



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 23, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Usable Open Space Variance)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1029 Page St	Case No.:	2013.1612V
Cross Street(s):	Divisadero & Broderick Street	Building Permit:	TBD
Block / Lot No.:	1237/032	Applicant/Agent:	Anne Forell
Zoning District(s):	RM-1 / 40-X	Telephone:	381-9050
Area Plan:	N/A	E-Mail:	Anne@forellarch.com

PROJECT DESCRIPTION

The project proposes to legalize a second dwelling unit in a noncomplying building partially located within the required rear yard of the subject property. A single-family house and an illegal second dwelling unit occupies the three-story building. A rear yard of 12 feet deep by 19 feet wide is provided and the property's front yard measures approximately 5'-8" feet deep by 9 feet wide.

Planning Code Section 135 requires 300 square feet of common usable open space for the two dwelling units on the lot and requires that any space credited as common usable open space must be at least 15 feet in every horizontal dimension and have a minimum area of 300 square feet. The common usable open space provided in the front and rear yards totals approximately 286 square feet and does not meet the minimum horizontal dimension.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon Lai**

Telephone: **415-575-9087** Mail: sharon.w.lai@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1612V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

- 01 GENERAL NOTES AND CONDITIONS
- 1

The Contractor and/or sub-contractor shall carefully examine the site, drawings and specifications to obtain first-hand knowledge of all conditions. Any discrepancies and/or conditions needing clarification shall be reported to the Owner and the Architect prior to beginning work. No allowance will be given for failure to comply with the above or conditions which can be determined by examining the site, drawings, or specifications.
- 2

Drawings and specifications are intended for assistance and guidance. Exact dimensions and clearances shall be verified by the contractor. The Contractor shall immediately notify the Architect of any discrepancies prior to construction layout.
- 3

Do not scale the drawings. All dimensions specified govern. Dimensions are nominal and are to the face of the objects unless specifically noted otherwise.
- 4

No allowance will be given to the Contractor or any sub-contractors for changes resulting from failure to comply with 01.01, 01.02, and 01.03 above.
- 5

The Architect is not responsible for the performance of the Contractor or sub-contractors, their errors or omissions, nor the safety in, on or about the job site.
- 6

All construction, fabrication and installation shall conform to the regiments of latest adopted editions of the UBC, UMC, UPC, CBC, WIC, NEC, and any federal, state, and local codes, regulations, and ordinances of the governing agency having jurisdiction over the Project. Such applicable codes, regulations, and ordinances are those which are in effect at the time permit application for the Project is filed.
- 7

All Contractors and sub-contractors shall perform all work on this Project in compliance with the California Occupational Safety and Health Act. Any non-conforming items found or noted shall be brought to the attention of the Architect immediately.
- 8

The Architect shall be immediately notified in writing by the General Contractor of any discrepancies between these documents and any applicable codes.
- 9

Each sub-contractor is considered a specialist in his respective field/trade and shall (prior to submission of bid or performance of work) notify the General Contractor of any work called out in the drawings or specifications which can not be fully guaranteed or constructed as designed or detailed. The General Contractor will notify the Architect in writing, immediately.
- 10

Where construction details are not shown or noted for any part of the Work, details shall be the same as for other similar first class work for the trade involved. The Architect shall be immediately notified in writing by the General Contractor of any alternate, non-standard, or untested method(s) proposed. Contractor and applicable sub-contractors are responsible for appropriate hook-up of all utilities required to support the Work, including temporary and final hook-ups.
- 12

Trade names and manufacturers referred to are primarily to establish quality standards and character of materials. Substitutions and alternatives may be permitted when approved by the Architect.
- 13

Where the word "provide" or "furnish" is used, it shall mean that such item of service referred to shall be furnished and installed or that the Contractor shall furnished an alternative for approval prior to purchase, fabrication, or construction.
- 15

Miscellaneous items of work and materials necessary to complete the Project, whether or not mentioned or described in these specifications and allied documents, shall be provided.
- 16

It is the responsibility of the General Contractor and all sub-contractors to order materials, equipment, etc., sufficiently in advance to assure timely construction or installation. No allowance will be given for failure to comply with this requirement.
- 17

Contractors and sub-contractors shall be responsible for respective materials, equipment, etc., delivered to site. All materials shall be securely stored and kept dry before installation.
- 18

Contractor is responsible for site and structure(s) clean-up, unless otherwise agreed in writing.
- 19

