



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 22, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>551 Ellsworth St</b>	Case No.: <b>2013.1293V</b>
Cross Street(s): <b>Tompkins and Ogden</b>	Building Permit: <b>201309177068</b>
Block / Lot No.: <b>5725/022</b>	Applicant/Agent: <b>Mary Fitzgerald</b>
Zoning District(s): <b>RH-1 / 40-X</b>	Telephone: <b>415.613.7448</b>
Area Plan: <b>Bernal Heights</b>	E-Mail: <b>Fitzmary@comcast.net</b>

### PROJECT DESCRIPTION

The proposal is to construct a deck, approximately 6 feet-4 inches high, extending approximately 15-feet from the rear of the second floor along the north property line. The proposed deck is 10 feet 6 inches in width and includes new stairs and a children's slide.

Construction will also include an 11-foot by 11-foot ground floor deck measuring approximately 2-feet from the ground, which is not subject to Variance because it is less than 3 feet from the ground.

**PER SECTION 242 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of 20 feet. The proposed rear deck addition would encroach approximately 12 feet into the required rear yard and result in a rear yard of approximately 8 feet; therefore, the project requires a variance.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Danielle J. Harris** Telephone: **415.575.9102** Mail: [danielle.j.harris@sfgov.org](mailto:danielle.j.harris@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1293V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

1

Existing Plan with Adjacent Lots

Scale: 1/4" = 1' 0"



Drawn By: Mary Fitzgerald  
Robert Howard  
Robert Howard Builders, Inc  
562 Ellsworth Street  
San Francisco, CA 94110  
(415) 643-5579

Deck Addition  
**Lebowitz Residence**    Block 5725   Lot 022  
551 Ellsworth St., San Francisco, CA 94110



1

Proposed Plan with Adjacent Lots

Scale: 1/4" = 1' 0"

