



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 26, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>4 Miley St</b>	Case No.:	<b>2013.1279V</b>
Cross Street(s):	<b>Baker Street</b>	Building Permit:	<b>Click here to enter text.</b>
Block / Lot No.:	<b>0942/035</b>	Applicant/Agent:	<b>Sarah Schmitz</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-977-0194</b>
Area Plan:	<b>Click here to enter text.</b>	E-Mail:	<b>sarah@matthollis.com</b>

### PROJECT DESCRIPTION

The subject property is a through lot between Greenwich and Miley Streets. The project proposes to horizontally expand a non-complying single-family house located within rear yard of the property (Miley Street frontage). The project does not include any changes to the two-unit structure at the front of the property (Greenwich Street frontage).

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard of 54 feet. The proposed 4-story expansion and new entry awning are located entirely within the required rear yard. The project proposes to regularize the envelope of the existing building and does not increase the encroachment into the required rear yard.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Sharon Lai**

Telephone: **415-575-9087** Mail: [sharon.w.lai@sfgov.org](mailto:sharon.w.lai@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1279V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



General Construction Notes

1 SCOPE	All work on this project provided by the general contractor (GC) shall conform to the contract documents which include the drawings, specifications, all addenda and modifications issued by the architect.  These contract documents intend to describe a finished project ready for legal use. the GC shall furnish and install all required elements for a complete operating system.
2 STANDARDS	The project shall be constructed according to the locally adopted edition of the uniform buildingcode, the state of california, local municipality amendments and all other applicable codes. governing authorities and codes take precedence over drawings and specifications. The GC shall report all discrepancies to the architect immediately.  The GC shall maintain a current copy of the ubc on site at all times.  The GC shall install all materials and products in strict accordance with manufacturers' recommendations, all manufacturers' articles, materials and equipment shall be applied installed, connected, erected, cleaned, and conditioned as per the manufacturers' instructions and applicable icbo reports.  All materials shall be new unless otherwise noted and like materials shall be consistent in appearance unless specified otherwise  The GC and all subcontractors shall provide a one-year guarantee after project completion for all materials and workmanship.  Mechanics, craftsmen, and workers skilled and experienced in the fabrication and installation of the work involved shall perform shop and fieldwork. all work on this project shall be performed in accordance with the best-accepted practices of the respective trades involved and in accordance with the drawings, submitted shop drawings, and these specifications.
3 DIMENSIONS	Written dimensions on drawings shall take precedence over scaled drawings. do not scale drawings at any time. walls and partitions shown in plan or section are to face of finish material unless otherwise. Interior elevation and cabinet dimensions are to face of finish material.
4 FIELD CONDITIONS	The GC shall verify dimensions against field conditions. construction documents are based on observation and documentation of existing conditions by the architect and from documents provided by the owner. The architect makes no claim to the accuracy of hidden conditions or conditions inaccessible from direct observation. should the GC encounter field conditions that vary from these construction documents and that effect the intent of these drawings or the contract/ subcontract sum, the architect shall be notified immediately.
5 CONFLICTS	The GC shall become familiar with the existing conditions of the site and project prior to commencing work and in the case of conflict with the documents, shall notify the architect immediately for clarification.  The architect shall be notified immediately in the case of conflict between project documents and consultants', manufacturers' or other documents or recommendations.  Should conflicts occur between drawings and specifications, drawings shall govern in matters of dimension or quantity. Specifications shall govern in matters of materials or finishes.
6 SCHEDULE	All work shall be performed during regular business hours, as permitted by local agencies. work involving excessive noise or dust, or which would otherwise interfere with the normal operation of the building, site or neighboring sites shall be coordinated with the owner.  The GC shall coordinate all work, including scheduling times and locations for deliveries, building access, etc...  The commencement of work shall be deemed as an acknowledgement by the GC that all work of the project shall be completed in conformance with the contract documents and schedule.
7 REVISIONS AND CHANGES	Revisions, and changes must be submitted to the architect for review in the form of a change order, prior to the purchase, fabrication, or installationof the work in question.  Any change, modification, or interpretation of the scope or requirements of these documents undertaken without consultation of the architect shall be the responsibility of the GC.  The owner may order extra work or make changes by altering, adding to, or deducting from the work. the contract sum shall be adjusted accordingly.
8 UTILITIES	The architect does not assume responsibility for underground utilities or the existence of other buried objects. The locations of existing underground utilities and/or facilities as shown on the drawings are approximate only. the gc shall contact the respective utility company and provide utility location services as required to obtain the exact depth of burial and horizontal location of utility lines, conduits, piping, etc... prior to performing underground construction the gc shall make necessary probes and explorations to identify areas of possible  The GC shall inspect, test, and disconnect utility services at the main source or main branch. The GC shall securely cap and/or valve-off utility service behind final finished surfaces of intended construction or, when noted, at finished face of exist. construction prior to demolition. utility service shall be defined as plumbing, hvac, electric, and fire protection.
9 PERMITS	The GC shall arrange for all inspections and permits necessary to obtain a certificate of occupancy and or final permit signoff & inspection.
10 EXISTING CONDITIONS	Access panels, clean outs, and the like shall be maintained for existing building systems.the GC shall verify that existing walls and floors to remain are within expected tolerances. The GC shall report to the architect any variations in floor levels greater than 1/4" in 10'-0". The GC shall inform the architect of any existing threshold elevation variations greater than 1/2".
11 DEFINITIONS	"Align" shall be defined as the accurate location of finish faces in the same plane. "typical" or "typ." shall be defined as conditions which are representative of similar conditions throughout. unless otherwise noted, details are usually keyed and noted. "typ." only once, when they first occur. "similar" or "sim." shall be defined as conditions which are comparable in characteristics for the conditions noted. verify dimensions and orientation on plans and elevations. "gc" refers to the general contractor, his agents and subcontractors. "architect" refers to the architect of record or his agent.
12 MATERIALS STORAGE AND PROTECTION OF WORK	Improvements on the site, work in progress, stored materials on property shall be protected by the GC from damage arising during the work. all items damaged due to insufficient protection or otherwise shall be fully restored by the gc to their prior condition at no cost to the owner. no part of the structure shall be overloaded beyond its safe carrying capacity at any time.
13 SECURITY	The GC shall be responsible for securing the site during the course ofthe project. if the site is unattended at any time, it shall be locked.
14 TOXIC MATERIALS	Any materials of unknown constitution uncovered during the course of construction shall be left untouched and immediately brought to the attention of the owner for testing.
15 CLEAN UP	The site shall be kept broom clean and free of debris during the course of construction. At the completion of the work the GC shall clean the project and the surrounding area, remove all waste materials and rubbish from the project as well as tools, construction equipment, machinery and surplus materials. the gc shall remove caulk, putty, and paint from glass and mirrors and wash and polish the same. clean and remove all labels, grease, dirt, stains, etc. from finished surfaces and equipment to the extent required restoring the intended finish.  Planters and landscape areas shall be cleaned of debris and rough grading shall be completed.
END OF GENERAL NOTES	

Abbreviations

ACOUS. A.D. ADJ. A.F.F. AGGR. ARCH. ASPH. AWN.	Acoustical Area Drain Adjustable Above Finish Floor Aggregate Architectural Asphalt Awning	LAM. LAV. LVR. L.P.	Laminated Lavatory Louver Low Point
BI-FO. DR. BLDG. BLK. BLKG. BM. B.O. BW	Bi-Folding Door Building Block Blocking Beam Bottom Of Bottom of Wall	M.C. MECH. MIN. MIR. MET. M.P.R.	Medicine Cabinet Mechanical Minimum Mirror Metal Multi Purpose Room
CPT. CAB. C.B. CEM. C.J. CLG. CLR. C.O. COL. CINC. CONT. CSMT. C.T. C.L. C.S.	Carpet Cabinet Catch Basin Cement Construction Joint Closet Ceiling Clear Clean Out Column Concrete Continuous Casement Ceramic Tile Center Line Counter Sink	(N) N.I.C. N.T.S.	New Not In Contract Not To Scale
DEMO DET. D.H. D.F. DIAG. DIM. DWGS. DN.	Demolition Detail Double Hung Douglas Fir Diagonal Dimension Drawings Down	OBS. O.C. O.D. OPNG	Obscure On Center Outside Diameter Opening
(E) E.J. EL. EQ. EXT.	Existing Expansion Joint Elevation Equal Exterior	P.LAM. P.L. PL. PLAS. PLYWD PT.	Plastic Laminated Property Line Steel Plate Plaster Plywood Point
F.B.T. F.D. F.F. FIN. F.O.C. F.O.S.F.O.W. FR.DR. FT. FX.	Furnished By Tenant Floor Drain Finish Floor Finish Face Of Concrete Face Of Stud/Face Of Wall French Door Footing Fixed	QTY. R. RAD. RET. RET. AIR RD. R.D. REF. REG. REINF. REQ'D R.O. RWD. R.W.L.	Quantity Riser Radius Retaining Return Air Round Roof Drain Refrigerator Register Reinforced Required Rough Opening Redwood Rain Water Leader
GA. GALV. G.B. OR G.W. GL. GLU. LAM. G.S.M. GWB	Gauge Galvanized Gypsum Board Glass Glue Laminated Galv. Sheet Metal Gypsum Board	SAG S.V. S.H. SHT. SHWR. SIM. SM. SKY. SL. SL GL. DR. SQ. S.S.D. ST. STL. STD. STL. STG. STRUC.	Supply Air Grill Sheet Vinyl Single Hung Sheet Shower Similar Sheet Metal Skylight Slider Sliding Glass Door Square See Structural Drawings Stainless Steel Standard Steel Storage Structural
H.B. HGT. H.M. HOR. H.P. H.W.H.	Hose Bibb Height Hollow Metal Horizontal High Point Hot Water Heater	T. TC TEMP. GL. T.J. T.O. T.O.C. T.P.D. TYP. TW TS	Tread Top Of Curb Tempered Glass Truss Joist Top Of Top Of Concrete Toilet Paper Dispenser Typical Top Of Wall Tube Steel
I.D. INSUL. INT.	Inside Diameter Insulation Interior	U.O.N. VERT. V.I.F.	Unless Otherwise Noted Vertical Verify In Field
J.BOX J.	Junction Box Joint	W/ W.C. WD. WDW. WP. W.P.	With Water Closet Wood Window Waterproof Work Point
		YD.	Yard

Symbol Legend

	Elevation Reference (drawing #/ sheet #)
	Section Reference (drawing #/ sheet #)
	Vantage Point
	Datum or Spot Elevation Point
	Grid Line
	Detail Reference (drawing #/ sheet #)
Room Name	
	Room Number
	Door Symbol
	Window Symbol
	Wall Tag

