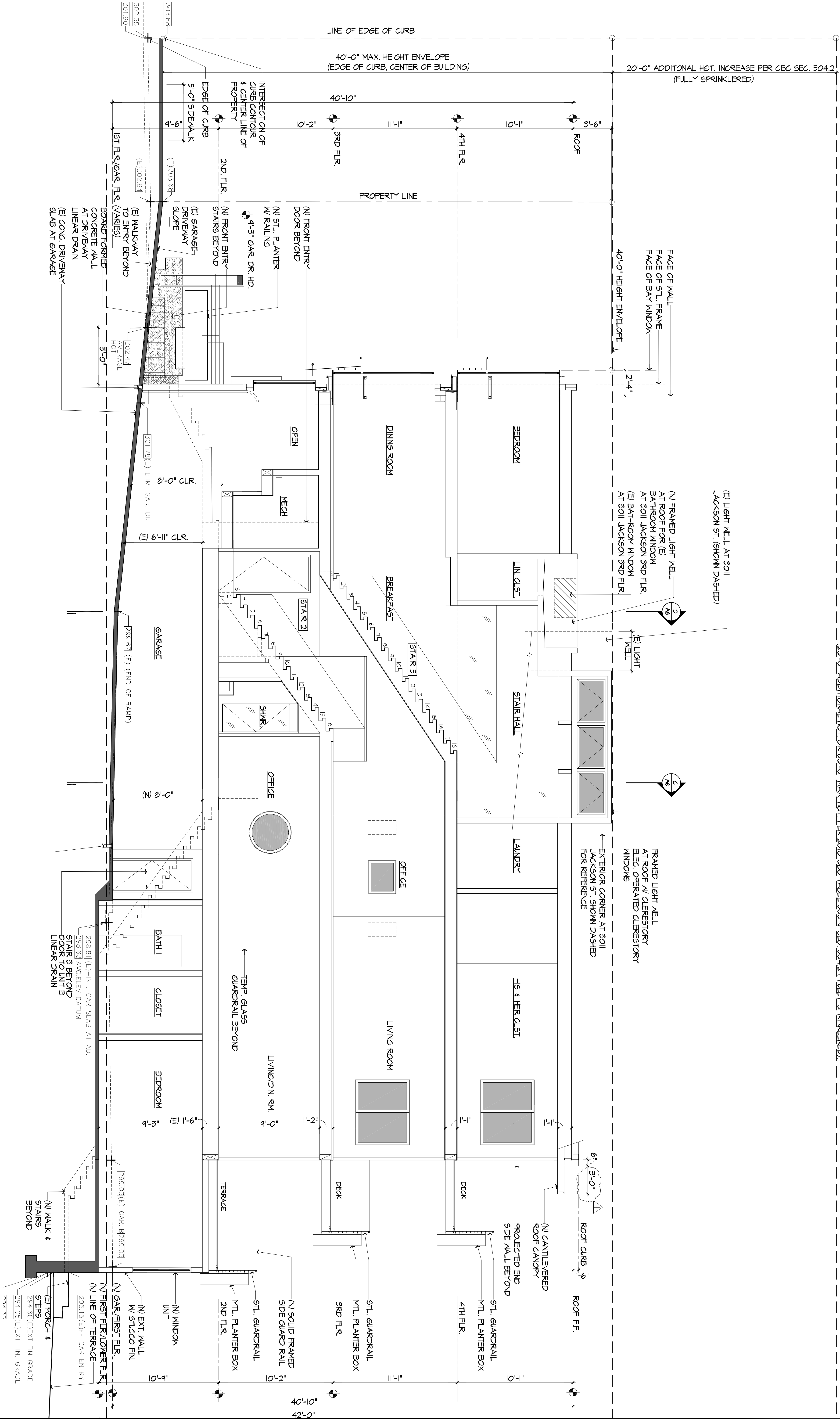
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Scale 1/4" = 1'-0"

Sheet

A4.0

BUILDING SECTION A



(20'-0" ADDITIONAL HGT. OR 60'-0" MAX. HGT. PER 2010 CBC TABLE 503 & SEC. 504.2 (FULLY SPRINKLERED).

SCALE 1/4" = 1'-0"

A
A4.0

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Sheet Title
Proposed
Bldg. Section B

Job No	248
Drawn	KS
Date	09-9-13

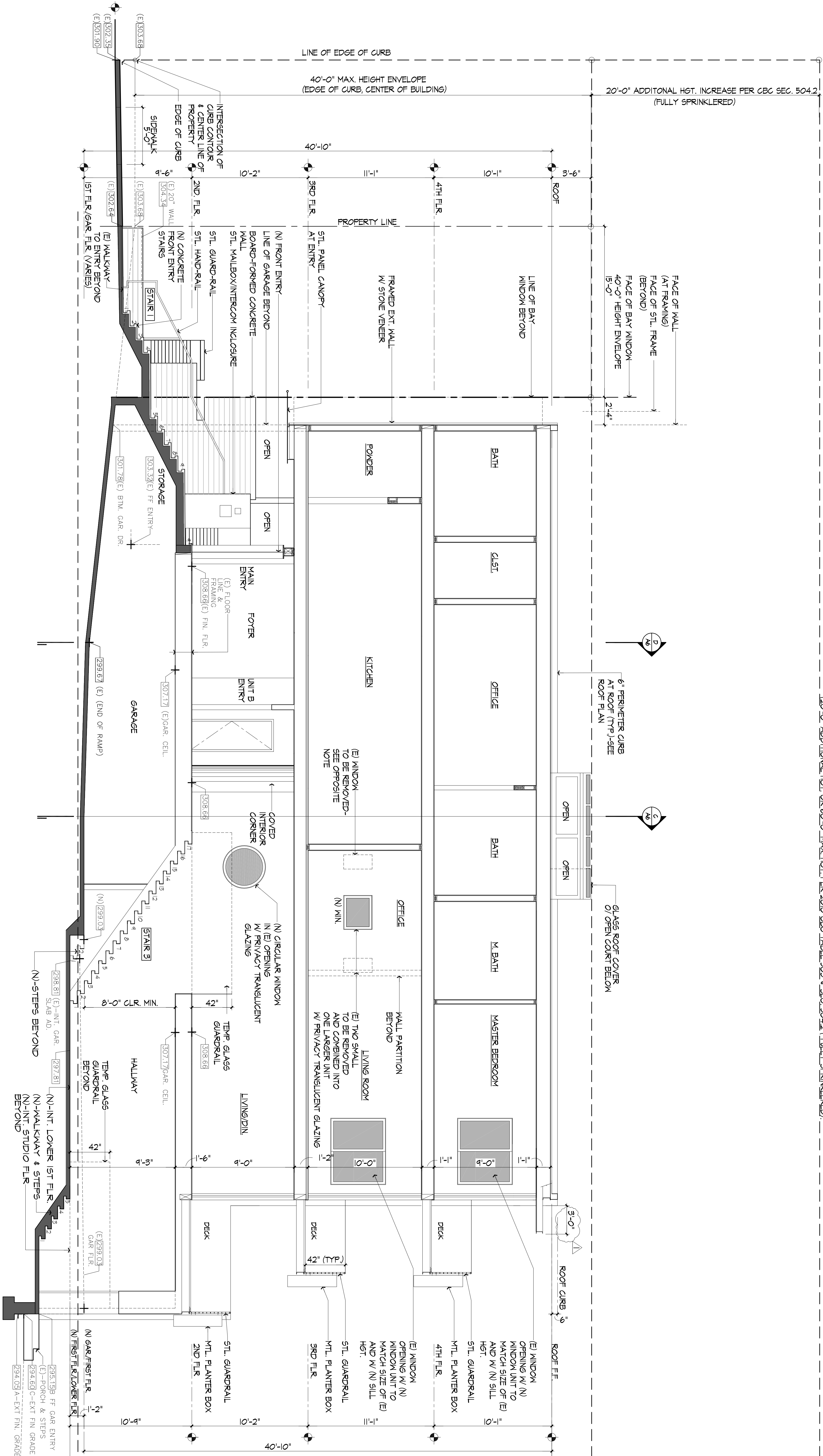
Revisions
△ Planning rev. comments 1.24.14