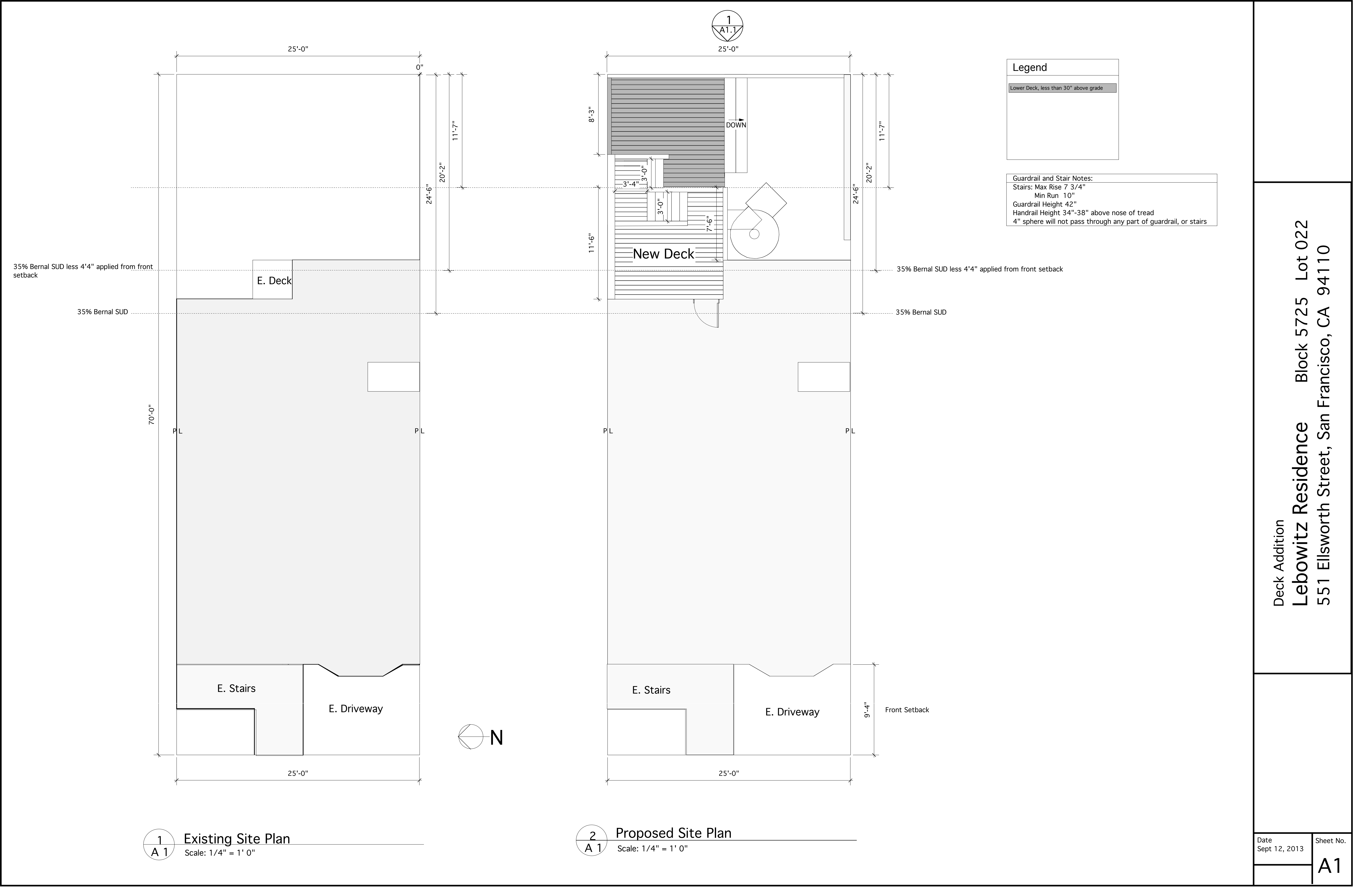
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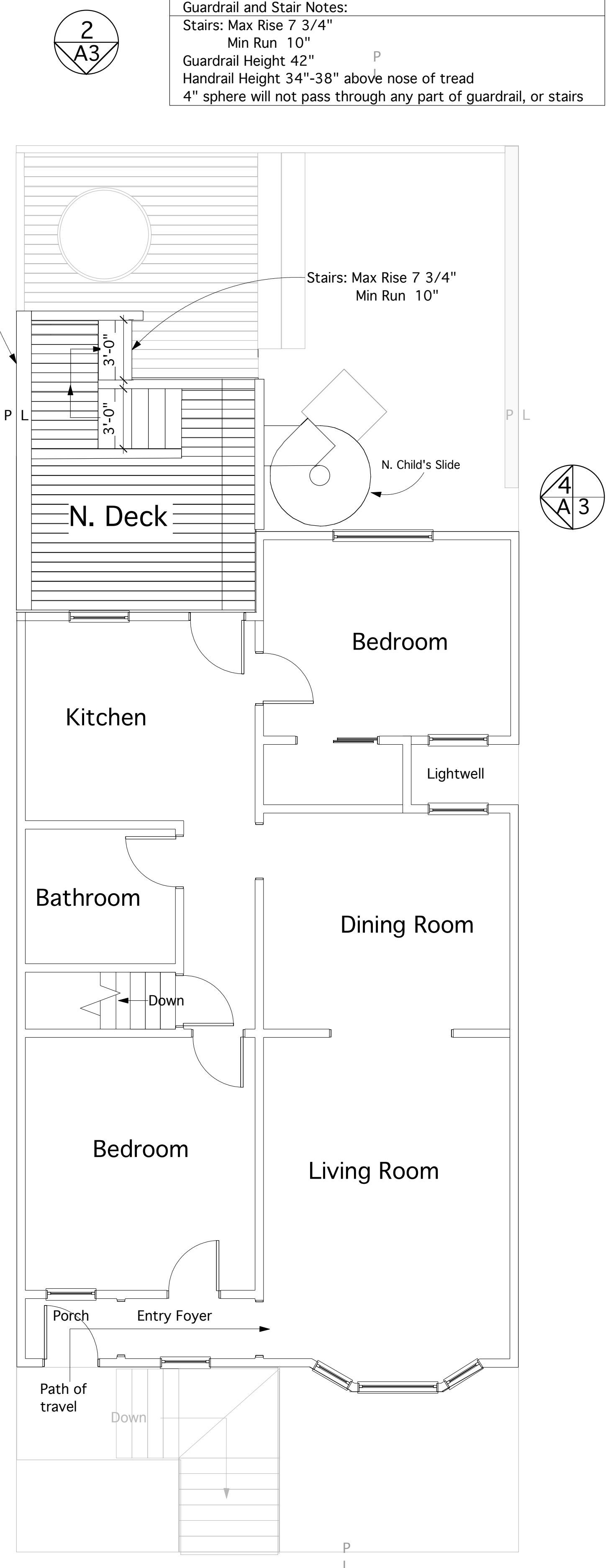