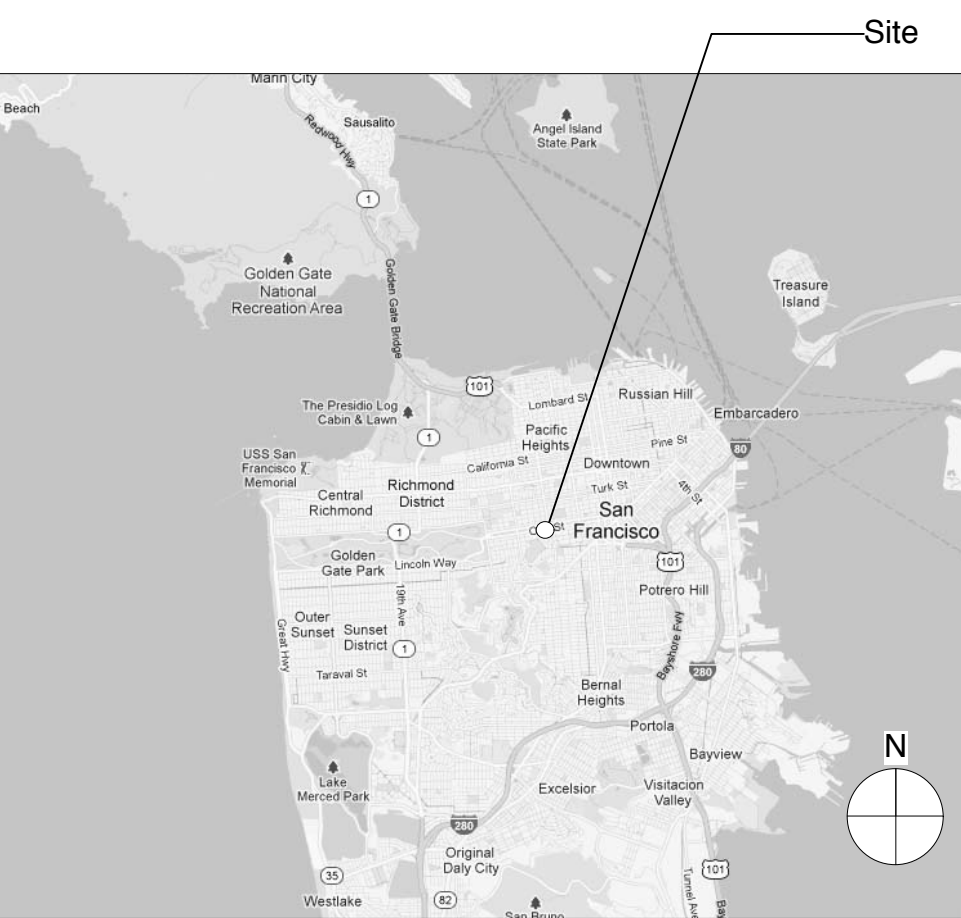
Project Team

<b>OWNER:</b>	<b>ARCHITECT:</b>
Karen Yokoo Dr. James D. Kelly, II 4 Miley Street San Francisco, CA 94123 T: 415.710.4249 E: kyokoo@pacbell.net E: jdkelly2@mac.com	MH Architects Matt Hollis 2325 Third Street, Studio 224 San Francisco, CA 94107 T: 415.977.0194 F: 415.977.0196 E: matt@matthollis.com
<b>STRUCTURAL ENGINEER:</b>	<b>CONTRACTOR:</b>
To be Selected	To be Selected

Proposed Perspective - New Addition



Vicinity Map



Sheet Index

A0.01 A0.02 A0.03 A0.04 A0.05	Project Index/ General Notes Existing and Proposed Site Plans Neighborhood Context Existing Site Photos: Miley Street Existing Site Photos: Rear Yard
A1.01 A1.02	Existing Floor Plans Proposed Floor Plans
A2.01 A2.02 A2.03 A2.04	Existing and Proposed Front (South) Elevations Existing and Proposed Rear (North) Elevations Existing and Proposed East Elevations Existing and Proposed West Elevations
A3.01 A3.02	Existing Site Section Proposed Site Section

Project Summary

This application is limited to a residential renovation at 4 Miley Street on a property with 2 buildings. The scope of work includes:

- Horizontal expansion at the back of the property
- New rear yard access stair
- Relocation of the front entry door
- 3 Remodeled Bathrooms
- 2 Remodeled Interior Stairs
- Reconfigured floor plans as all levels
- New electrical/ lighting throughout
- Window and door replacement throughout
- New radiant floor heating throughout
- New sprinkler system under separate cover

All work shall comply with 2010 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBS), California Fire Code (CFC, if applicable), 2008 California Energy Efficiency Standards (CEES), and all applicable local codes.

Special Inspections required listed on S0.0.

Site Information

Site Address: 4 Miley Street  
San Francisco, CA 94123

APN #: 0942/ 035

Lot Size: +/- 120' x 25', 2,925 Sq.Ft.

Building/ Zoning Information

Use Group/ Occupancy: R - Residential

Zoning District: RH-2 Residential - House, Two Family

Height/ Bulk District: 40-X

Existing Building Type: Type VA, Non-Sprinklered

Proposed Building Type: Type VA, Sprinklered

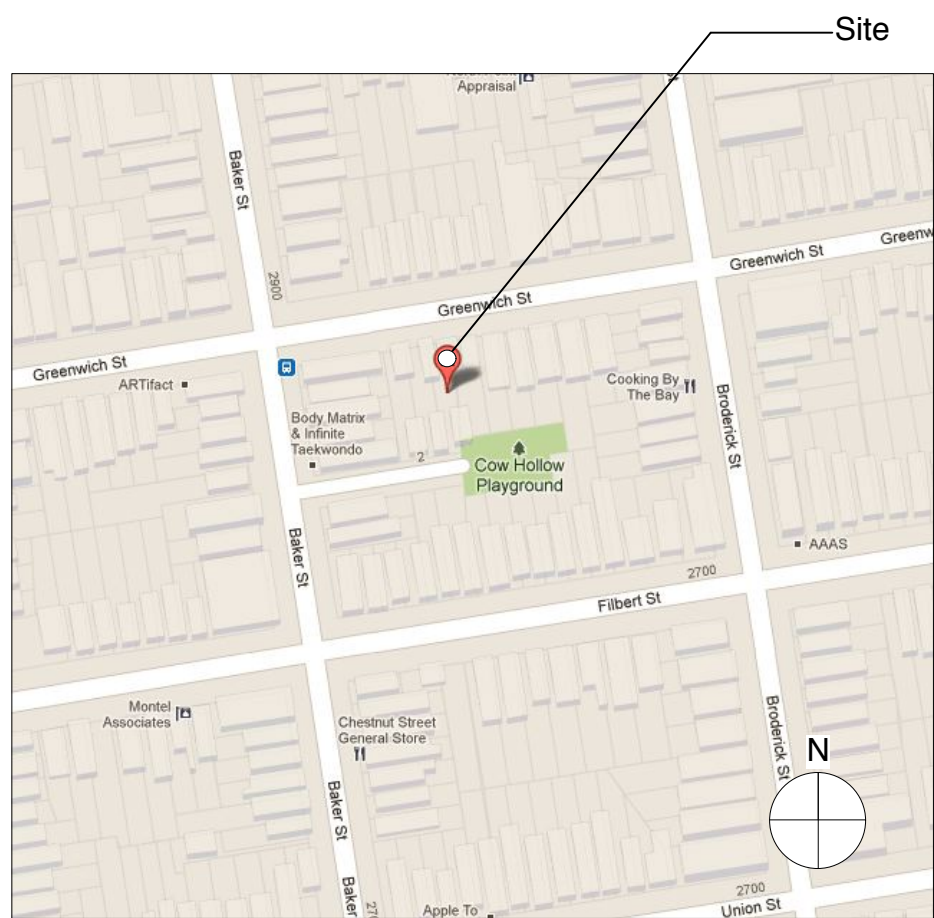
Project Info/ Square Footage


<b>Existing:</b>	
Number of Stories:	4 Stories (No Change)
Building Footprint:	615 Sq.Ft.
First Floor:	
Basement (Unconditioned):	460 Sq.Ft.
Entry (Conditioned):	155 Sq.Ft.
Total Ground Floor:	615 Sq.Ft.
Second Floor:	
Conditioned:	795 Sq.Ft.
Deck:	27 Sq.Ft.
Total First Floor:	822 Sq.Ft.
Third Floor:	
Conditioned:	745.5 Sq.Ft.
Deck:	103.5 Sq.Ft.
Total Second Floor:	849 Sq.Ft.
Fourth Floor:	
Conditioned:	654 Sq.Ft.
Deck:	68 Sq.Ft.
Total Third Floor:	722 Sq.Ft.
<b>Total (E) Building (Conditioned):</b>	<b>2349.5 Sq.Ft.</b>
Total (E) Building (Gross):	3008 Sq.Ft.

Proposed:

Number of Stories:	4 Stories (No Change)
Building Footprint:	694.4 Sq.Ft. (79.4 Sq.Ft. Increase)
First Floor:	
Basement (Unconditioned):	535 Sq.Ft. (75 Sq.Ft. Increase)
Entry (Conditioned):	159.4 Sq.Ft. (4.4 Sq.Ft. Increase)
Total Ground Floor(Gross):	694.4 Sq.Ft. (79.4 Sq.Ft. Increase)
Second Floor:	
Conditioned:	835 Sq.Ft. (40 Sq.Ft. Increase)
Deck:	0 Sq.Ft. (Removed)
Total First Floor(Gross):	835 Sq.Ft. (40 Sq.Ft. Increase)
Third Floor:	
Conditioned:	758.5 Sq.Ft. (13 Sq.Ft. Increase)
Deck:	103.5 Sq.Ft. (No Change)
Total Second Floor (Gross):	862 Sq.Ft. (13 Sq.Ft. Increase)
Fourth Floor:	
Conditioned:	698 Sq.Ft. (44 Sq.Ft. Increase)
Deck:	68 Sq.Ft. (No Change)
Total Third Floor (Gross):	766 Sq.Ft. (44 Sq.Ft. Increase)
Total Increase:	176.4 Sq.Ft.
<b>Total (N) Building (Conditioned):</b>	<b>2450.9 Sq.Ft.</b>
Total (N) Building (Gross):	3184.4 Sq.Ft.