All materials and finishes are to be new and free of defects or damage. Project plan check fees and initial permit fees are the responsibility of the Owner. Subsequent permits, tests, and inspections are the responsibility of the Contractor.
- 20

All significant construction changes, alterations or deviations from the Project construction documents shall be immediately reported to the Architect by the General Contractor. Such revisions are those which significantly alter the design, structure or utilities as detailed and specified among the documents. The General Contractor will record such items on a set of record drawings and submit such to Architect.
- 21

Where shop drawings are requested, there shall be submitted to the Architect copies for the Architect's record and for the Owner's record. By approving and submitting shop drawings and samples, the Contractor thereby represents that he has determined and verified all field measurements, field construction criteria, materials, catalog numbers and similar data, or will do so, and that he has checked and coordinated each shop drawing and sample with the requirements of the work and of the contract documents.
- 22

Before commencing with any work, the Contractor shall provide the owner with current insurance certificates for workman's compensation, general liability, bodily injury and property damage.

A. The liability insurance required for all contractors/sub-contractors shall be written for not less than the limits specified below, or required by the Law, whichever is greater, and shall include contractual liability insurance.

i. Not less than \$500,000 for bodily injury to or death of one person in one accident, and not less than \$1,000,000 for bodily injury or death of more than one person in one accident.

ii. Property Damage Liability: Automobile of not less than \$250,000 per accident.

iii. Property Damage Liability: (Except automobile) of not less than \$250,000 for each accident. \$250,000 aggregate protection, and \$250,000 aggregate contractual.

B. Work shall not commence under this contract until insurance has been obtained and such insurance has been approved by the Owner.

C. If Contractor, or any sub-contractor, fails to furnish such required insurance, the Owner may secure insurance and retain and deduct the amount of premiums for such insurance from any amounts due under the contract.

D. The Owner will maintain his own liability insurance. The Owner will also maintain property insurance to the full insurable value thereof. Fire insurance for the protection of the Contractor's buildings, materials not otherwise covered by the insurance of the Owner, tools and equipment of the Contractor and all similar items shall be the responsibility of the Contractor and sub-contractors.

23

Contractor shall provide dust control throughout entire construction period consisting of intermittent watering and sprinkling as necessary to lay the dust during construction.

24

Where applicable, Contractor shall furnish and maintain protection fencing and all other required barricades, guardrails, warning signs, steps, lights and all other forms of protection for life, limb, and property as may be necessary and as required by local ordinances including UBC, Chapter 44.

25

The Architect shall have access to the project at all times. Any inferior material or workmanship shall be removed as directed by the Architect and reconstructed to meet the Architect's approval.