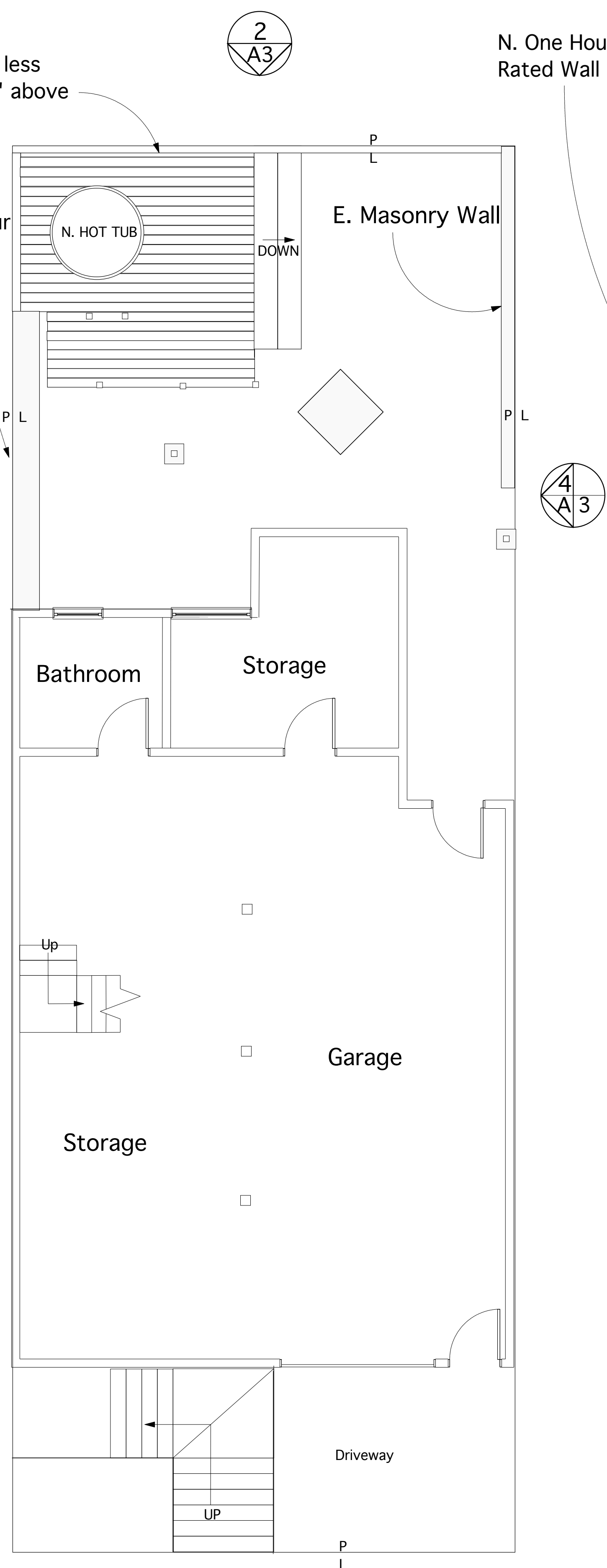
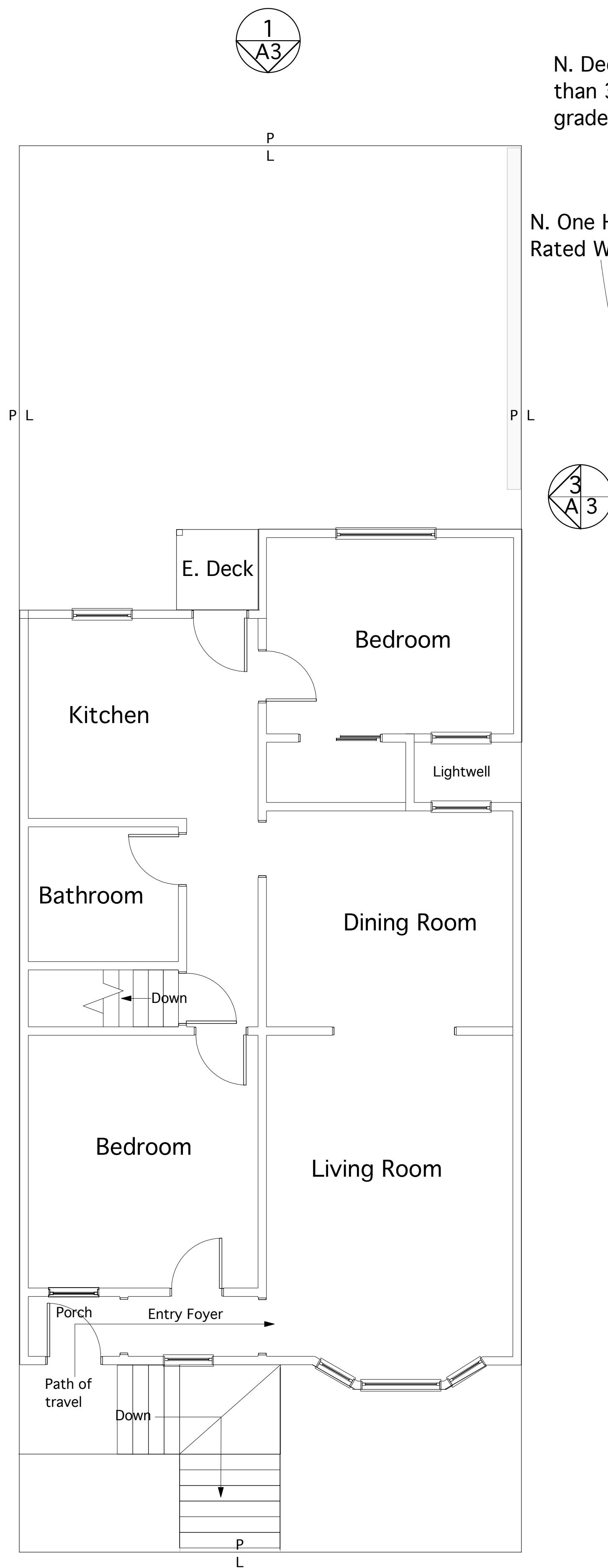
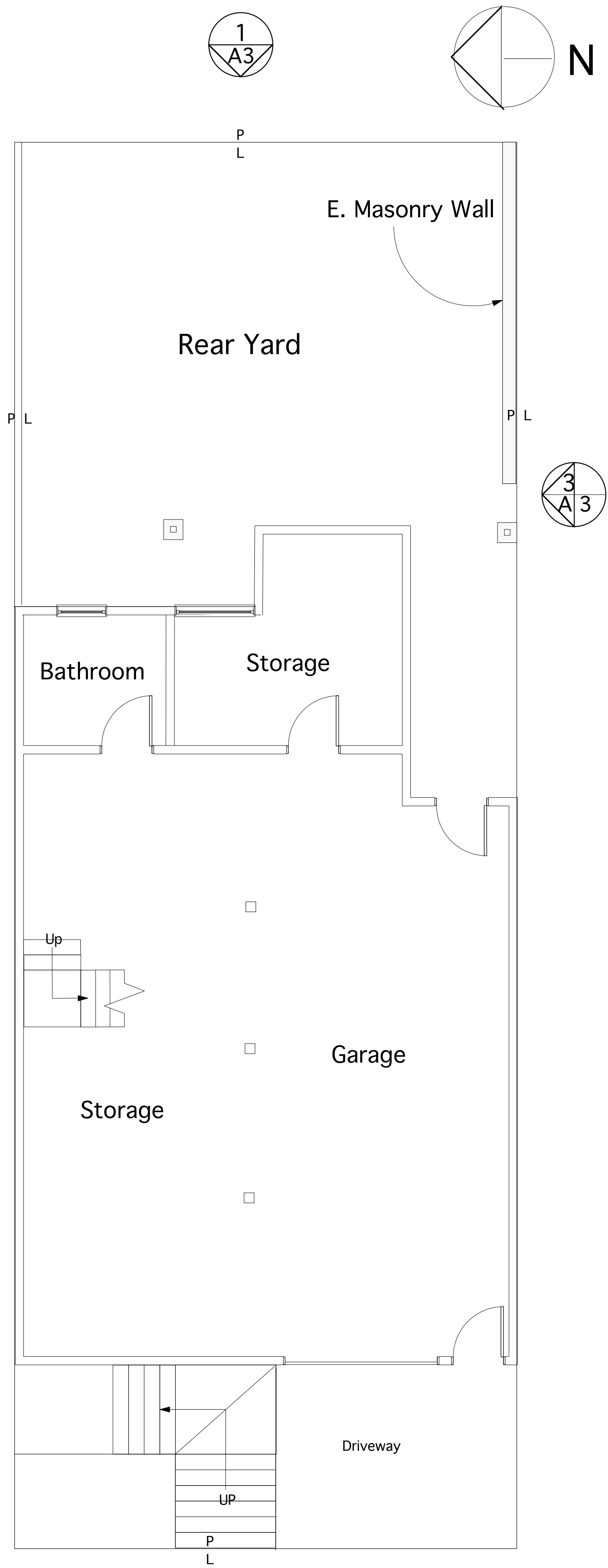
Date