Location Map





MH ARCHITECTS  
2325 3rd st. studio 224  
san francisco, ca 94107  
matthollis.com  
t | 415 977 0194  
f | 415 977 0196

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YOKOO - KELLY RESIDENCE

Residential Renovation

4 Miley Street

San Francisco, CA 94123

APN: 0942/ 035

REV	DATE
As-Builts	10.19.12
Schematic Design	07.15.13
Pre-Application Meeting	08.08.13
Planning Submittal	09.10.13
Planning Re-Submittal	02.04.14

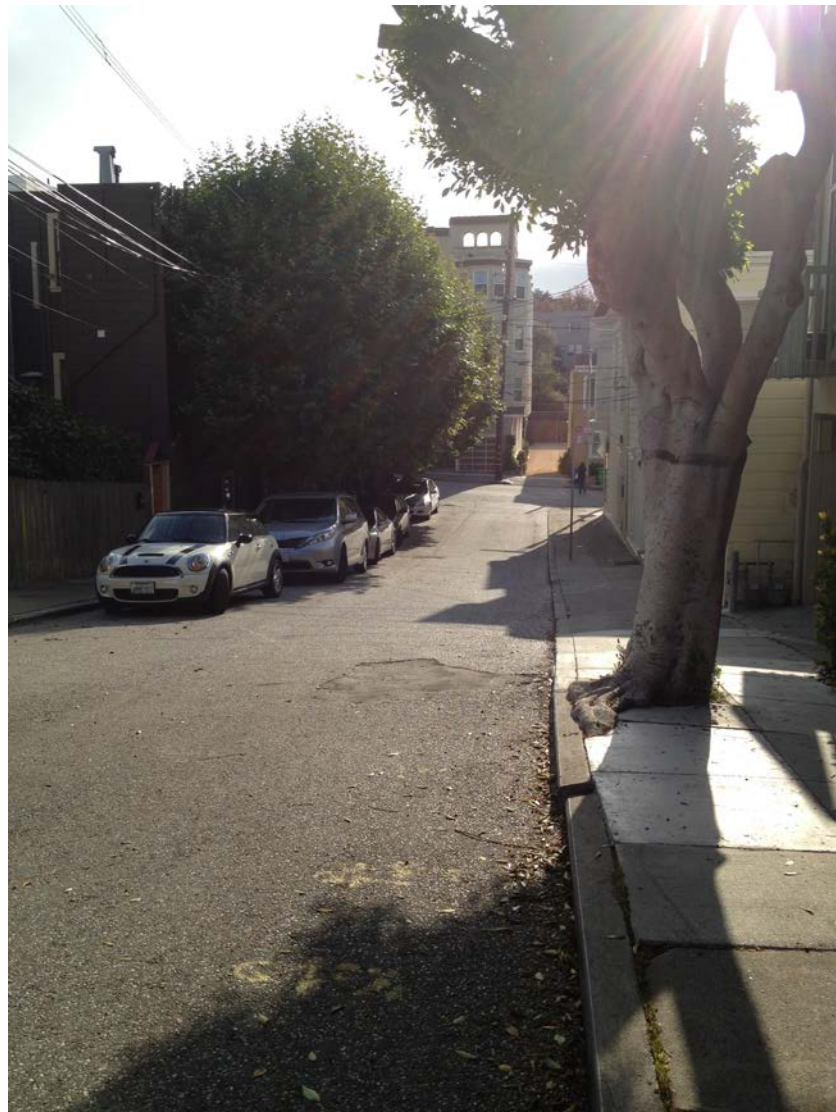
Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Project Index/  
General Notes  
SHEET NO.:  
**A0.01**









4 Miley Street Facing West  
Not to Scale



2 Miley Street South Elevation  
Not to Scale



3 Miley Street Facing East  
Not to Scale



4 Miley Street  
Site of Proposed Work

1 Miley Street North Elevation  
Not to Scale



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Neighborhood  
Context

SHEET NO.:  
**A0.03**





2 Existing Entry Photos: Miley St.  
Not to Scale



1 Existing Front (South) Elevation Photos: Miley St.  
Not to Scale

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SS

1233

As Noted

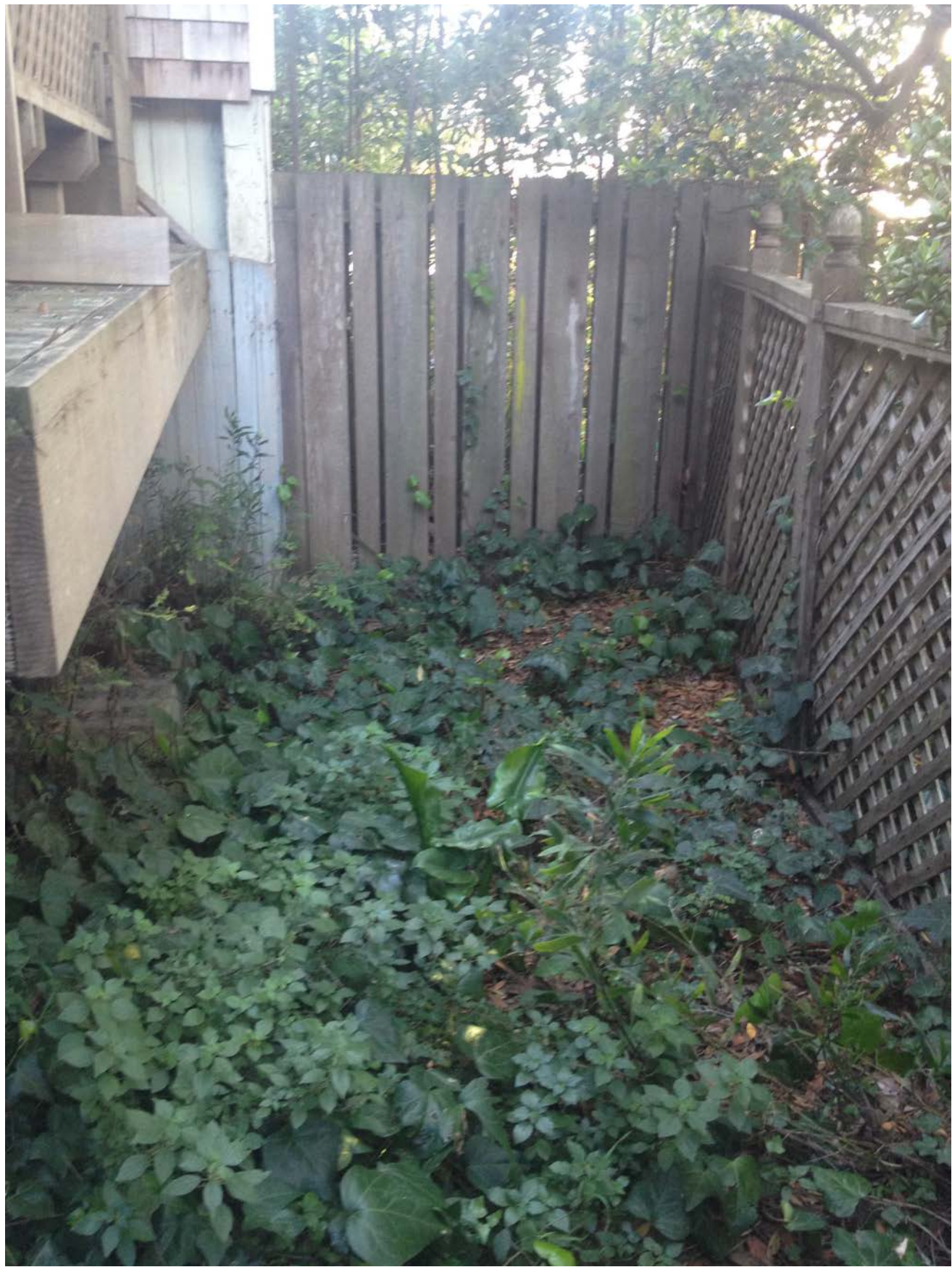
Existing Site

Photos: Miley St.

SHEET NO.:

A0.04

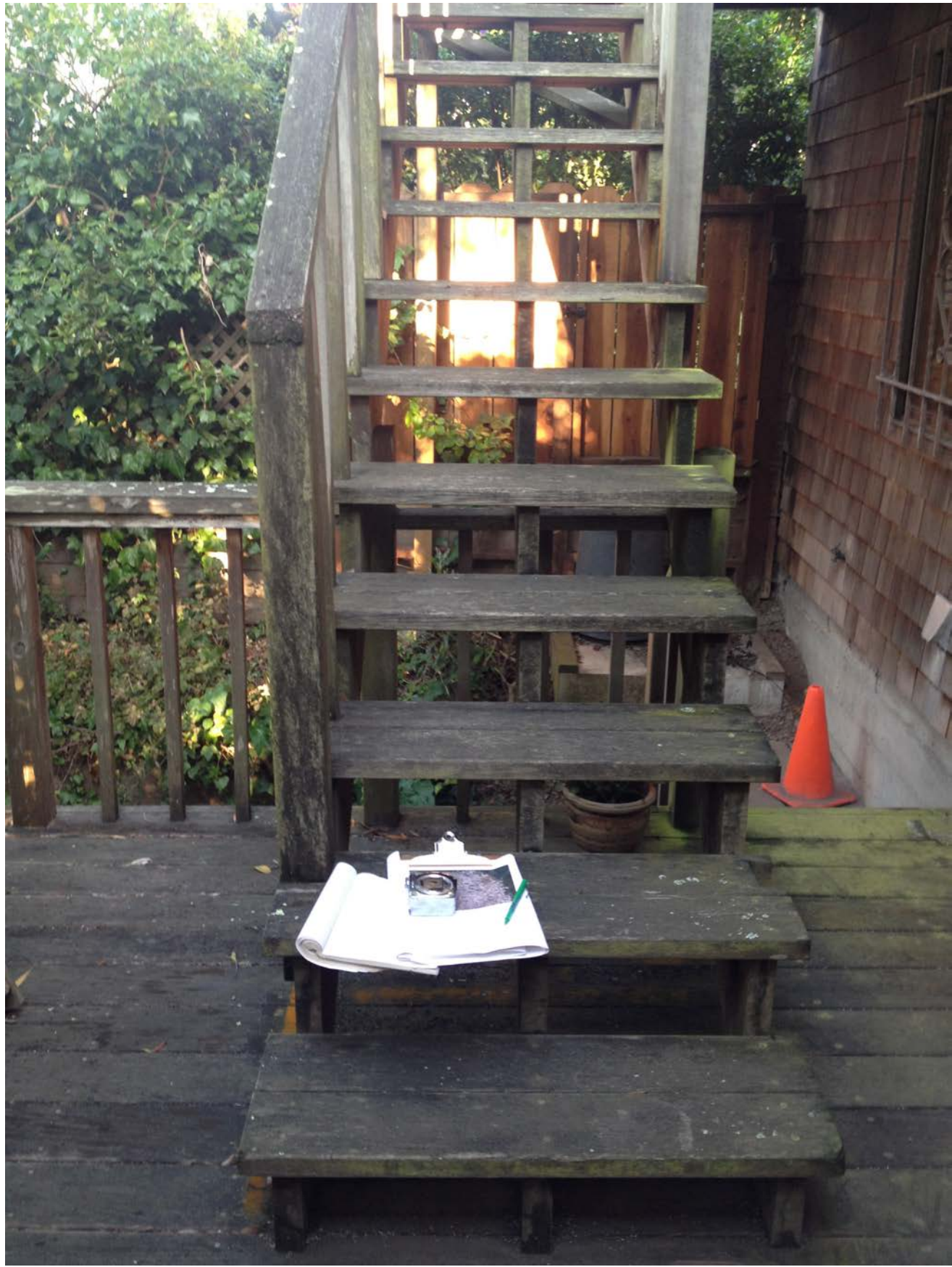





2 Existing Rear Yard Fence Photos  
Not to Scale



1 Existing Rear (North) Elevation Photos  
Not to Scale





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Existing Site  
 Photos: Rear Yard  
 SHEET NO.:  
**A0.05**