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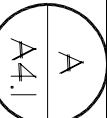
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A4.1



BUILDING SECTION B

SCALE 1/4" = 1'-0"





Project
Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Proposed
Bldg. Section C

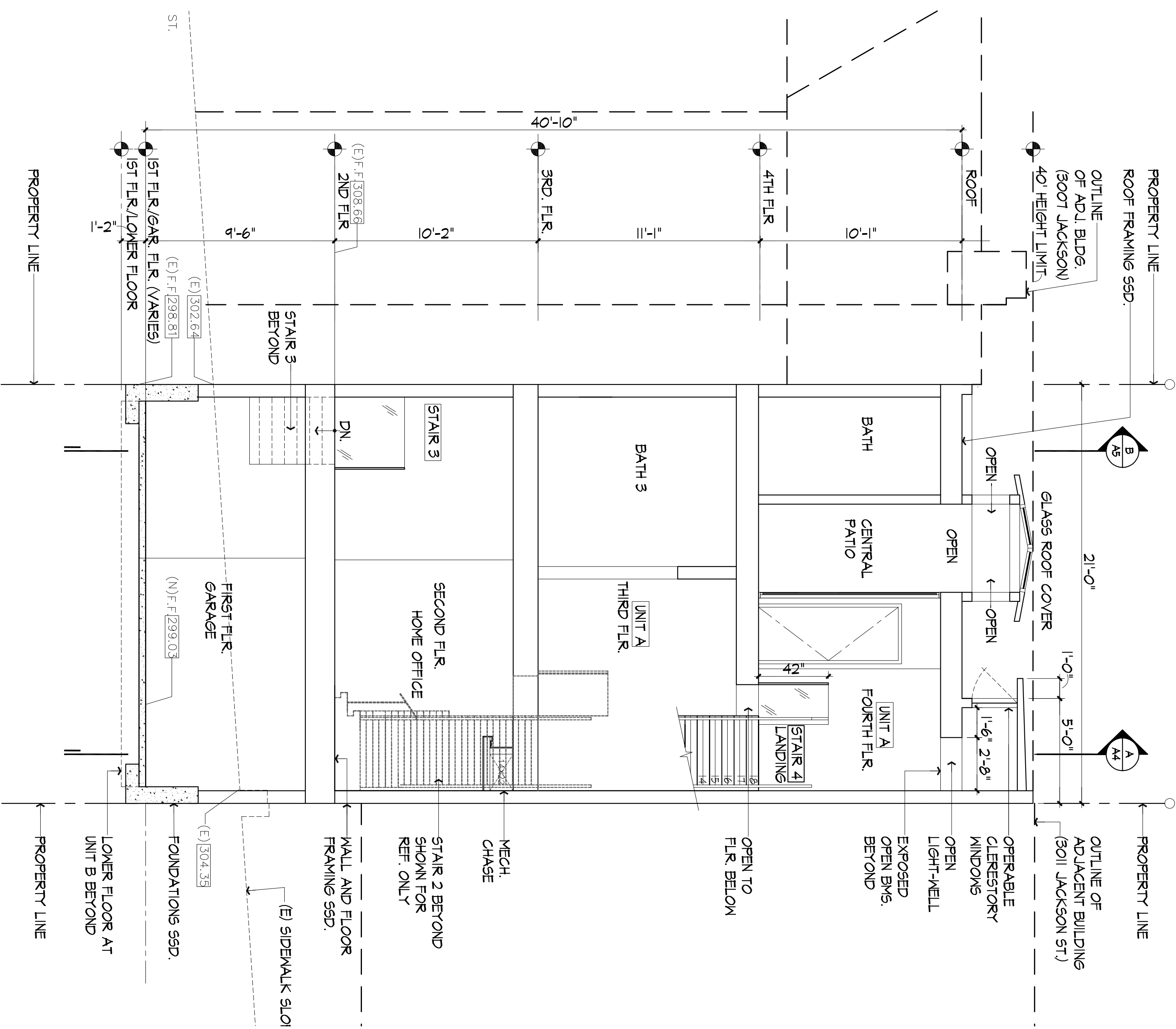
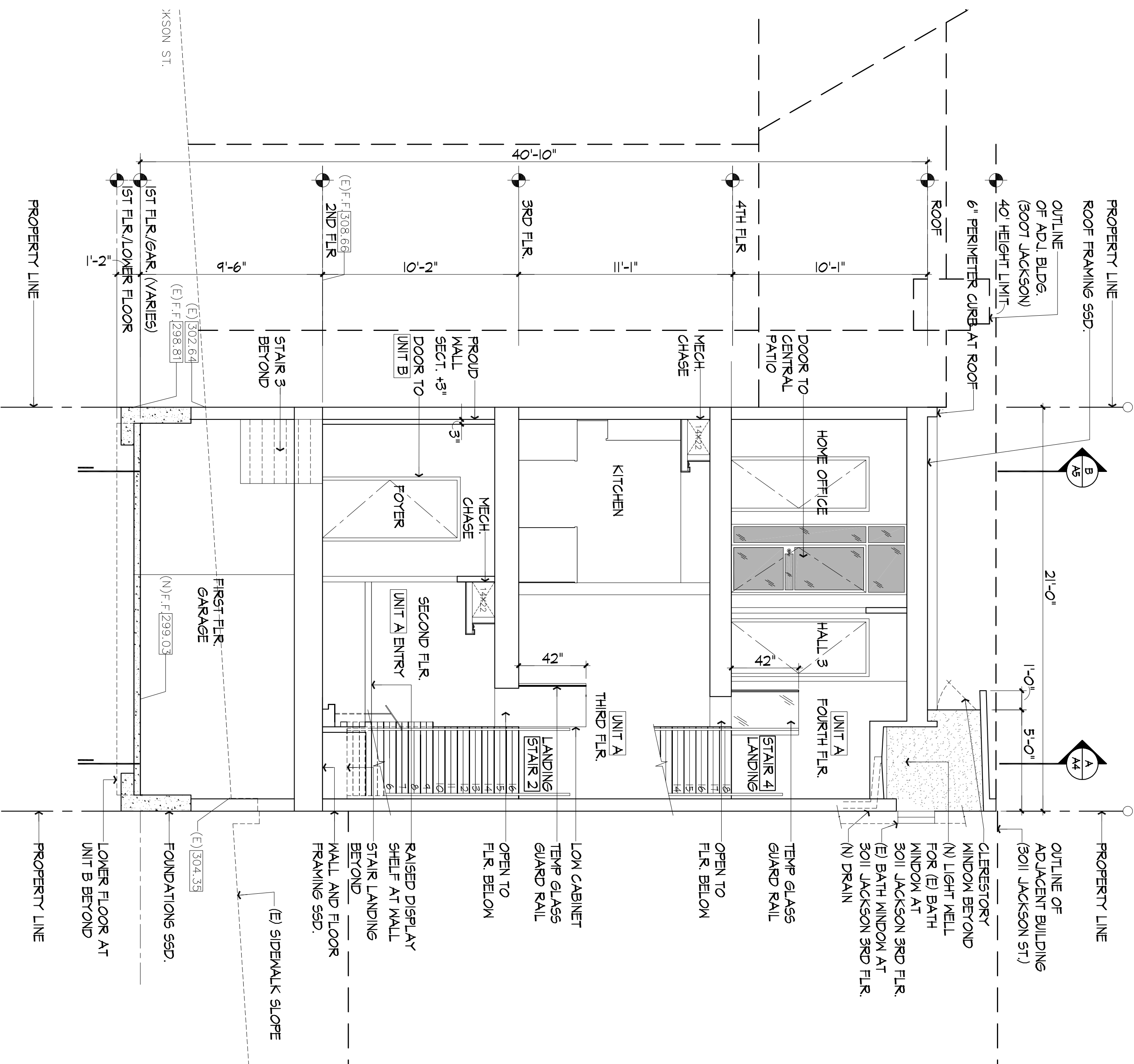
Job No	248
Drawn	KS
Date	09-9-13

Revisions	
△	9.9.13
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Scale 1/4" = 1'-0"