Sheet No.

2



Deck Addition  
Lebowitz Residence    Block 5725   Lot 022  
551 Ellsworth Street, San Francisco, CA 94110



Guardrail and Stair Notes:  
 Stairs: Max Rise 7 3/4"  
 Min Run 10"  
 Guardrail Height 42"  
 Handrail Height 34"-38" above nose of tread  
 4" sphere will not pass through any part of guardrail, or stairs

1  
A2 Existing Garage/Ground Floor  
 Scale: 1/4" = 1' 0"

2  
A2 Existing Second Floor  
 Scale: 1/4" = 1' 0"

3  
A2 Proposed Garage/Ground Floor  
 Scale: 1/4" = 1' 0"

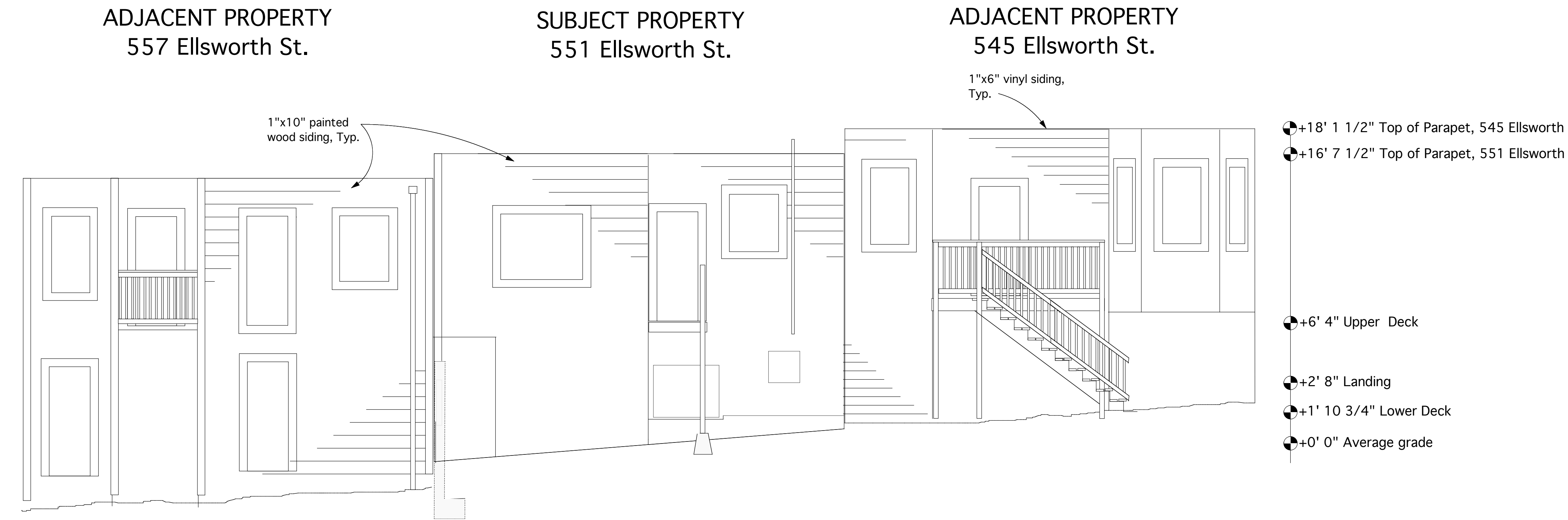
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A2 Proposed Second Floor  
 Scale: 1/4" = 1' 0"