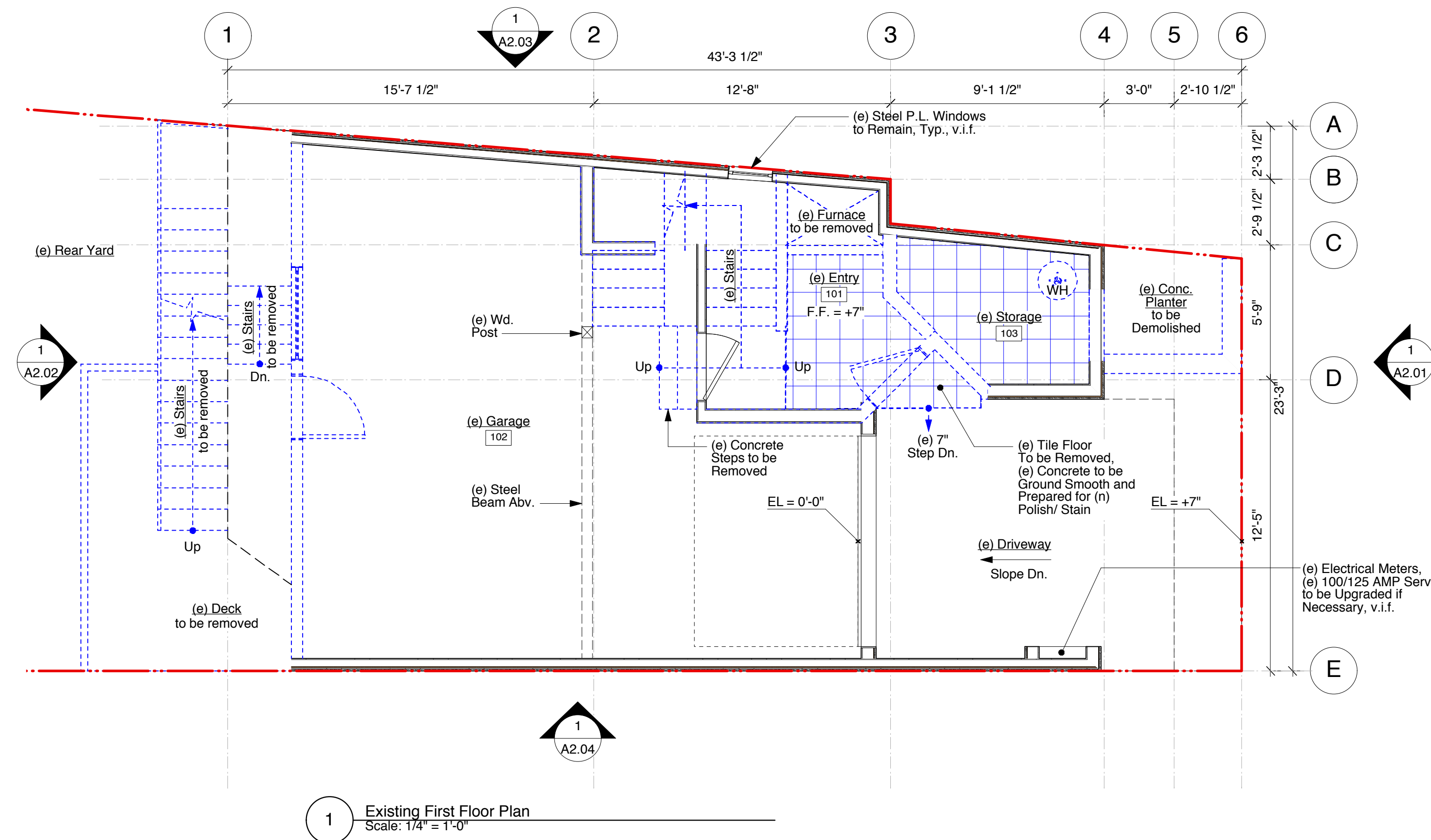
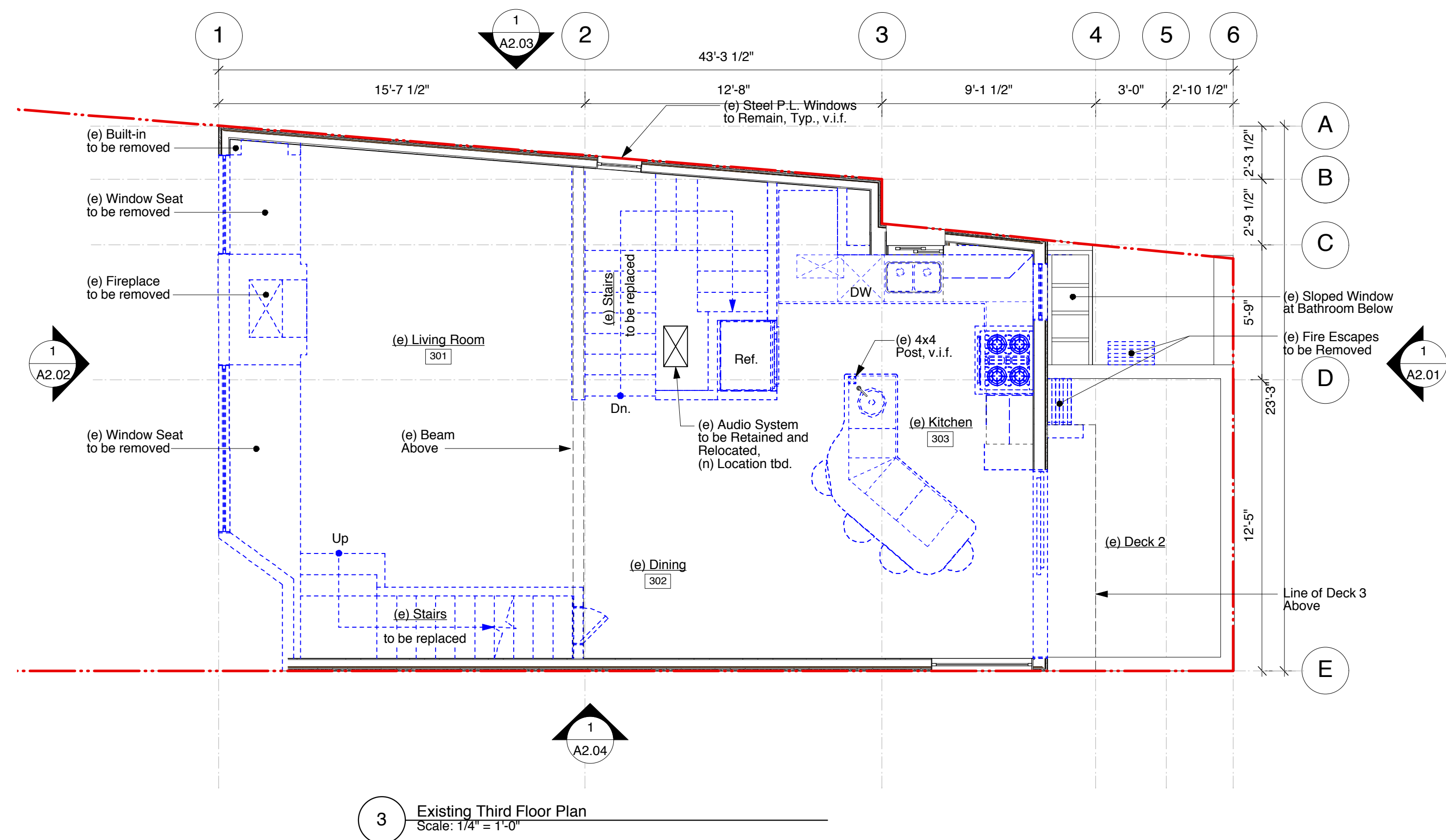
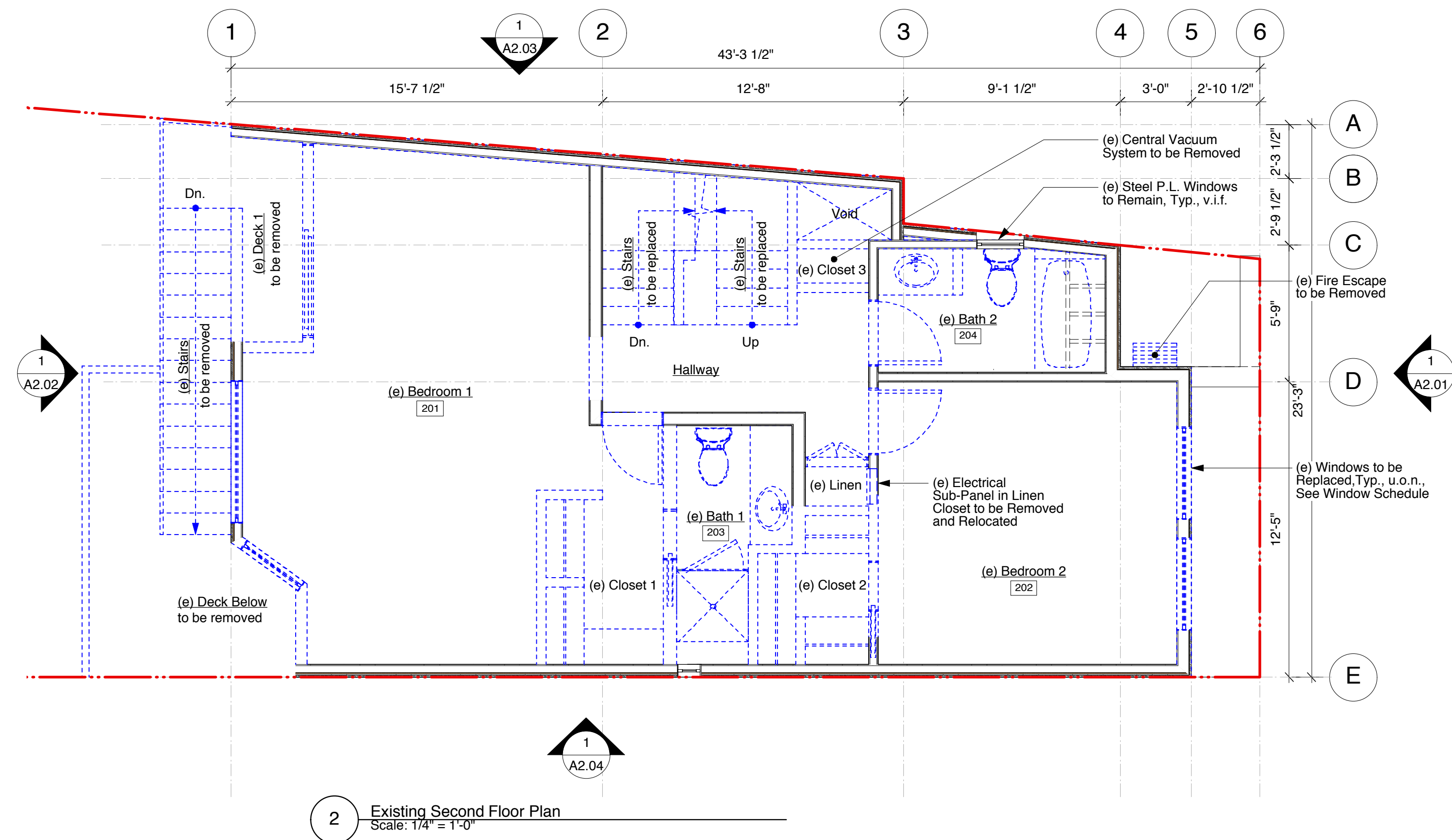
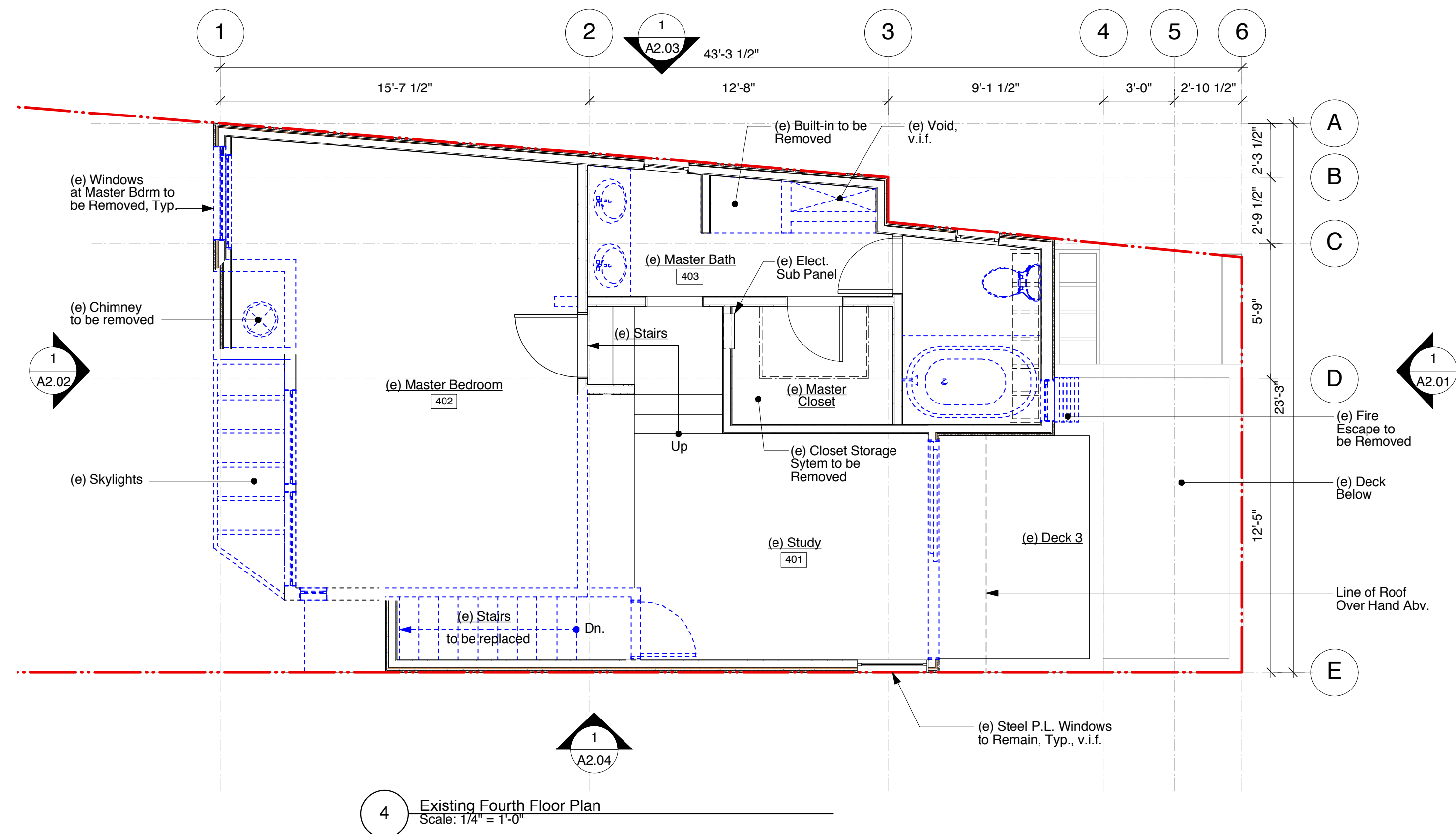
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Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Existing  
Floor Plans  
SHEET NO.:  
**A1.01**