Sheet

A4.2



BUILDING SECTION D

SCALE 1/4" = 1'-0"

B
A4.2

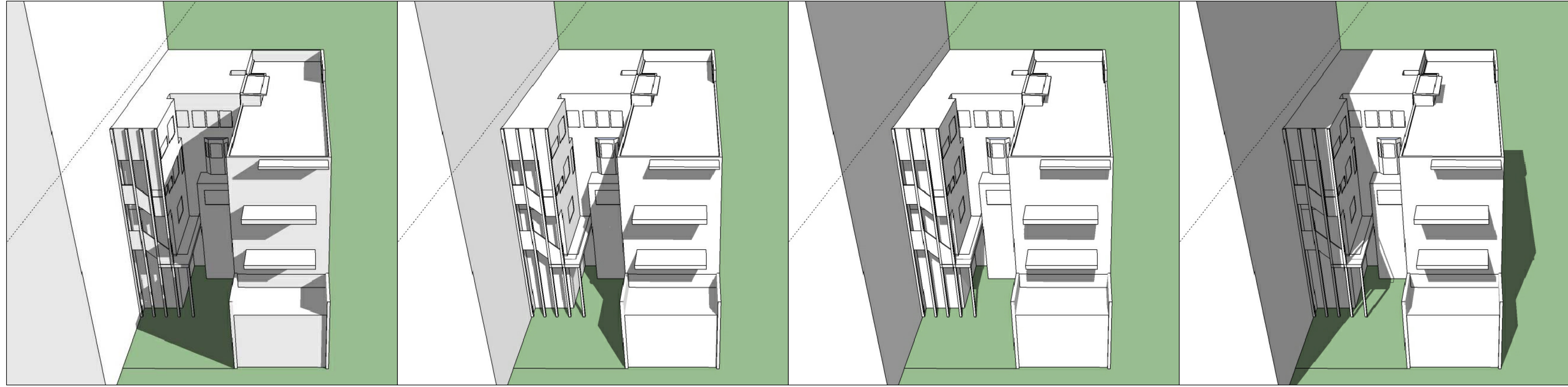
BUILDING SECTION C

SCALE 1/4" = 1'-0"

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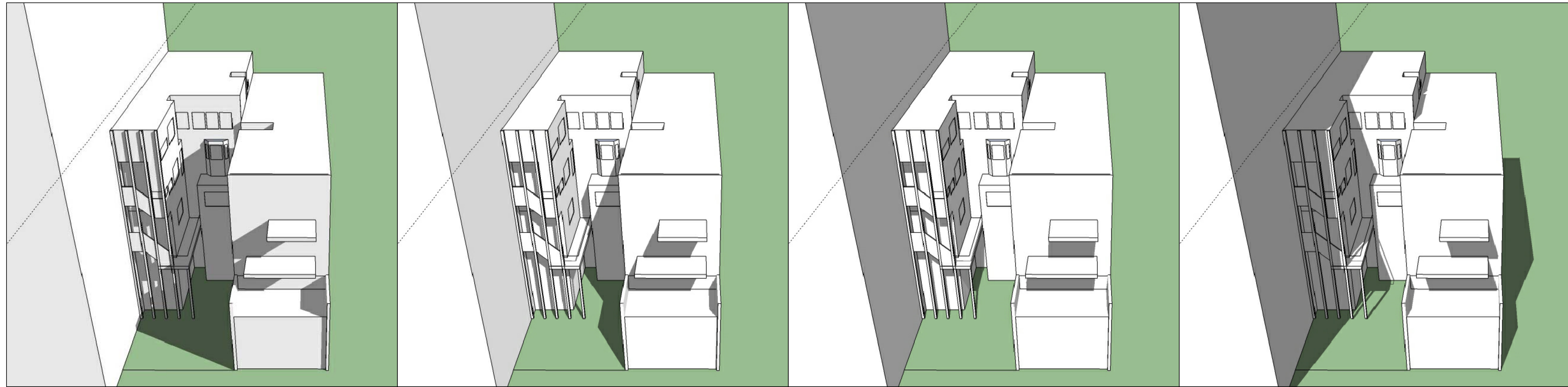
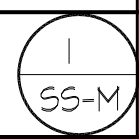
Project
**Beilin/Makagon
Residence**

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038



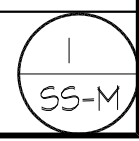
MARCH 21st, 9:00am MARCH 21st, 11:00am MARCH 21st, 12:00pm MARCH 21st, 1:00pm

SHADOW STUDY PROPOSED BUILDING



MARCH 21st, 9:00am MARCH 21st, 11:00am MARCH 21st, 12:00pm MARCH 21st, 1:00pm

SHADOW STUDY EXISTING BUILDING



Sheet Title
**Shadow Study
March**

Job No 248
Drawn KS
Date 09-9-13

Revisions

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Scale 1/4" = 1'-0"

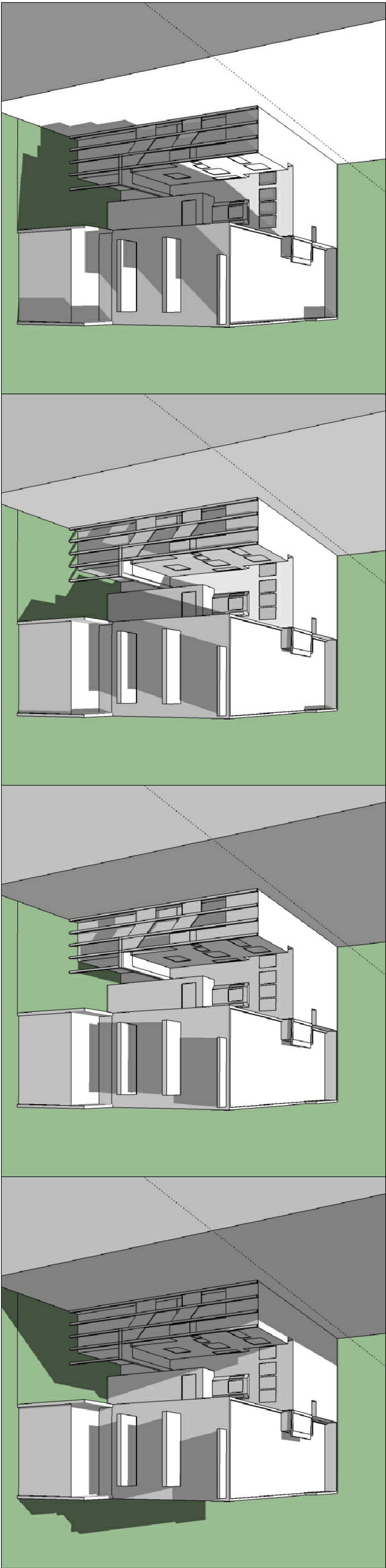
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Project
**Beilin/Makagon
Residence**

3009 Jackson Street
San Francisco, CA 94115

Block/Lot: 0982/037-038



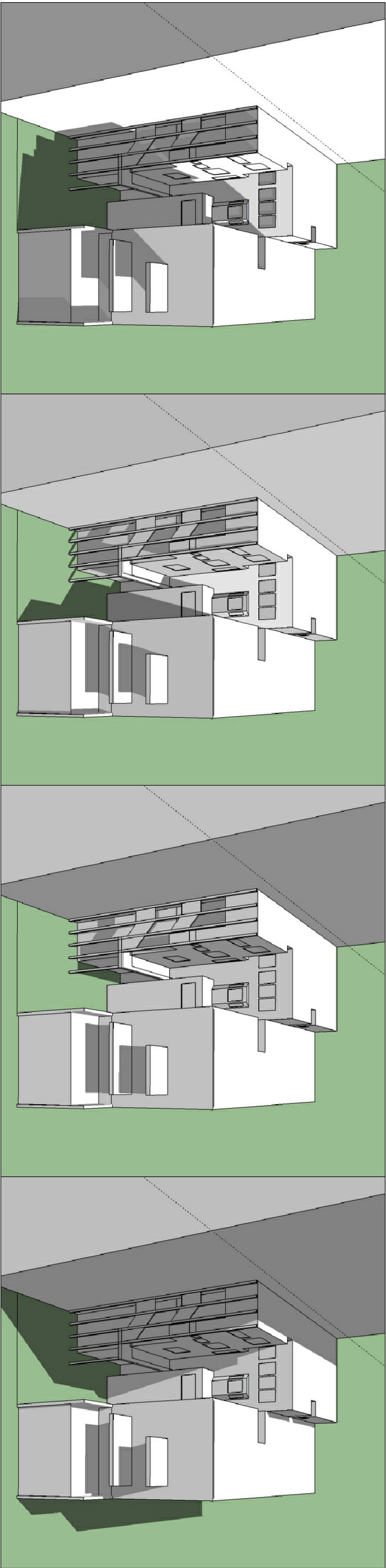
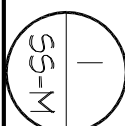
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JUNE 21st, 11:00am