Deck Addition  
 Lebowitz Residence Block 5725 Lot 022  
 551 Ellsworth St., San Francisco, CA 94110

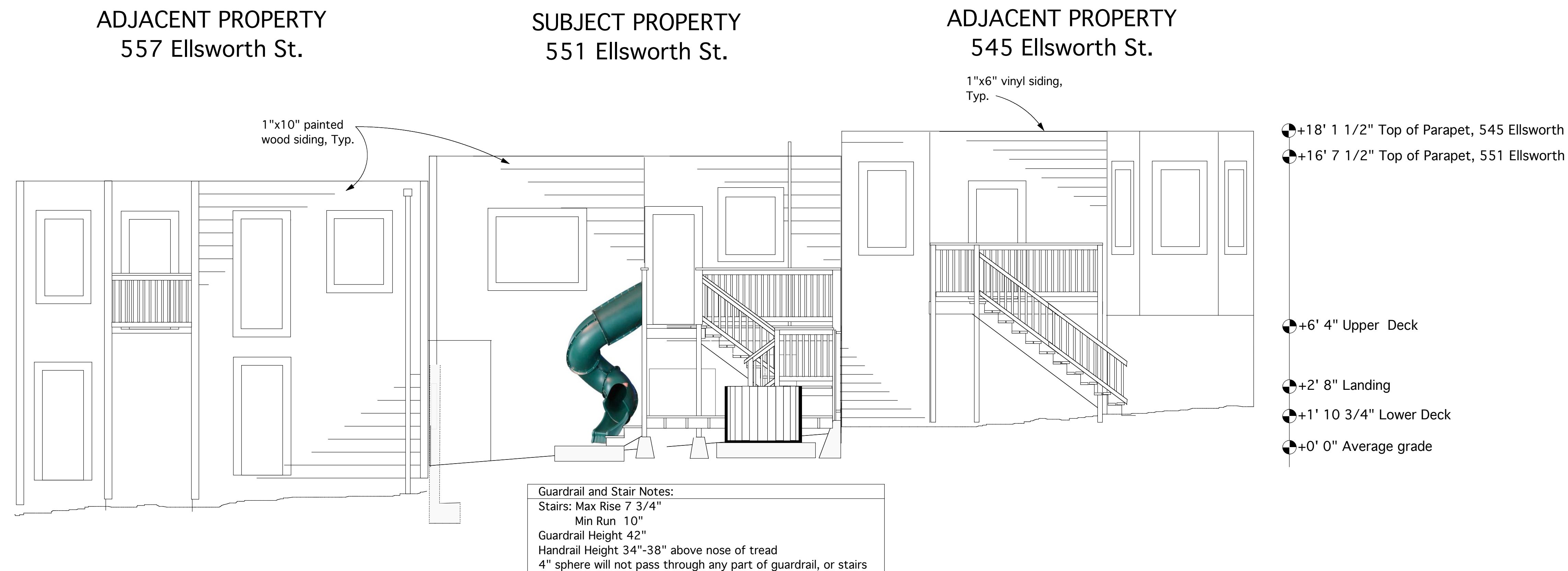
Date  
 Sept 12 2013

Sheet No.