Legend	Floor Plan Notes
(e) Wall to Remain	1. All dims. are to <b>Face of Finish</b> unless otherwise noted
(e) To Be Removed	2. Provide recessed blocking for bath accessories, verify location w/ architect & owner.
(n) Wall	3. All kitchen, bath & laundry room counters shall be 3'-0" A.F.F., U.O.N.
(n) Fire Rated Wall	
Area of Work	





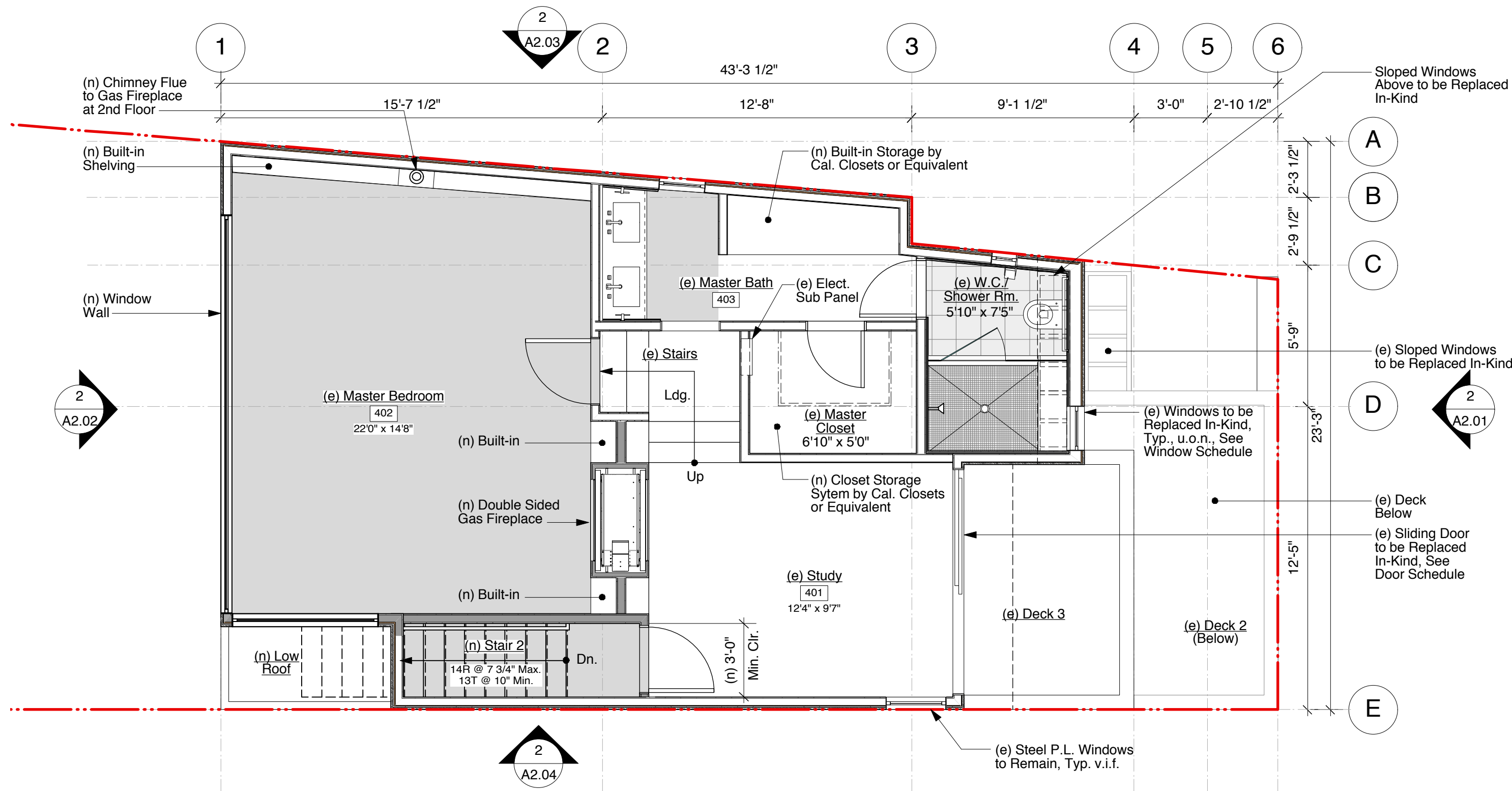
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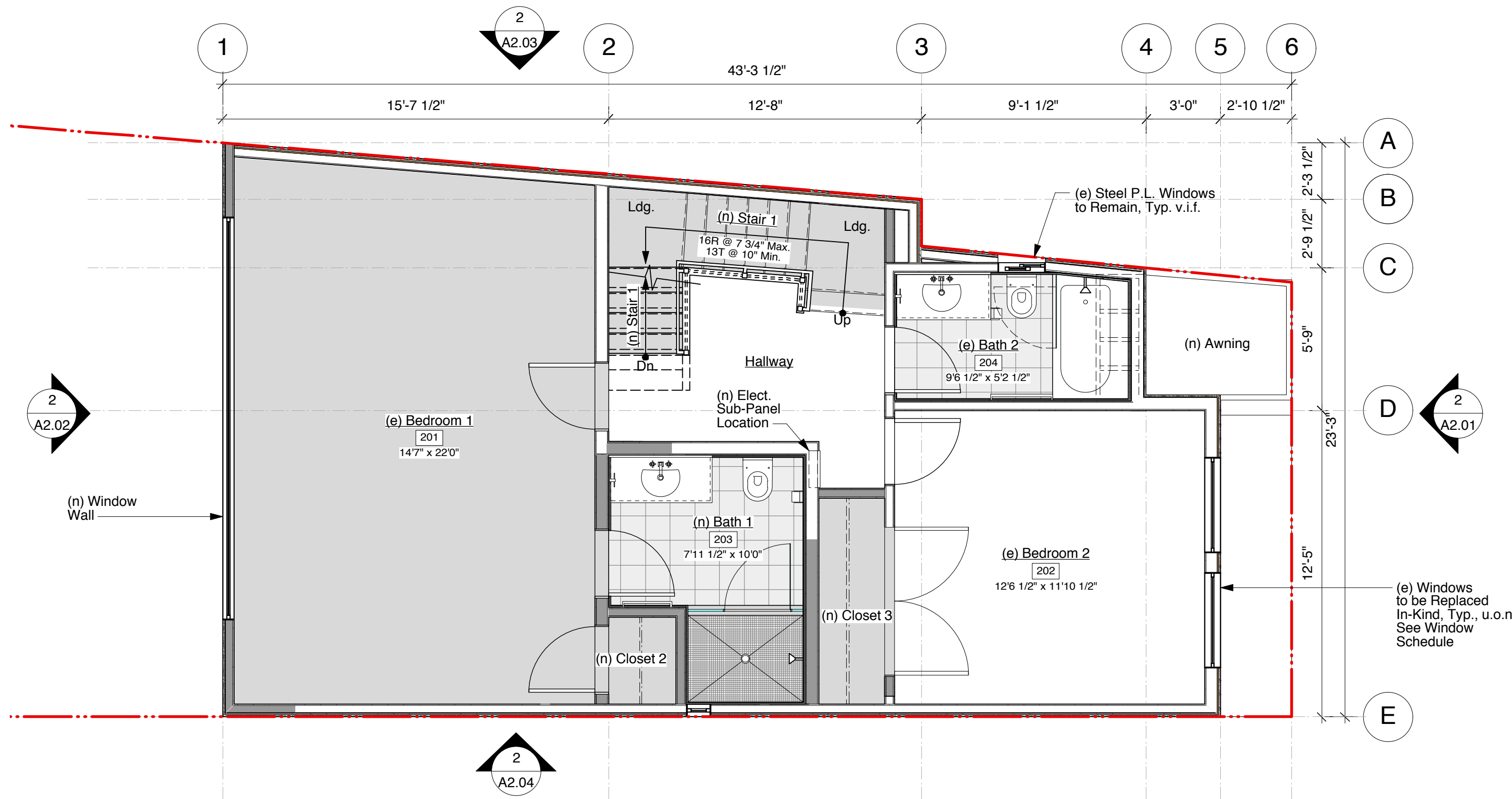
Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Proposed Floor  
Plans  
SHEET NO.:  
**A1.02**