26

A copy of the agency approved construction drawings shall be kept at the job site at all times.
-
- 5 AERIAL PHOTO
-
- 4 VICINITY MAP
-
- 3 PHOTO AT FRONT
-
- 2 SIDE ALLEY FROM REAR
-
- 1 SIDE ALLEY FROM FRONT
-
- 3 VICINITY MAP
NOT TO SCALE
-
-
- | SYMBOL LEGEND | |
|---------------|------------------------------------|
| ---- | PLYWOOD SHEAR WALL |
| ===== | NEW WALL |
| ===== | EXISTING WALL |
| - - - - / | ITEM TO BE REMOVED |
| ⑥ | SHEET NOTE |
| 1.1 | DOOR NUMBER |
| ===== | ELEVATION INDICATOR |
| ===== | INTERIOR ELEVATION INDICATOR |
| ===== | SHEET NUMBER |
| ① | SECTION INDICATOR |
| ① A6 | SECTION IDENTIFICATION |
| ===== | SHEET NUMBER |
| ===== | DETAIL INDICATOR |
| ===== | DETAIL IDENTIFICATION |
| ===== | SHEET NUMBER |
| ===== | ROOM NAME INDICATOR |
| 1 2 3 4 | ROOM NAME |
| ===== | ROOM NUMBER (WHERE OCCURS) |
| ⊙ | WORK POINT |
| ⊕ | ALIGN |
| +10'-0" | CEILING HEIGHT INDICATOR |
| ⚠ | REVISION # |
| ⊕ | HOSE BIB |
| ⊙ | SPRINKLER HEAD |
| ⊕ | WALL HEAT REGISTER (SHOWN IN PLAN) |
| ⊕ | HEAT REGISTER (FRONTAL) |
- | ABBREVIATIONS | |
|---------------|--------------------------|
| @ | AT |
| A.F.F. | ABOVE FINISH FLOOR |
| APPROX | APPROXIMATELY |
| BFF | BELOW FINISH FLOOR FLOOR |
| B.D.G. | BUILDING |
| B.O. | BOTTOM OF |
| BTW | BETWEEN |
| BUR | BUILT UP ROOFING |
| CAB | CABINET |
| CEM | CEMENT |
| CL | CENTER LINE |
| CLG | CEILING |
| CLR | CLEAR |
| CRPT | CARPET |
| CTR | CENTER |
| DN | DOWN |
| DR | DOOR |
| DW | DISHWASHER |
| DWG | DRAWING |
| <E> | EXISTING |
| EL | ELEVATION |
| ENG. | ENGINEER |
| EXT | EXTERIOR |
| F.O. | FACE OF FINISH |
| F.O.S. | FACE OF STUD |
| FT | FEET, FOOT |
| FIN | FINISH |
| FURN. | FURNACE |
| GFI | GROUND FAULT INTERRUPTER |
| GWB | GYPSON WALL BOARD |
| HB | HOSE BIB |
| HDWD | HARDWOOD |
| HDWR | HARDWARE |
| HR | HOUR |
| INT | INTERIOR |
| MATL. | MATERIAL |
| MFR. | MANUFACTURER |
| MECH. | MECHANICAL |
| MIN. | MINIMUM |
| MNTD | MOUNTED |
| MWV | MICROWAVE |
| <N> | NEW |
| N/A | NOT APPLICABLE |
| NO | NUMBER |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| O' | OVER |
| PNT | PAINT |
| PTD | PAINTED |
| QTY | QTY |
| RDWD | REDWOOD |
| REQD | REQUIRED |
| RFG | REFRIGERATOR |
| RM | ROOM |
| R.O. | ROUGH OPENING |
| S | SPEAKER |
| SBO | SUPPLIED BY OWNER |
| SBC | SUPPLIED BY CONTRACTOR |
| SQ | SQUARE |
| STV | STOVE |
| TBD | TO BE DETERMINED |
| T&G | TONGUE AND GROOVE |
| TYP | TYPICAL |
| UON | UNLESS OTHERWISE NOTED |
| VIF | VERIFY IN FIELD |
| VC | VOLUME CONTROL |
| WIN | WITHIN |
- | SHEET INDEX | |
|----------------|----------------------------------------------------------------------------------|
| ARCHITECTURAL | |
| T-0 | TITLE SHEET- SITE PLAN, VICINITY PLAN
GENERAL NOTES AND CONDITIONS,
LEGEND |
| A1.1 | 1ST FLOOR PLANS, EXISTING, PROPOSED |
| A2.1 | 2ND & 3RD FLOOR PLANS, SOUTH
EXTERIOR ELEVATION |
| A3.1 | SOUTH (FRONT) & EAST EXTERIOR
ELEVATIONS |
| STRUCTURAL | |
| TO BE PROVIDED | |
- | PROJECT INFORMATION | |
|---------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROJECT ADDRESS: | 2940 PAGE STREET |
| APN: | BLOCK 1237 LOT 032 |
| ZONING: | RM-1 (RESIDENTIAL MIXED) 40-X |
| CURRENT OCCUPANCY: | SINGLE FAMILY RESIDENCE WITH ILLEGAL APARTMENT |
| PROPOSED OCCUPANCY: | TWO UNIT RESIDENCE |
| GOVERNING CODE: | 2010 CALIFORNIA BUILDING STANDARDS (REF) |
| SCOPE OF WORK: | Application to legalize and improve existing apartment on ground floor of existing residence. Improved apartment to provide 2 bedrooms, two bathrooms and laundry facilities. Modifications include: foundation replacement and approximately 1' of excavation, electrical upgrades, plumbing upgrades, HVAC, and structural strengthening. Alterations include new windows and doors in ground level apartment. No changes to building mass or footprint. |
- ## Anne Forell architecture
- Architecture Planning
Interior design**