JUNE 21st, 12:00pm

JUNE 21st, 1:00pm

SHADON STUDY PROPOSED BUILDING



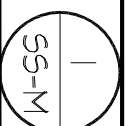
JUNE 21st, 9:00am

JUNE 21st, 11:00am

JUNE 21st, 12:00pm

JUNE 21st, 1:00pm

SHADON STUDY EXISTING BUILDING



Job No	248
Drawn	KS
Date	09-9-13
Revisions	
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Scale 1/4" = 1'-0"

Sheet

A5.B



Project
**Beilim/Makagon
Residence**
3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

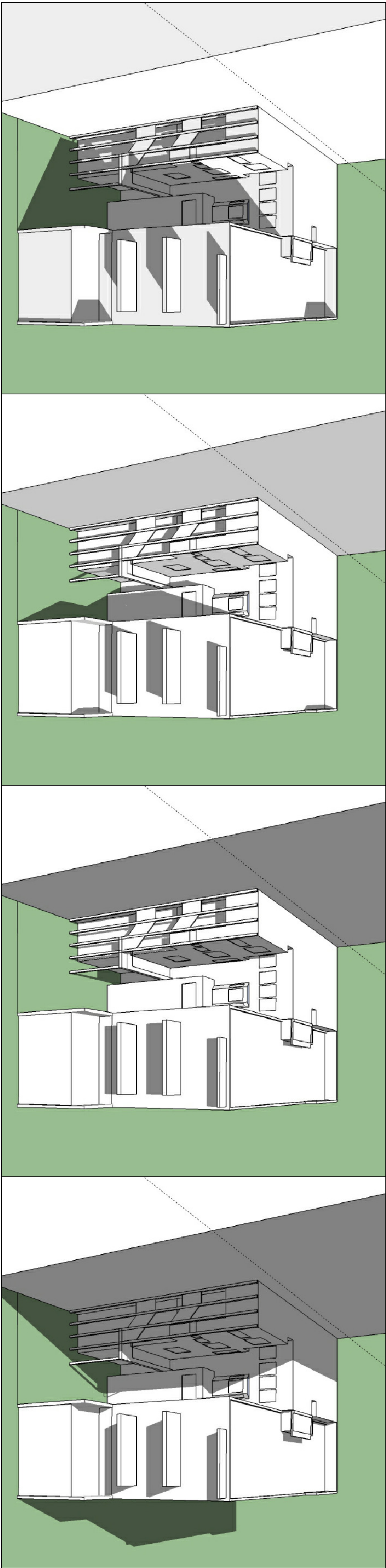
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September**

Job No 248
Drawn KS
Date 09-9-13

Revisions
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Scale 1/4" = 1'-0"
Sheet

A5.C



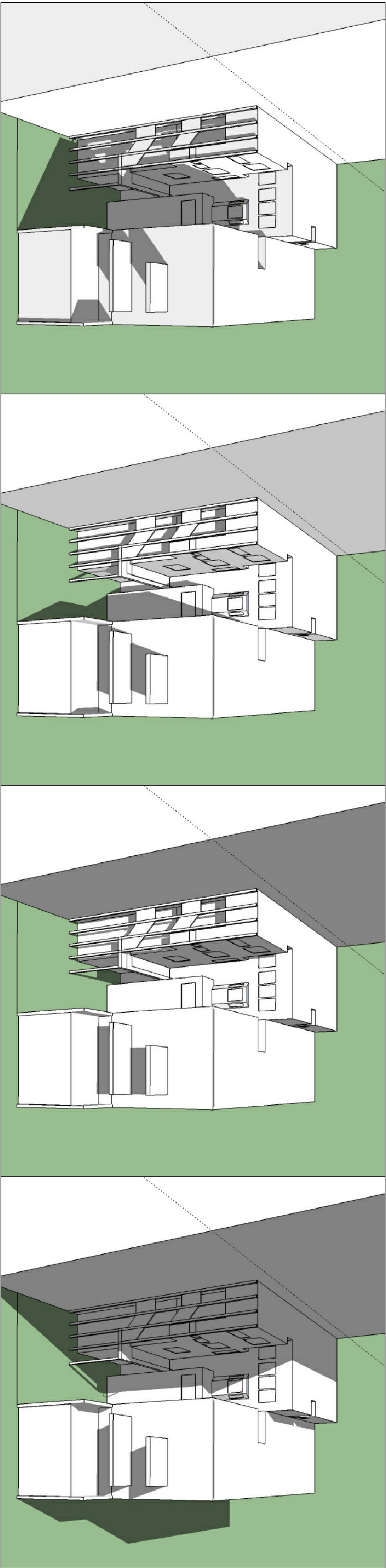
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SEPTEMBER 21st, 11:00am

SEPTEMBER 21st, 12:00pm

SEPTEMBER 21st, 1:00pm

SHADON STUDY PROPOSED BUILDING



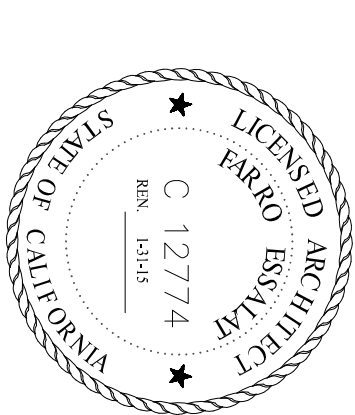
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SEPTEMBER 21st, 12:00pm

SEPTEMBER 21st, 1:00pm

SHADON STUDY EXISTING BUILDING



Project
**Beilin/Makagon
Residence**
3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

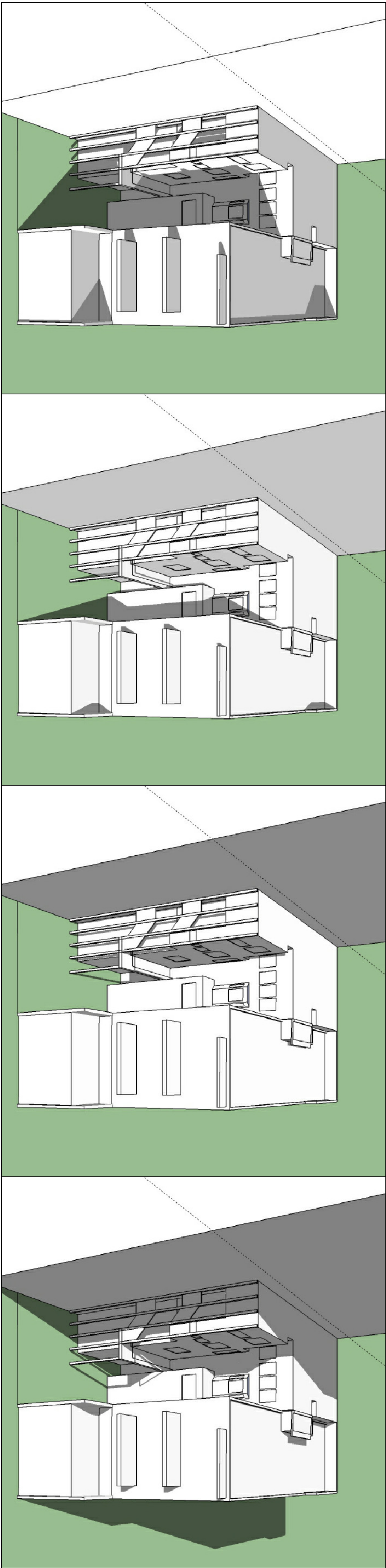
Sheet Title
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December**