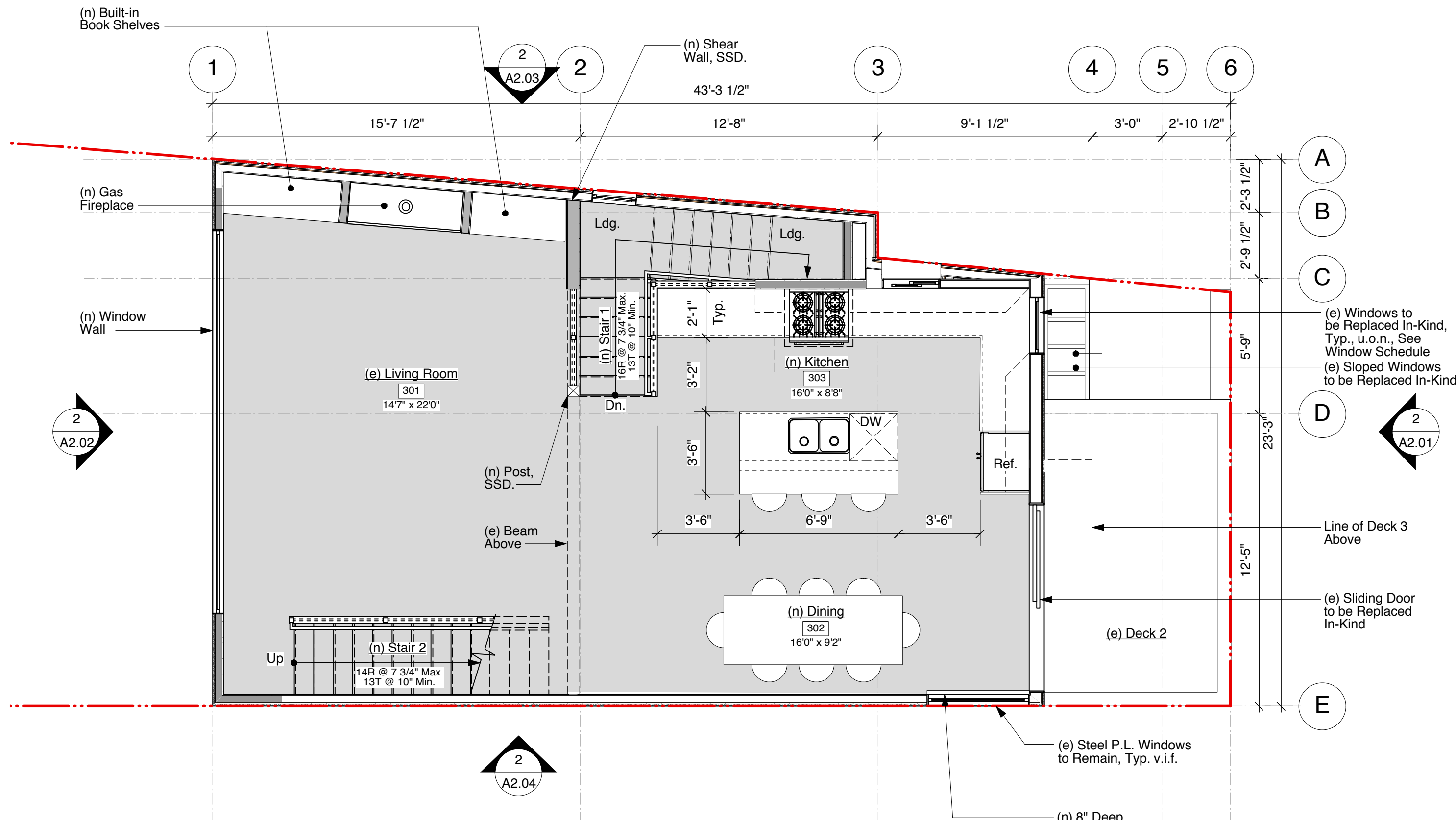
Legend	Floor Plan Notes
(e) Wall to Remain	1. All dims. are to <b>Face of Finish</b> unless otherwise noted
(e) To Be Removed	2. All kitchen, bath & laundry room counters shall be 3'-0" A.F.F., U.O.N.
(n) Wall	
(n) Fire Rated Wall	
Area of Work	



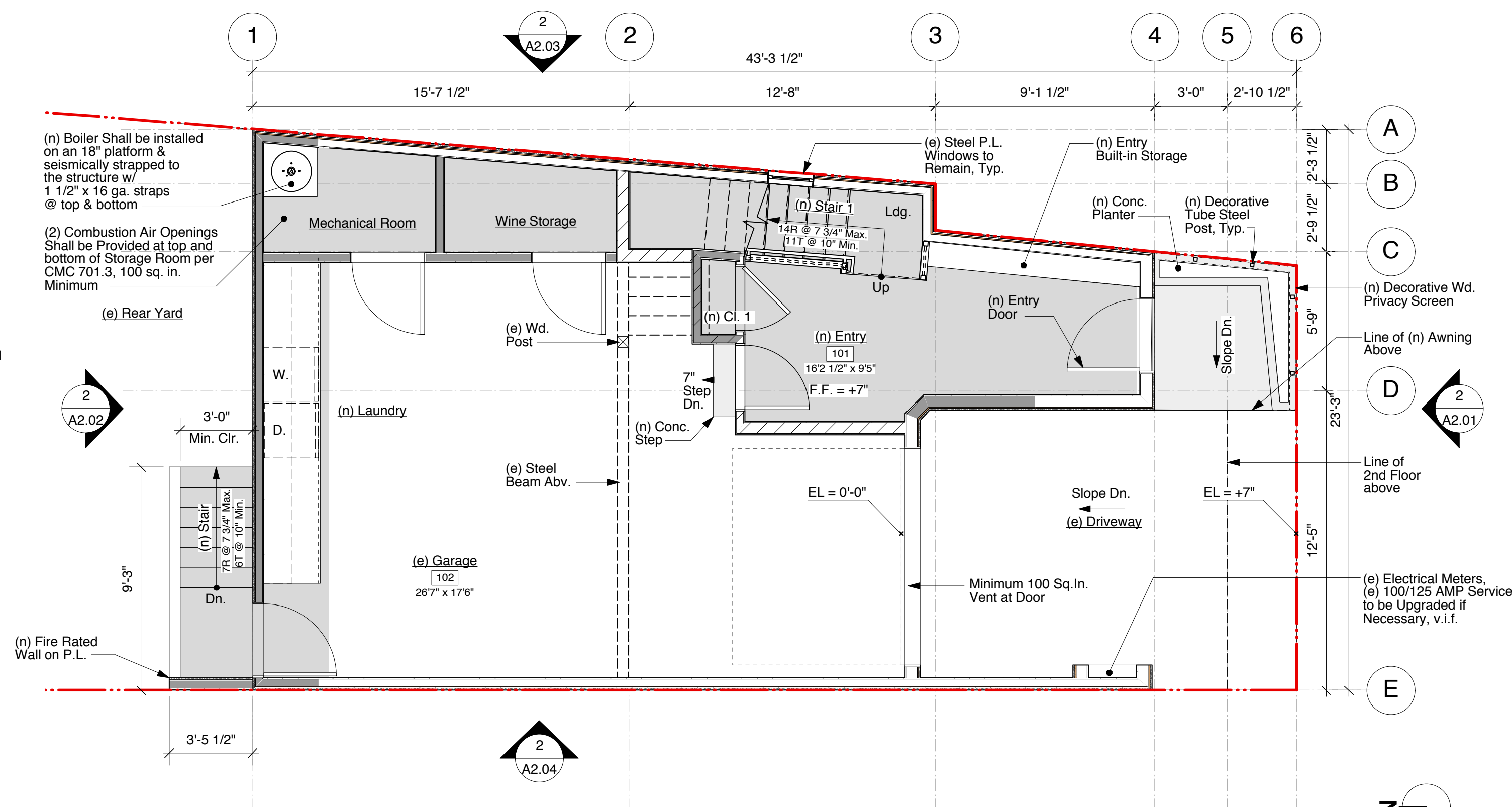
4 Proposed Fourth Floor Plan  
Scale: 1/4" = 1'-0"



2 Proposed Second Floor Plan  
Scale: 1/4" = 1'-0"



3 Proposed Third Floor Plan  
Scale: 1/4" = 1'-0"



1 Proposed First Floor Plan  
Scale: 1/4" = 1'-0"



Design Notes:

- 1 New and Replacement Aluminium Doors and Windows, Powder Coated Black to Match (e)
- 2 Existing Cedar Shingle Siding, New Cedar Shingle Siding to Match Existing Where Necessary
- 3 Existing Redwood Plywood Siding at Property Line
- 4 Existing and New 2x6 Redwood Fascia and Trim
- 5 Existing and New Built-up Roofing
- 6 Flue for Fireplace will terminate a minimum of 2 feet above any portion of building within 10 feet. And shall terminate 3'-0" from the P.L.
- 7 Opening Protectives: Per CBC Table 705.8
- 8 GSM Vertical Rainwater Leaders: To be Sized in Accordance with Table 11-1 of the 2010 CPC
- 9 GSM Gutters: To be Sized in Accordance with Table 11-3 of the 2010 CPC
- 10 Roof/ Attic Ventilation: Vent strips shall be installed at each framing bay so as to provide sufficient high and low ventilation in accordance with CBC Section 1203.