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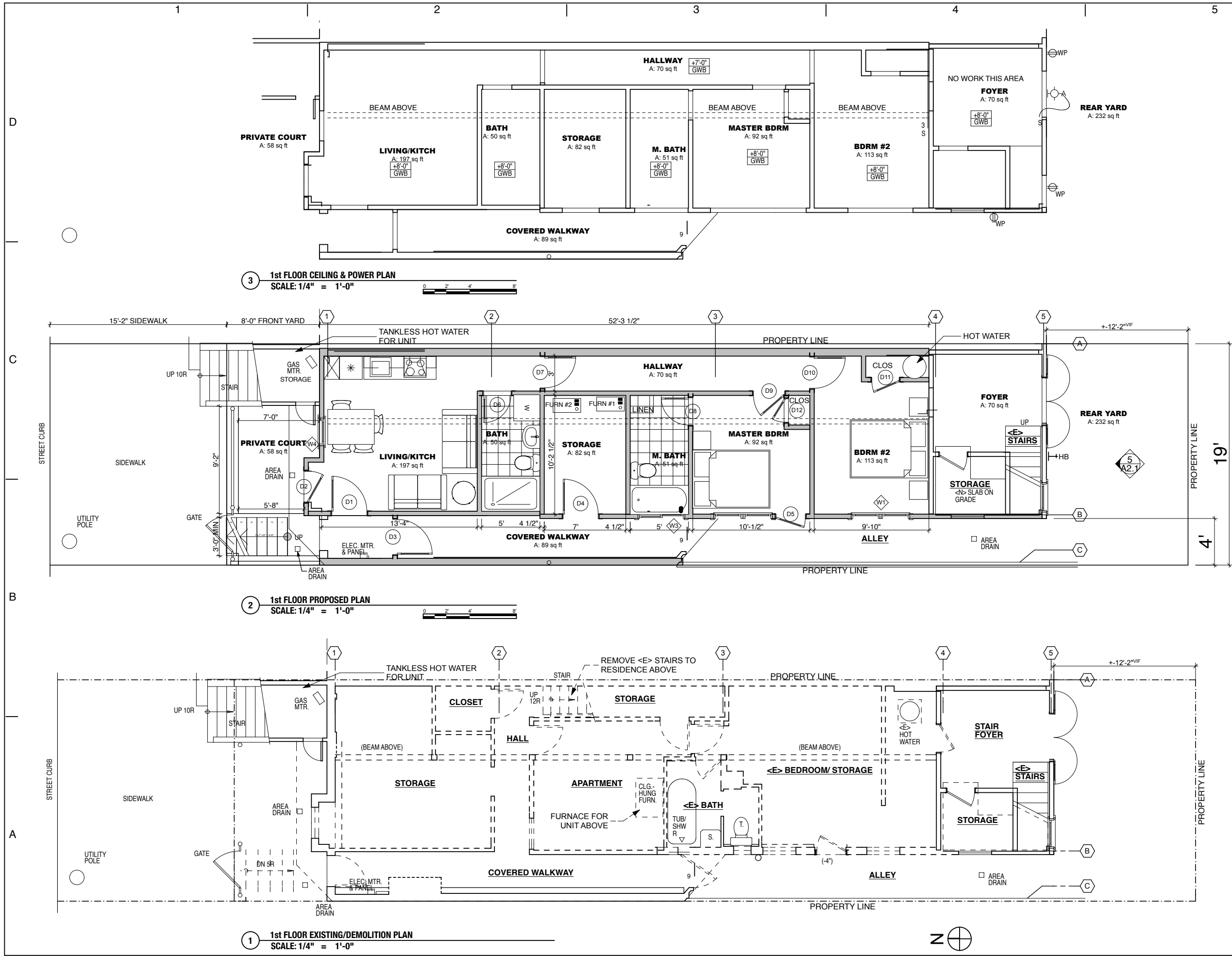
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ENGINEER
Shaun Moynahan
Semco Engineering
360 Langton St., Suite 304
San Francisco, CA 94103
Tel. 415.553.8810

License no. 4605
-
- ## APARTMENT LEGALIZATION
- 1029 Page Street
San Francisco, CA 94117
- BLOCK 1237 LOT 032
- | MARK | DATE | DESCRIPTION |
|------|---------|----------------------|
| | 11/3/13 | VARIANCE APPLICATION |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
- PROJECT NO: 07.002
- MODEL FILE:
- SHEET TITLE
- ## TITLE PAGE
- ABBREVIATIONS, LEGEND,
PROJECT DATA, VICINITY MAP,
SITE PLAN, BUILDING
PHOTOGRAPH
- T-0

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Architecture Planning
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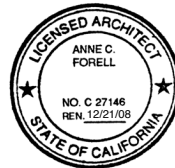
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APARTMENT LEGALIZATION

1029 Page Street
San Francisco, CA 94117

BLOCK 1237 LOT 032

MARK	DATE	DESCRIPTION
	12/30/13	VARIANCE APPLICATION

PROJECT NO: 07.002

MODEL FILE:

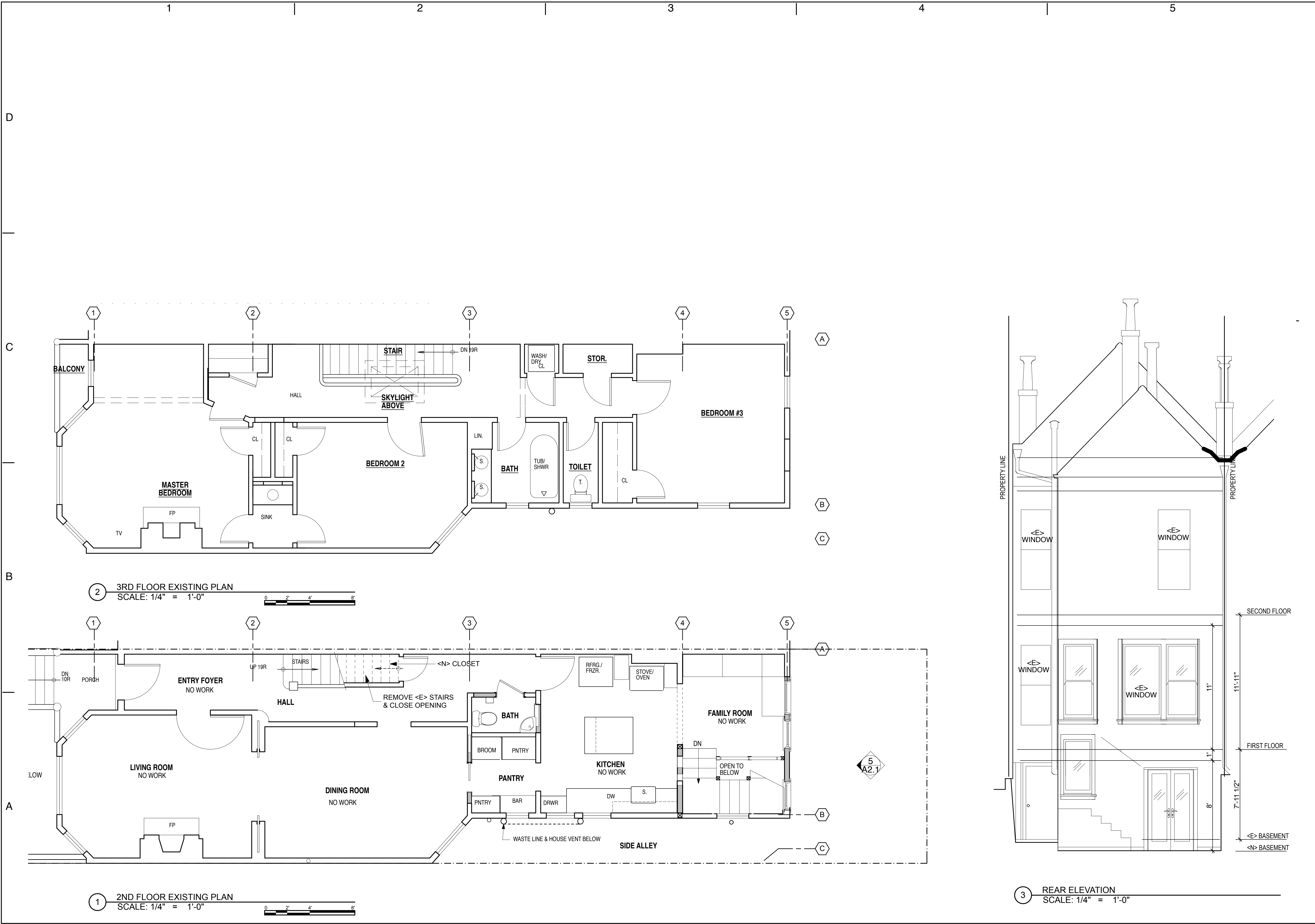
SHEET TITLE

1ST FLOOR PLANS

EXISTING/DEMOLITION PLAN,
PROPOSED PLAN,
CEILING & ELECTRICAL PLAN

A-1.1

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ANNE C. FORELL
NO. C 27146
REN. 12/21/08
STATE OF CALIFORNIA