A2



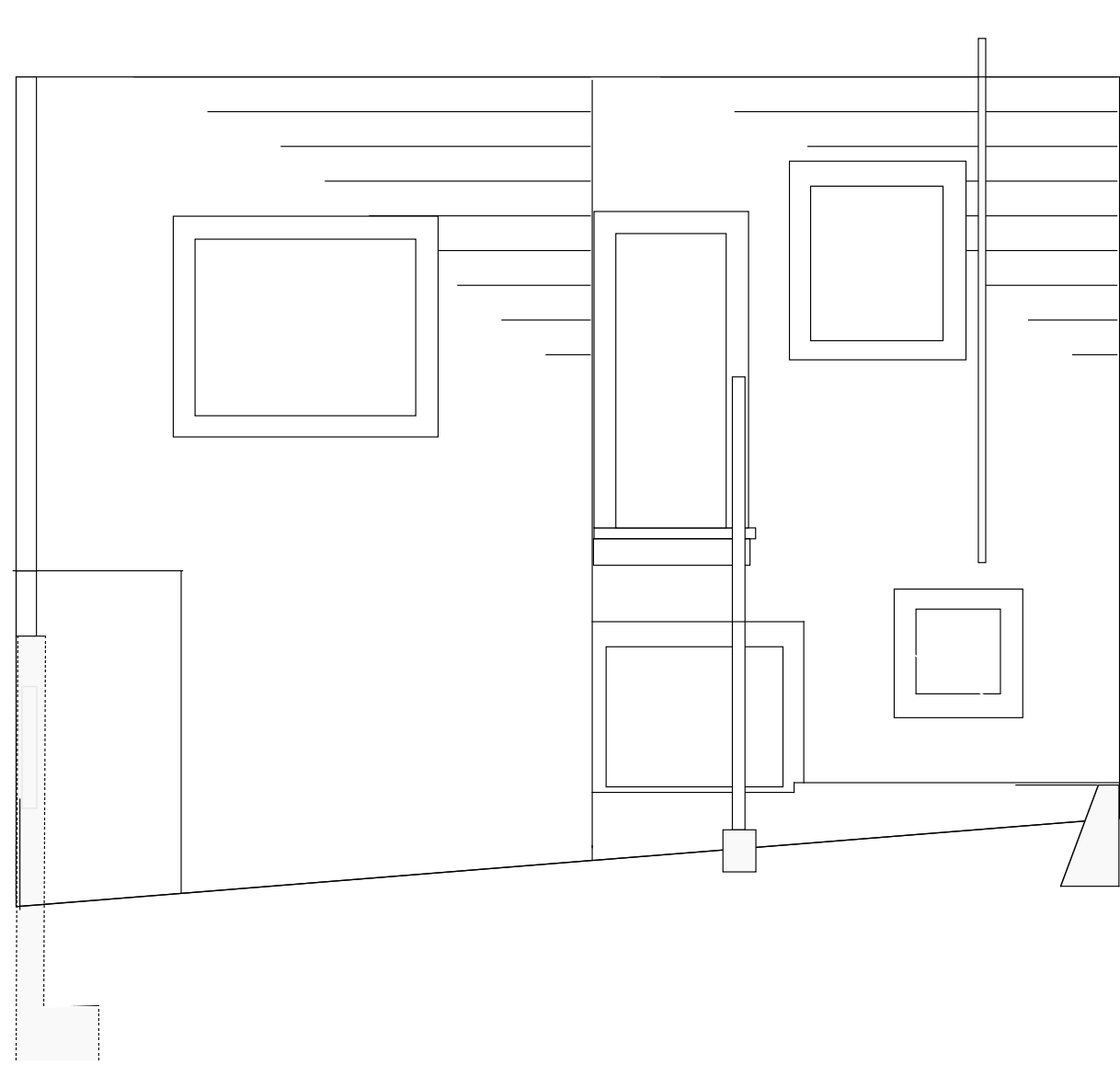
1  
A 1.1 Existing Rear (West) Elevation with Adjacent Structures (Section at Hot Tub)  
Scale: 1/4" = 1' 0"



1  
A 1.1 Proposed Rear (West) Elevation with Adjacent Structures (Section at Hot Tub)  
Scale: 1/4" = 1' 0"

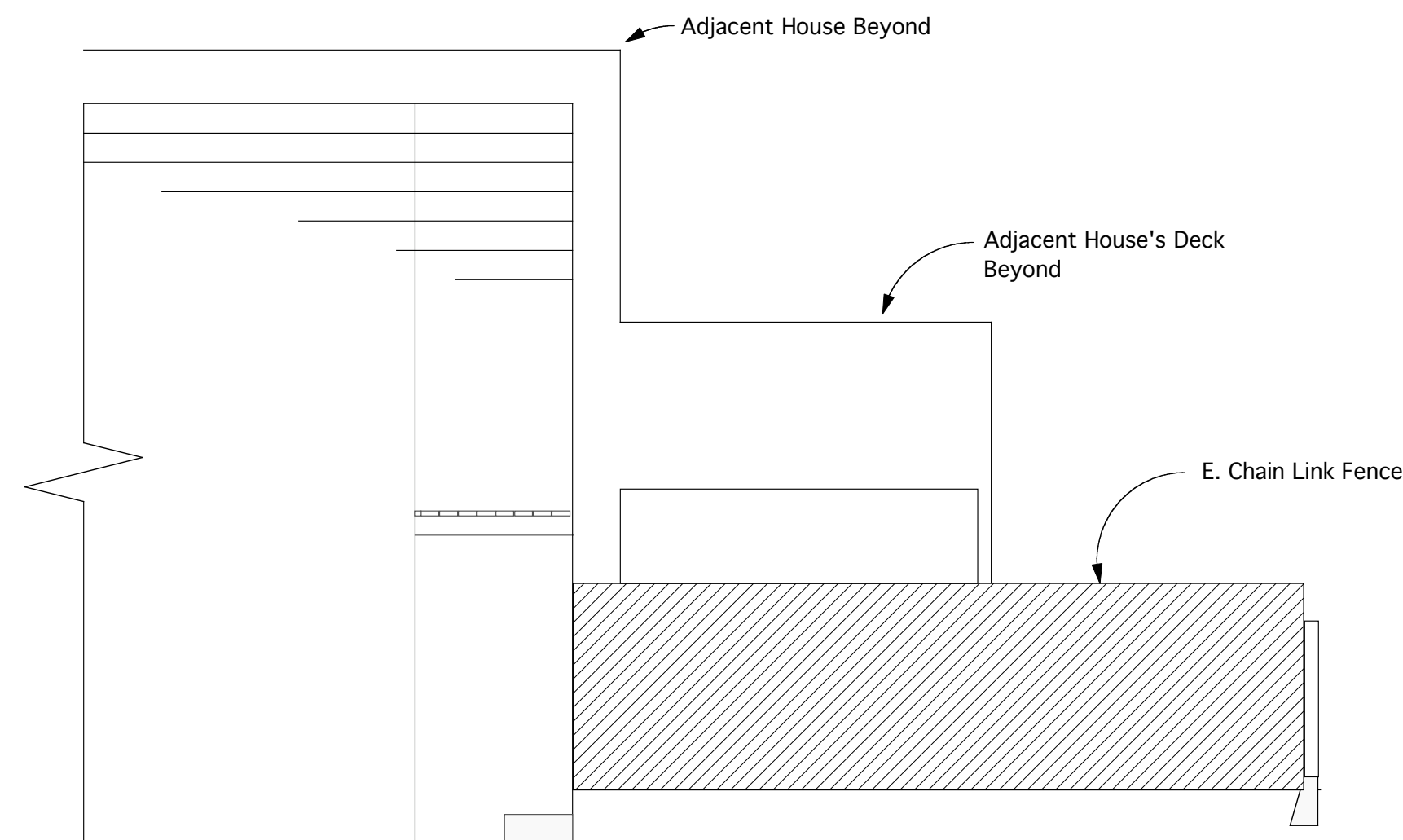
Deck Addition  
Lebowitz Residence Block 5725 Lot 022  
551 Ellsworth St. San Francisco, CA 94110