MH ARCHITECTS

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YOKOO - KELLY RESIDENCE

Residential Renovation

4 Miley Street

San Francisco, CA 94123

APN: 0942/ 035

REV	DATE
As-Builts	10.19.12
Schematic Design	07.15.13
Pre-Application Meeting	08.08.13
Planning Submittal	09.10.13
Planning Re-Submittal	02.04.14

Date:

02.04.14

Drawn By:

SS

Project No.:

1233

Scale:

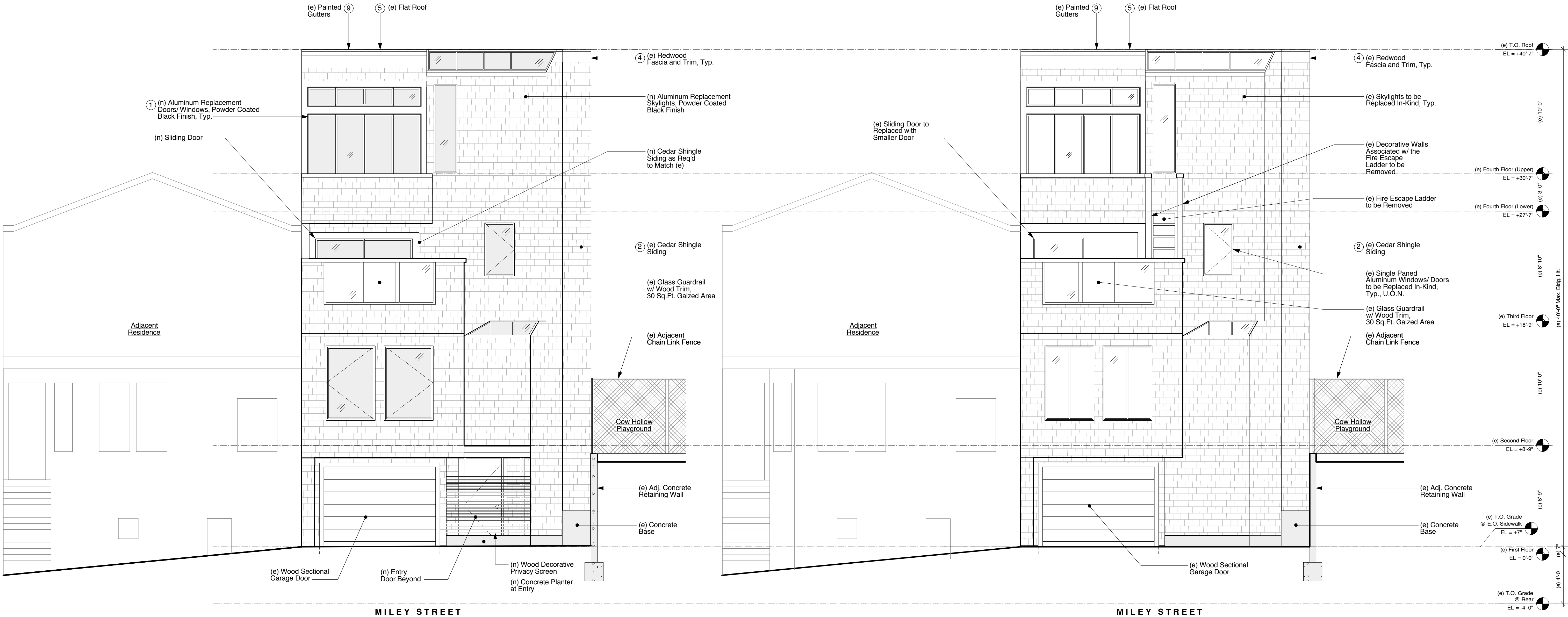
As Noted

Exist. & Proposed

Front Elevations

SHEET NO.:

A2.01



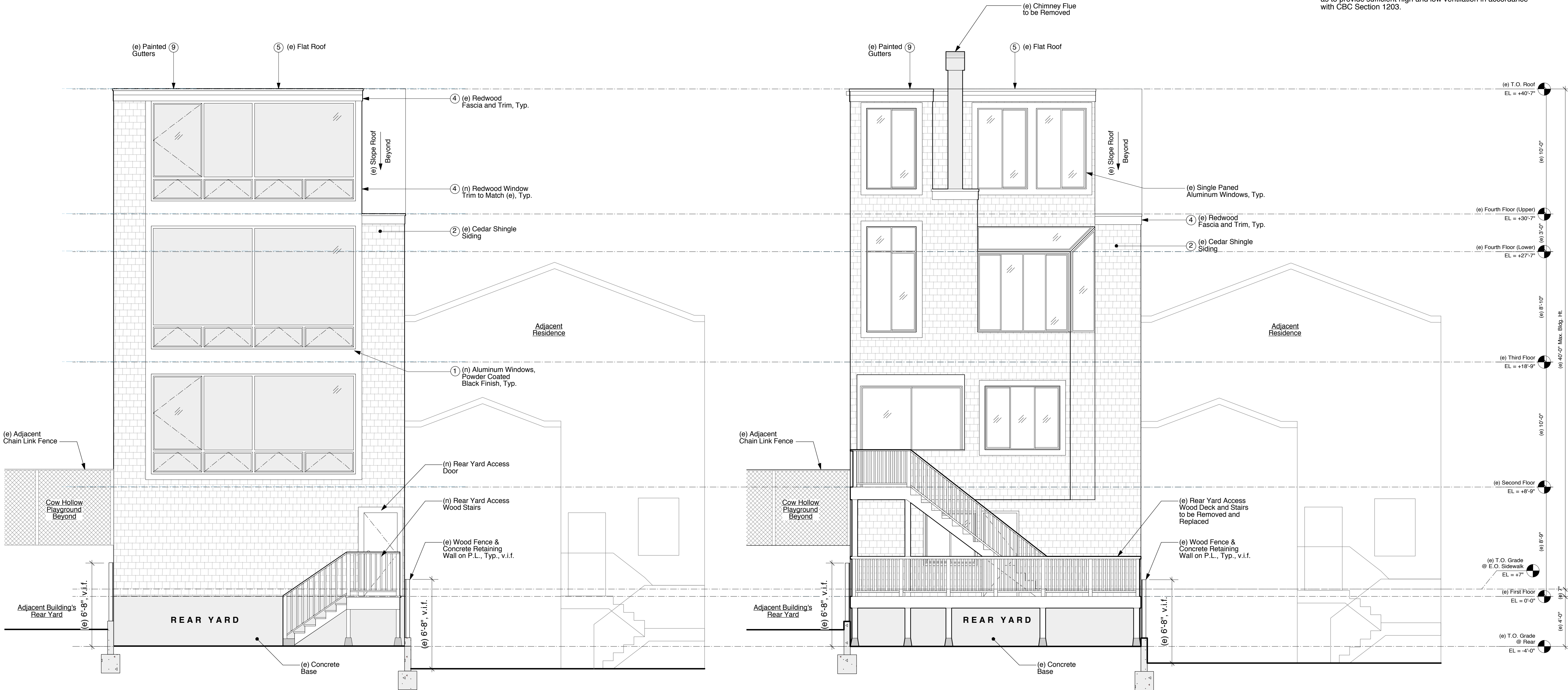
2 Proposed Front Elevation (South Elevation)  
Scale: 1/4" = 1'-0"

1 Existing Front Elevation (South Elevation)  
Scale: 1/4" = 1'-0"



Design Notes:

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- 7 **Opening Protectives:** Per CBC Table 705.8
- 8 **GSM Vertical Rainwater Leaders:** To be Sized in Accordance with Table 11-1 of the 2010 CPC
- 9 **GSM Gutters:** To be Sized in Accordance with Table 11-3 of the 2010 CPC
- 10 **Roof/ Attic Ventilation:** Vent strips shall be installed at each framing bay so as to provide sufficient high and low ventilation in accordance with CBC Section 1203.



2 Proposed Rear Elevation (North Elevation)  
Scale: 1/4" = 1'-0"

1 Existing Rear Elevation (North Elevation)  
Scale: 1/4" = 1'-0"

REV	DATE
As-Builts	10.19.12
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Planning Submittal	09.10.13
Planning Re-Submittal	02.04.14

Date:	02.04.14
Drawn By:	SS
Project No.:	1233
Scale:	As Noted



Design Notes:

- ① New and Replacement Aluminium Doors and Windows, Powder Coated Black to Match (e)
- ② Existing Cedar Shingle Siding, New Cedar Shingle Siding to Match Existing Where Necessary
- ③ Existing Redwood Plywood Siding at Property Line
- ④ Existing and New 2x6 Redwood Fascia and Trim
- ⑤ Existing and New Built-up Roofing
- ⑥ Flue for Fireplace will terminate a minimum of 2 feet above any portion of building within 10 feet. And shall terminate 3'-0" from the P.L.
- ⑦ **Opening Protectives:** Per CBC Table 705.8
- ⑧ **GSM Vertical Rainwater Leaders:**  
To be Sized in Accordance with Table 11-1 of the 2010 CPC
- ⑨ **GSM Gutters:**  
To be Sized in Accordance with Table 11-3 of the 2010 CPC
- ⑩ **Roof/ Attic Ventilation:**  
Vent strips shall be installed at each framing bay so as to provide sufficient high and low ventilation in accordance with CBC Section 1203.