Job No	248
Drawn	KS
Date	09-9-13

Revisions
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Scale 1/4" = 1'-0"
Sheet

A5.D



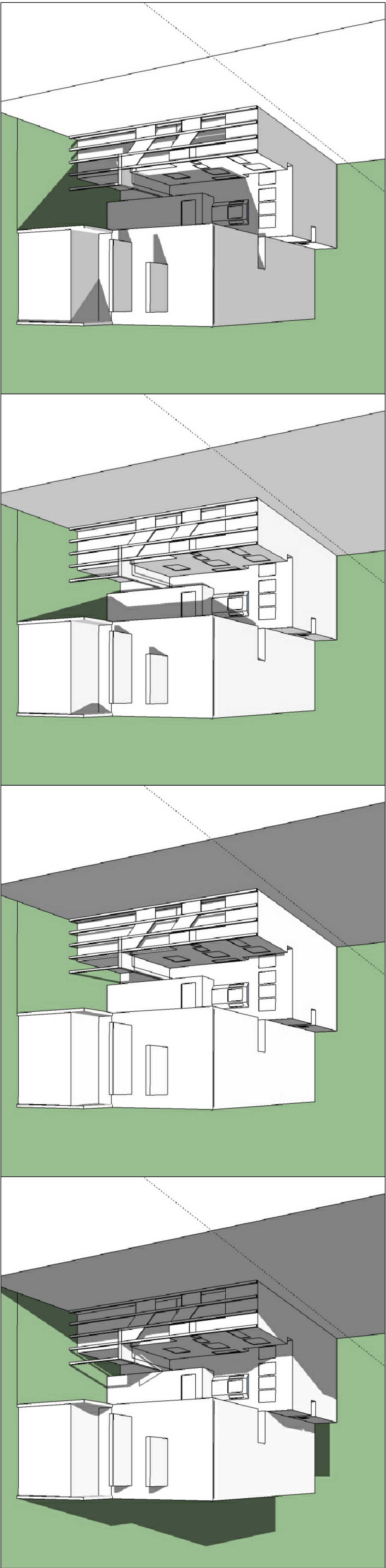
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DECEMBER 21st, 11:00am

DECEMBER 21st, 12:00pm

DECEMBER 21st, 1:00pm

SHADON STUDY PROPOSED BUILDING



DECEMBER 21st, 9:00am

DECEMBER 21st, 11:00am

DECEMBER 21st, 12:00pm

DECEMBER 21st, 1:00pm

SHADON STUDY EXISTING BUILDING



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arktype@essalatarchitects.com



Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Existing
First Floor/
Garage

Job No	248
Drawn	KS
Date	09-9-13

Revisions

△ 9/9/13

△

△

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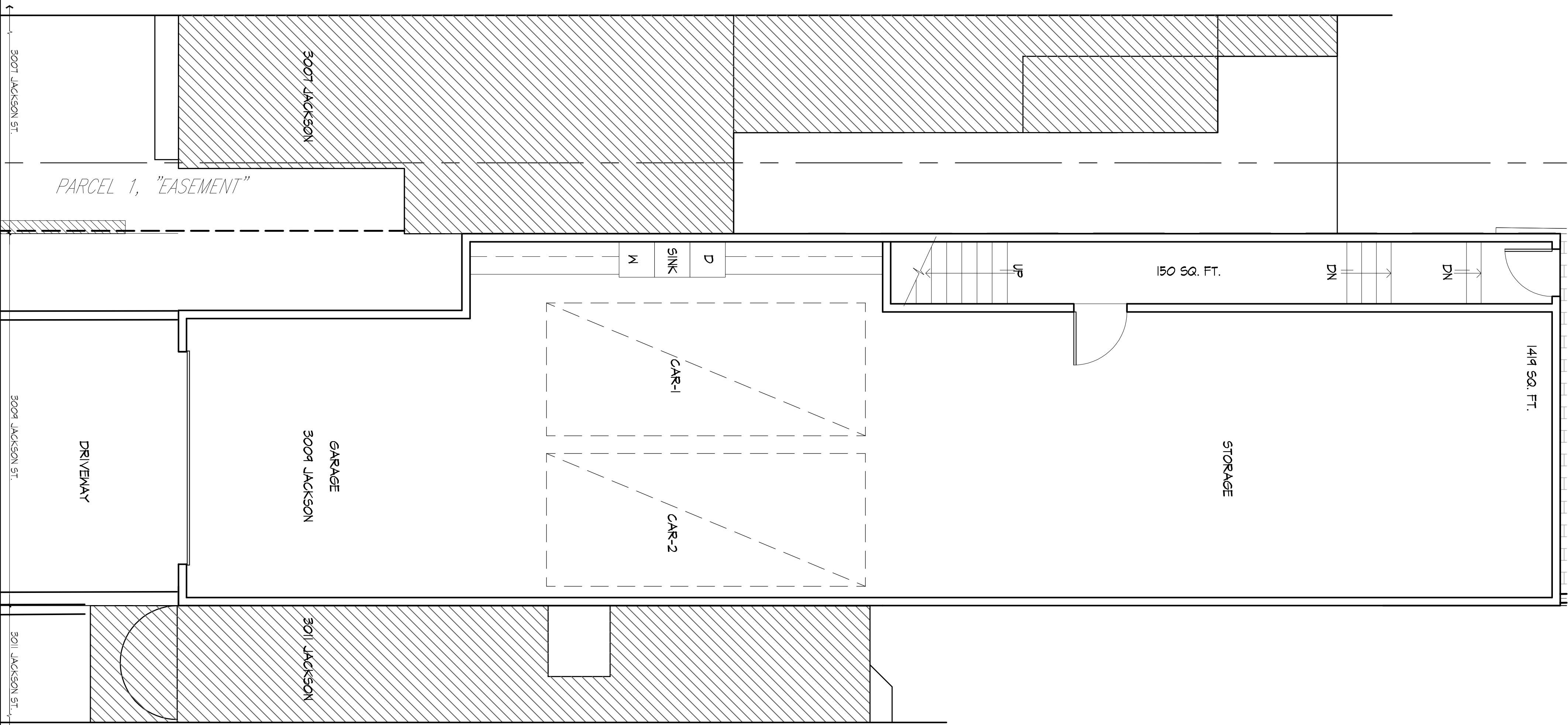
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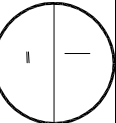
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E1.0



EXISTING FIRST FLOOR/GARAGE PLAN

SCALE 1/4" = 1'-0"





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arkitp@essalatarchitects.com



Project
**Beilin/Makagon
Residence**

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
(E) Floor Plans:

**Second Floor Plan
Third Floor Plan
Fourth Floor Plan**

Job No 248
Drawn KS
Date 09-9-13

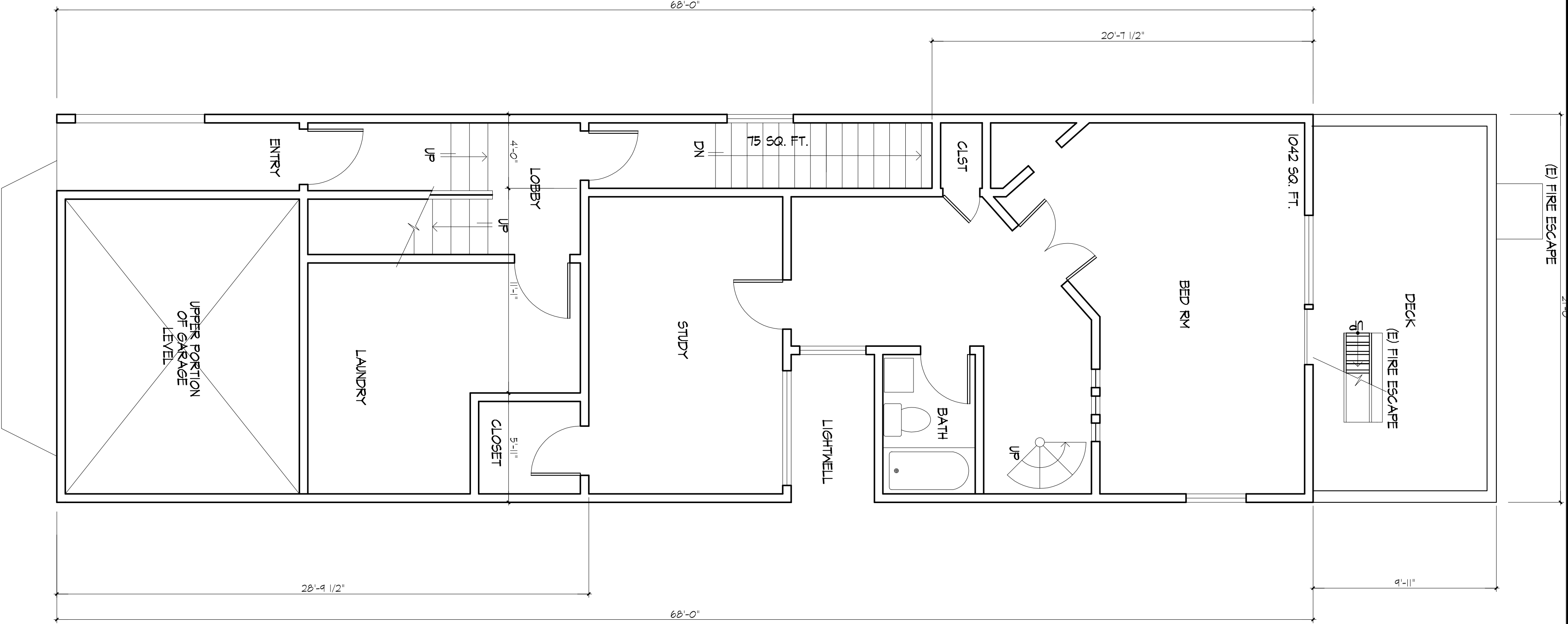
Revisions
△ Planning rev. comments 1.24.14

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Scale 1/4" = 1'-0"

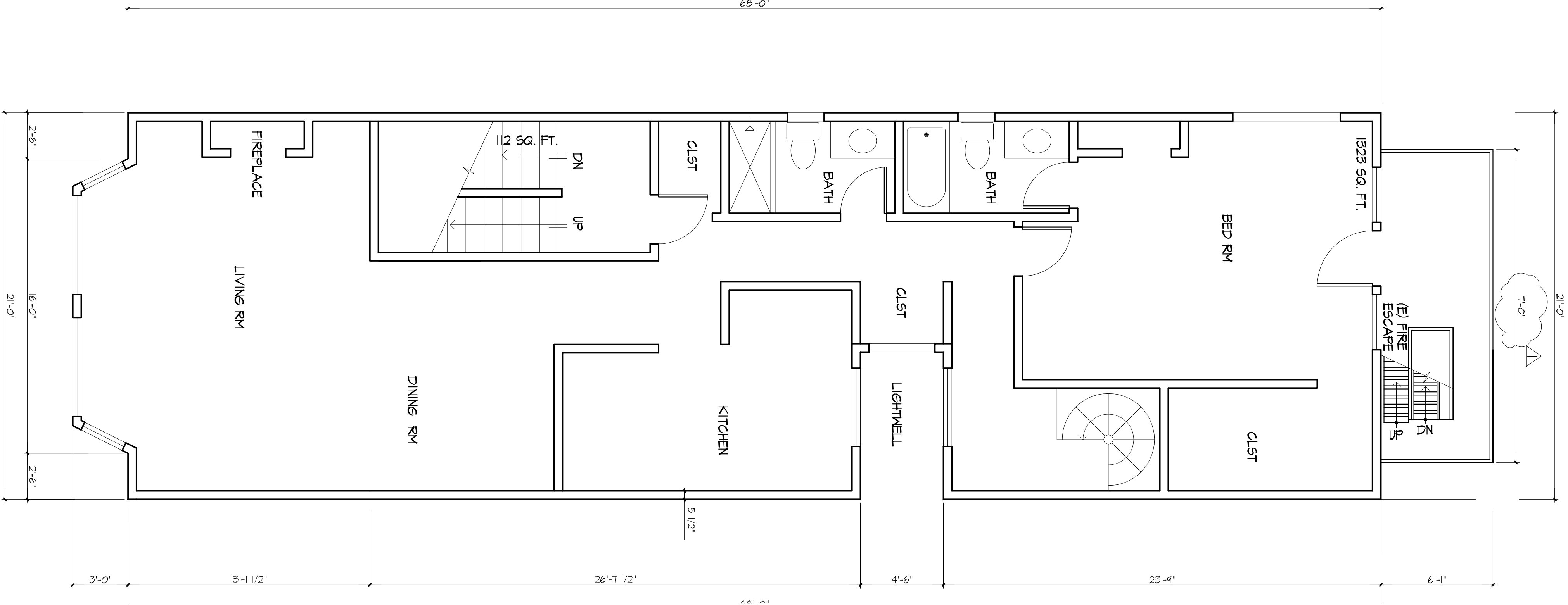
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E2.0



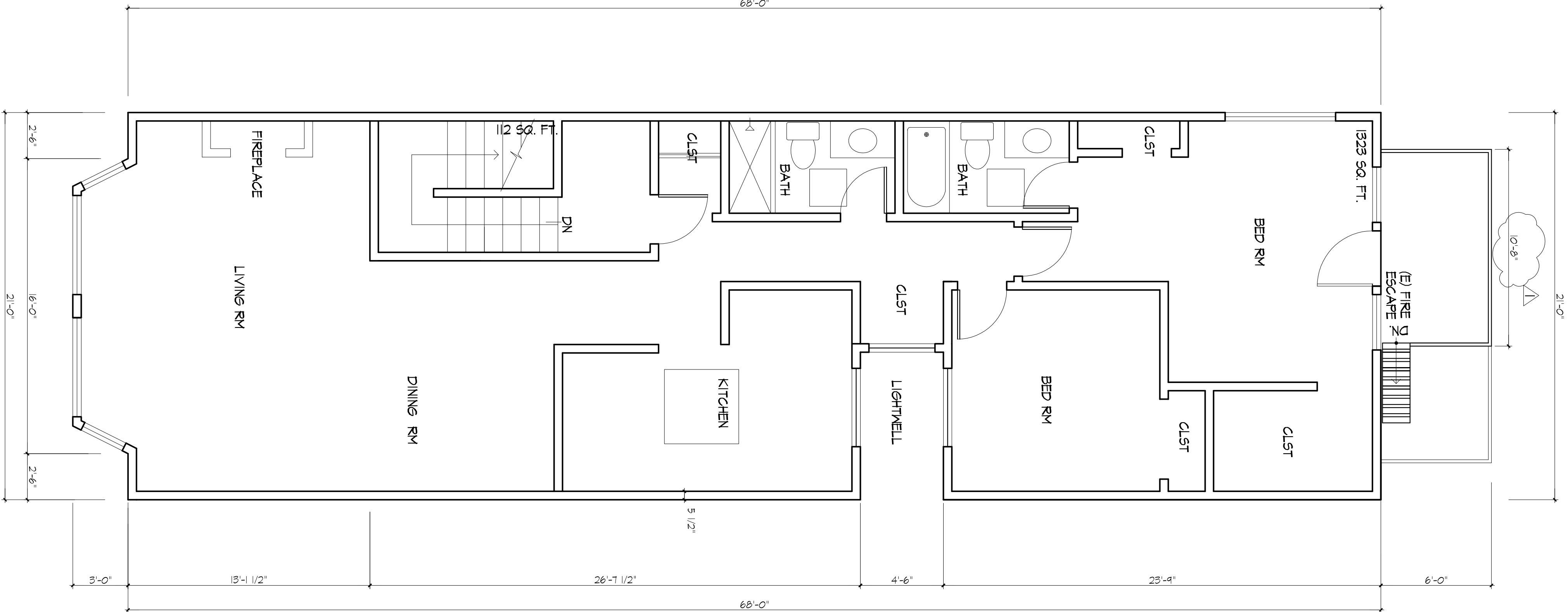
EXISTING 2ND FLOOR PLAN

SCALE 1/4" = 1'-0"