APARTMENT
LEGALIZATION
1029 Page Street
San Francisco, CA 94117

BLOCK 1237 LOT 032

MARK	DATE	DESCRIPTION
	11/3/13	VARIANCE APPLICATION

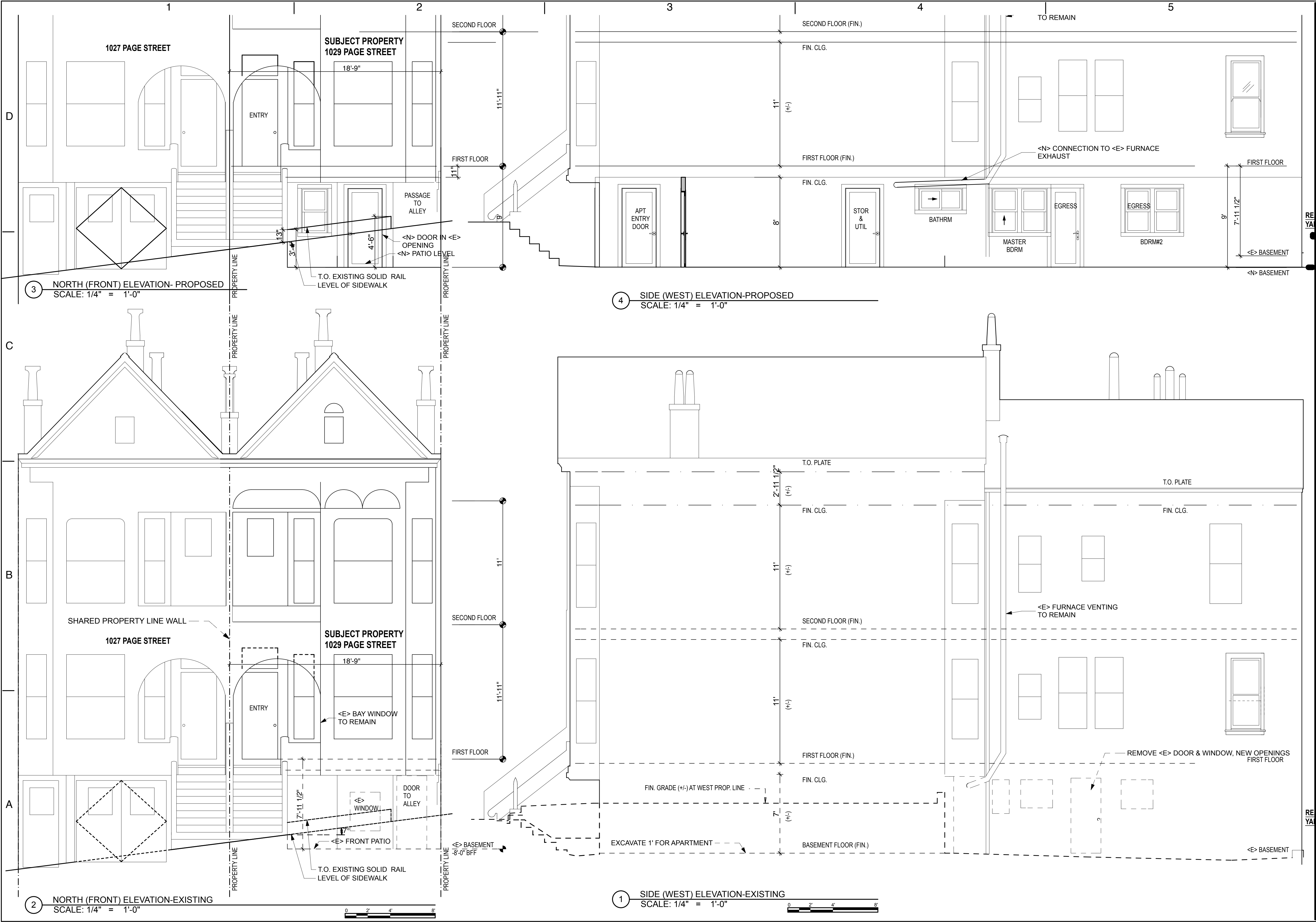
PROJECT NO: 07.002
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SHEET TITLE

2ND, 3RD FLOOR
PLAN, SOUTH
EXTERIOR
ELEVATION

A-1.2

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Architecture Planning
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1029 Page Street
San Francisco, CA 94117

BLOCK 1237 LOT 032

MARK	DATE	DESCRIPTION
	11/3/13	VARIANCE APPLICATION

PROJECT NO: 07.002
MODEL FILE:

SHEET TITLE

NORTH & WEST
EXTERIOR
ELEVATIONS

A-2.1