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Residential Renovation

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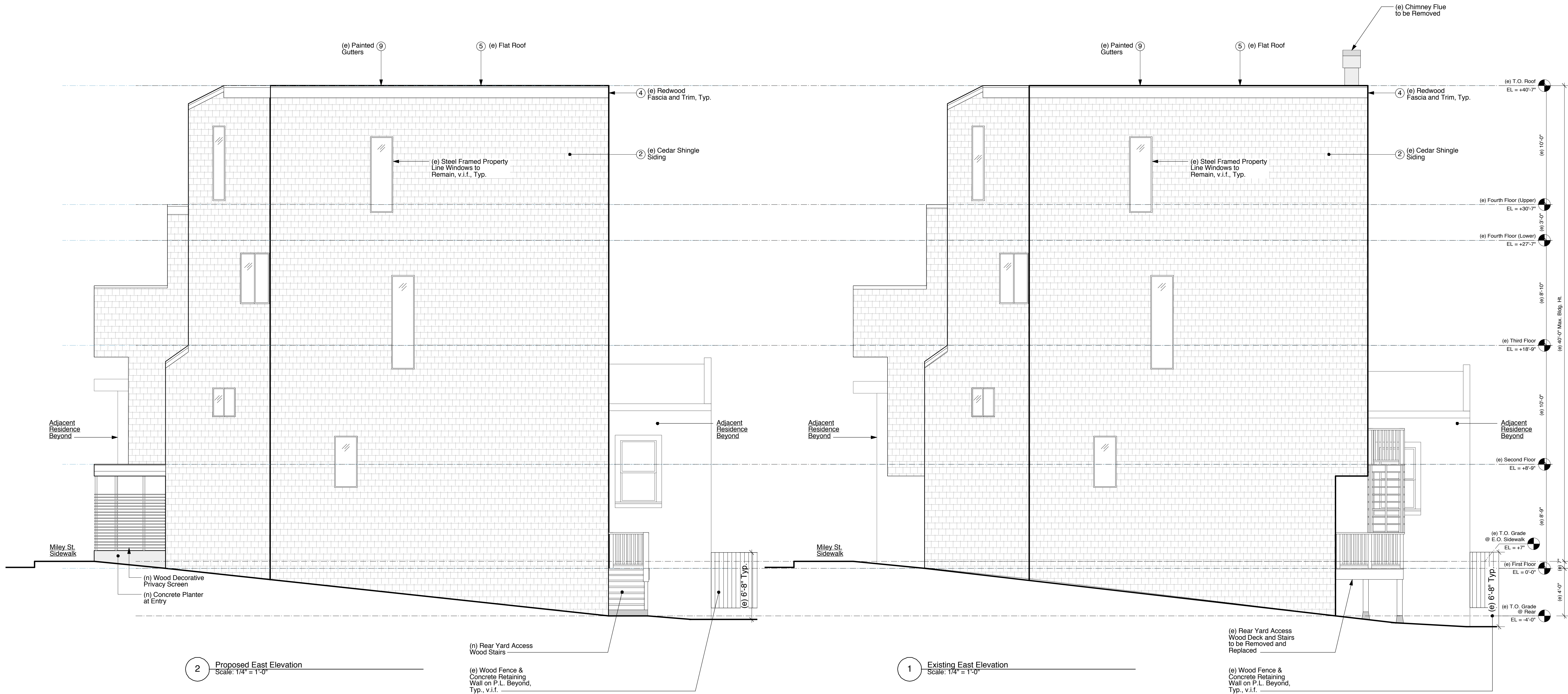
REV	DATE
As-Built	10.19.12
Schematic Design	07.15.13
Pre-Application Meeting	08.08.13
Planning Submittal	09.10.13
Planning Re-Submittal	02.04.14

Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Exist. & Proposed  
East Elevations

SHEET NO.:

A2.03





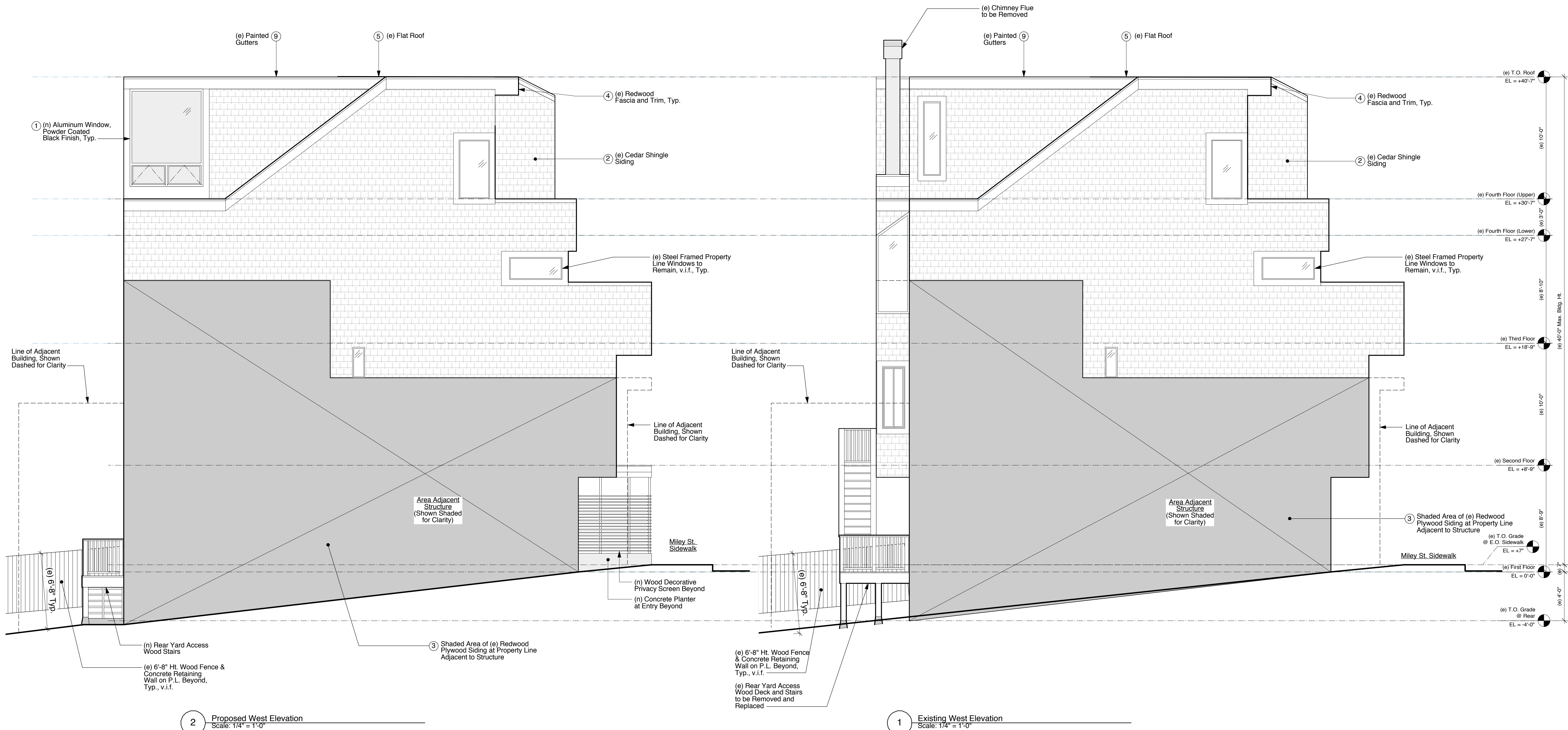


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## Design Notes:

- ① New and Replacement Aluminium Doors and Windows, Powder Coated Black to Match (e)
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- ⑦ **Opening Protectives:** Per CBC Table 705.8
- ⑧ **GSM Vertical Rainwater Leaders:**  
To be Sized in Accordance with Table 11-1 of the 2010 CPC
- ⑨ **GSM Gutters:**  
To be Sized in Accordance with Table 11-3 of the 2010 CPC
- ⑩ **Roof/ Attic Ventilation:**  
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## YOKOO - KELLY RESIDENCE

### Residential Renovation

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San Francisco, CA 94123

APN: 0942/ 035

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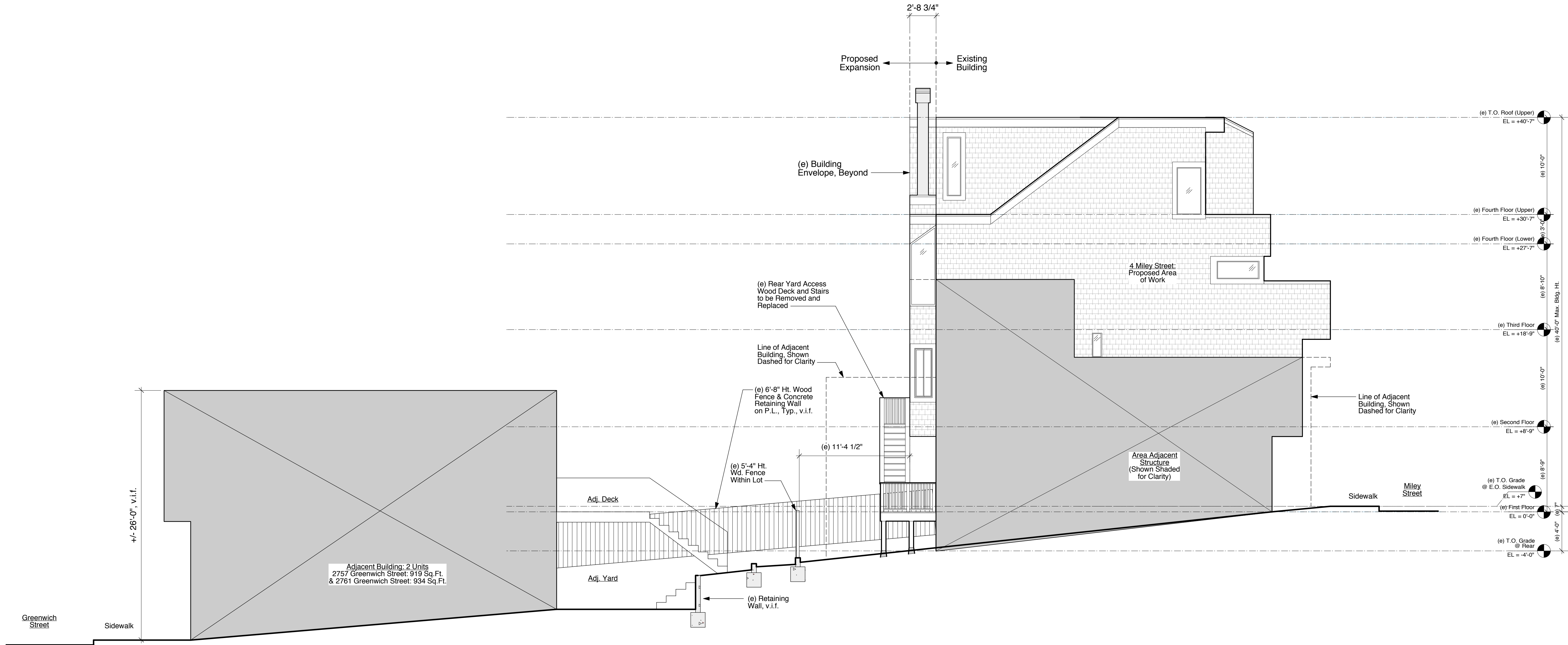
Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Exist. & Proposed  
West Elevations

SHEET NO.:

A2.04





1 Existing Site Section  
Scale: 3/16" = 1'-0"



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**APN: 0942/ 035**

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Planning Re-Submittal	02.04.14

Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Existing  
Site Section  
SHEET NO.:  
**A3.01**





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**YOKOO - KELLY RESIDENCE**  
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Planning Re-Submittal	02.04.14

Date: 02.04.14  
Drawn By: SS  
Project No.: 1233  
Scale: As Noted

Proposed  
Site Section  
SHEET NO.:  
**A3.02**