EXISTING 3RD FLOOR PLAN

SCALE 1/4" = 1'-0"



EXISTING 4TH FLOOR PLAN

SCALE 1/4" = 1'-0"

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Project
**Beilim/Makagon
Residence**
3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
**Existing Exterior
Elevations
North Elevation
(Front)
South Elevation
(Rear)**

Job No 248
Drawn KS
Date 09-9-13

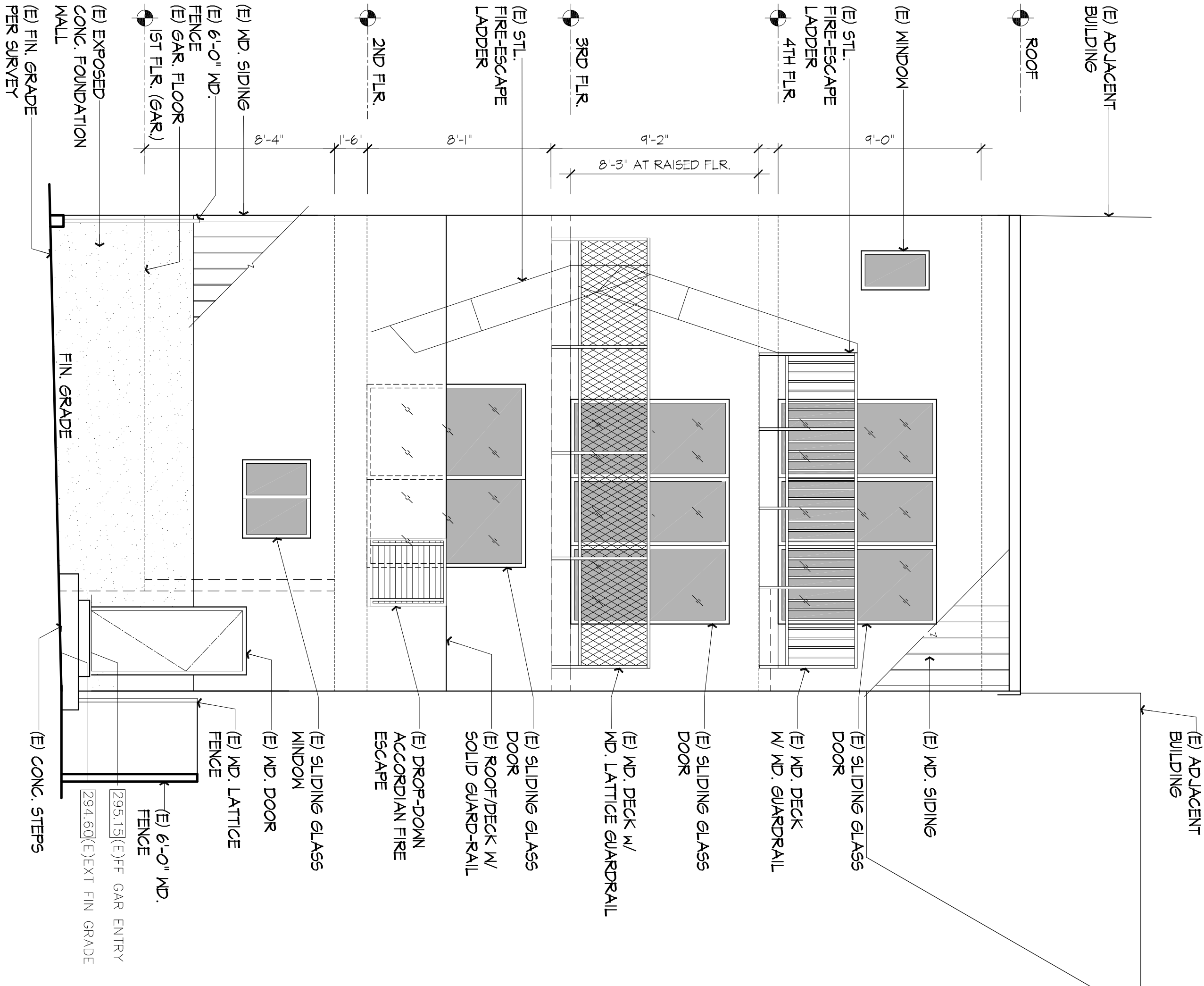
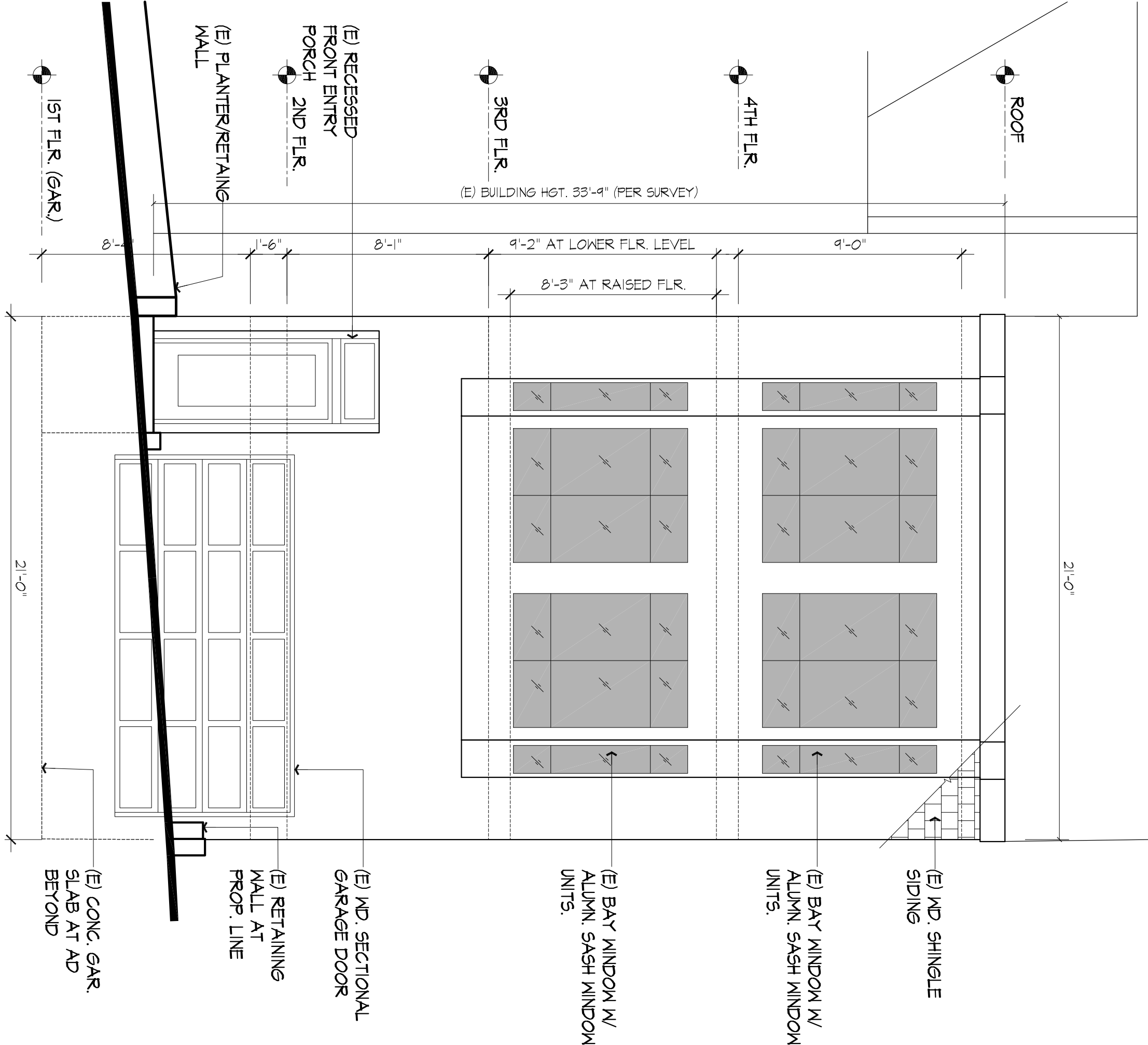
Revisions