1  
A3 Existing Rear Elevation

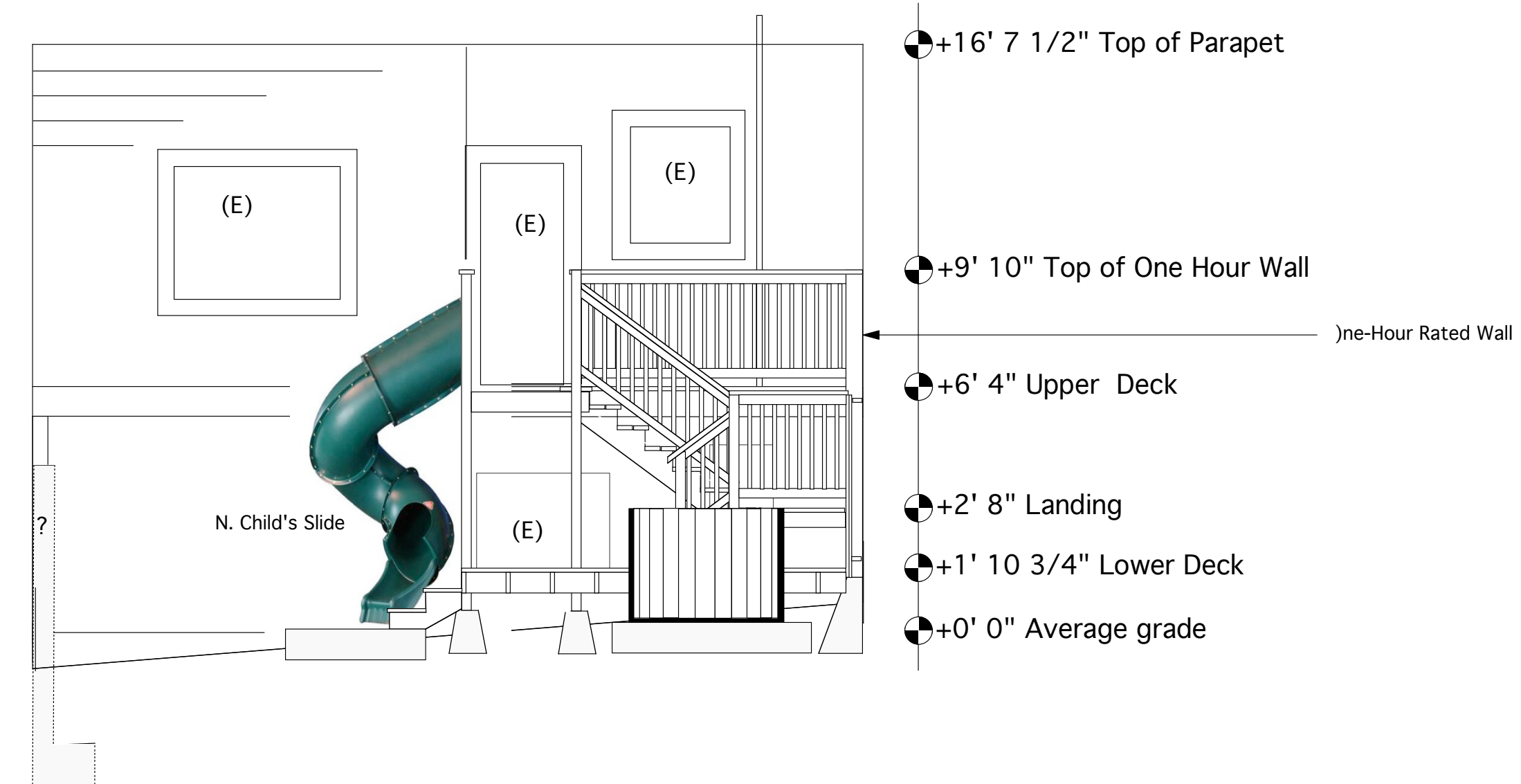
Scale: 1/4" = 1' 0"



3  
A3 Existing South Elevation

Scale: 1/4" = 1' 0"

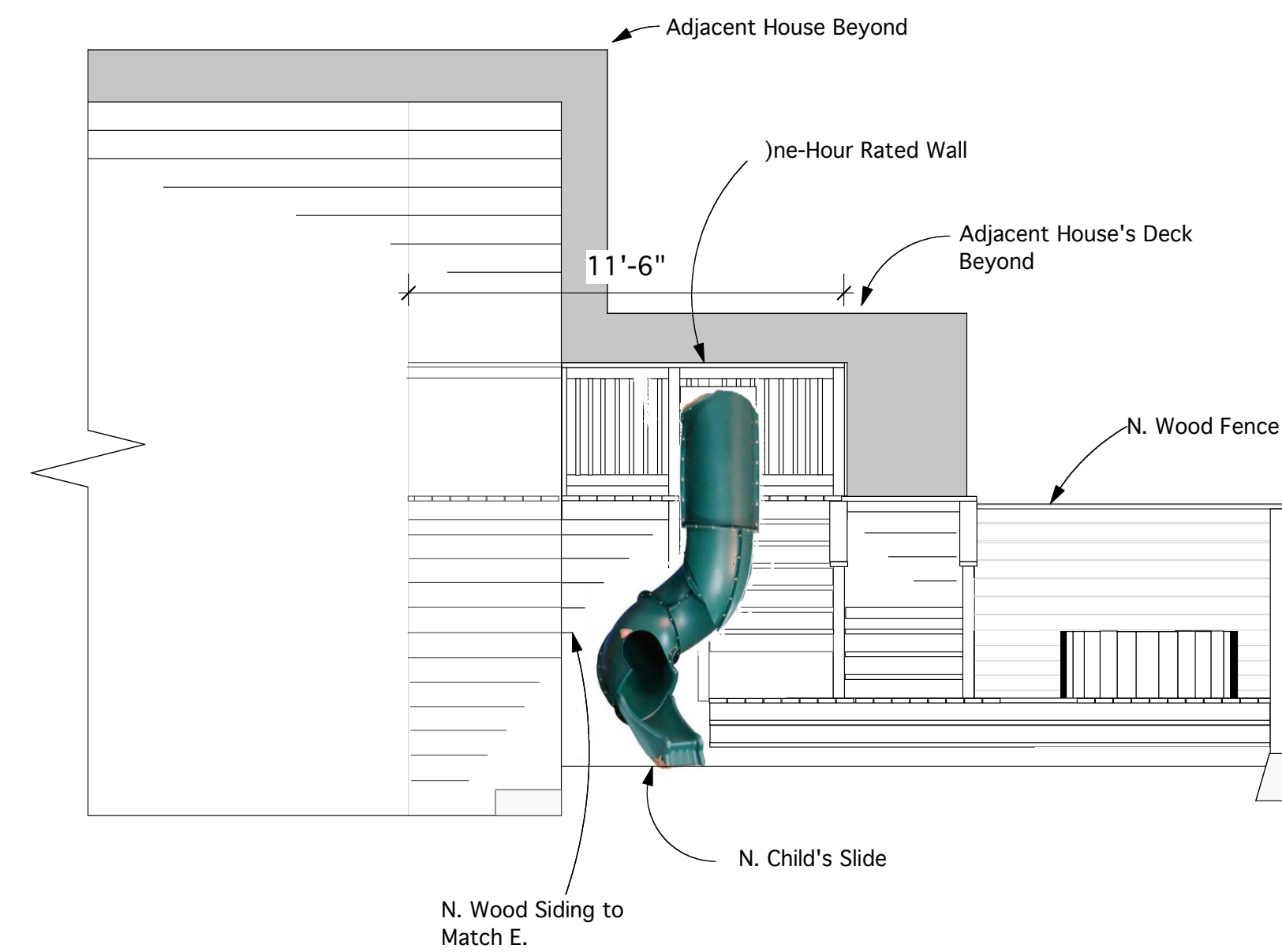
Existing Windows and Door to Remain



2  
A3 Proposed Rear Elevation: Section at Hot Tub

Scale: 1/4" = 1' 0"

Guardrail and Stair Notes:  
Stairs: Max Rise 7 3/4"  
Min Run 10"  
Guardrail Height 42"  
Handrail Height 34"-38" above nose of tread  
4" sphere will not pass through any part of guardrail, or stairs



4  
A3 Proposed South Elevation

Scale: 1/4" = 1' 0"

Deck Addition  
Lebowitz Residence Block 5725 Lot 022  
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Date  
Sept 12, 2013

Sheet No.

A4