- △ 9/9/13
- △
- △
- △
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- △
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- △

Scale 1/4" = 1'-0"

Sheet

E3.0



FRONT ELEVATION

SCALE 1/4" = 1'-0"

REAR ELEVATION

SCALE 1/4" = 1'-0"



Project

Beilim/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
Existing
Building Section

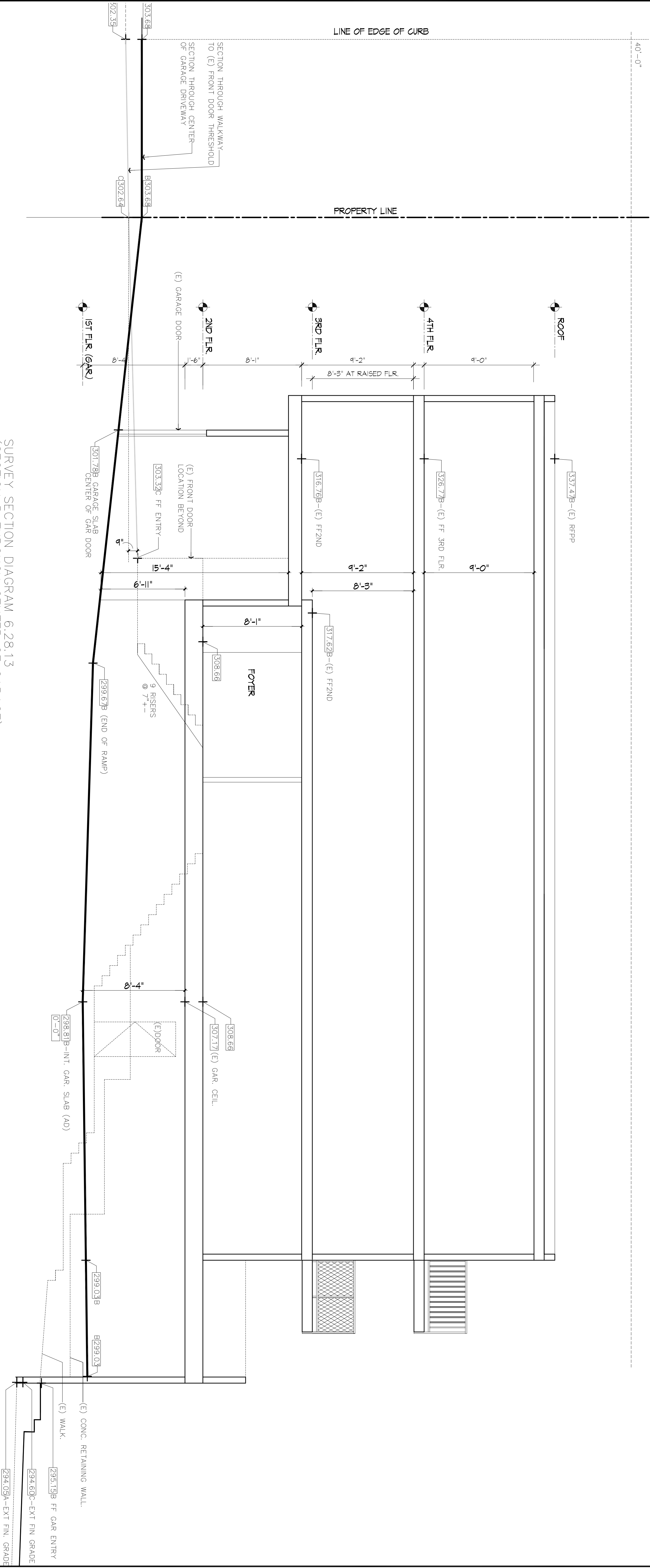
Job No	248
Drawn	KS
Date	09-9-13

Revisions	
△	8/6/13
△	
△	
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Scale 1/4" = 1'-0"

Sheet

E4.0





Project
**Beilin/Makagon
Residence**

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Sheet Title
**Existing
Bldg. Elev.
West**

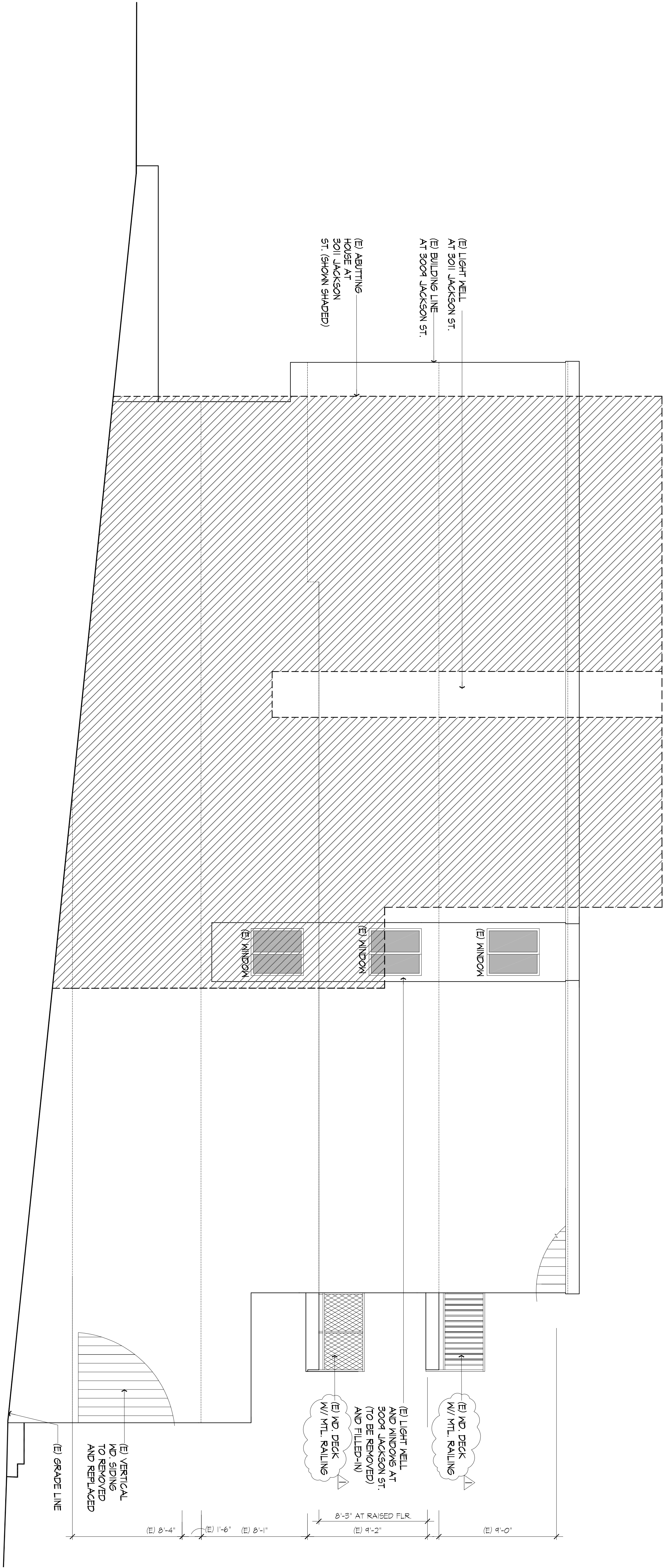
Job No	248
Drawn	KS
Date	09-9-13

Revisions
△ Planning comments rev. 1.24.14
△
△
△
△
△
△
△
△

Scale 1/4" = 1'-0"

Sheet

E5.0



EXISTING BUILDING ELEVATION WEST

SCALE 1/4" = 1'-0"

1
E4.0

Beilin/Makagon
Residence

3009 Jackson Street
San Francisco, CA 94115
Block/Lot: 0982/037-038

Job No	248
Drawn	KS
Date	09-9-13

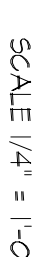
Revisions

- △ Planning comments rev. 1.24.10

Sheet

Scale 1/4" = 1'-0"

E6.0



EXISTING BUILDING ELEVATION EAST

