



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 24, 2016**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Side Yard and Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>129 De Soto St</b>	Case No.: <b>2013.1269V</b>
Cross Street(s): <b>Urbano Drive</b>	Building Permit: <b>2014.08.25.4602</b>
Block / Lot No.: <b>6920/010</b>	Applicant/Agent: <b>Troy Kashanipour</b>
Zoning District(s): <b>RH-1(D) / 40-X</b>	Telephone: <b>(415) 431-0869</b>
Area Plan: <b>N/A</b>	E-Mail: <b>tk@tkworkshop.com</b>

### PROJECT DESCRIPTION

The proposed work is to construct an independent one-story garage structure on the southwest corner of the subject lot. The proposed garage, which would replace an existing parking pad along the south side lot line, would be approximately 17 feet wide, 36 feet deep, and 10 feet 6 inches tall and would provide two off-street vehicle parking spaces in a tandem fashion, and two bicycle parking spaces.

**PER SECTION 133 OF THE PLANNING CODE**, the subject lot is required to maintain a 5 feet side yard along the south side lot line. The proposed garage structure would encroach 1 foot into the required side yard to within 4 feet of the south side line.

**PER SECTION 134 OF THE PLANNING CODE**, the subject lot is required to maintain a minimum rear yard depth of 30 feet, measured from the mid-point of the rear property line. The proposed garage structure would encroach 28 feet into the required rear yard to within 2 feet of the rear property line.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Andrew W. Perry** Telephone: **415-575-9017** Mail: [Andrew.Perry@sfgov.org](mailto:Andrew.Perry@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1269V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On December 24, 2014, the Department issued the required Section 311 notification for this project (expires January 23, 2015).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

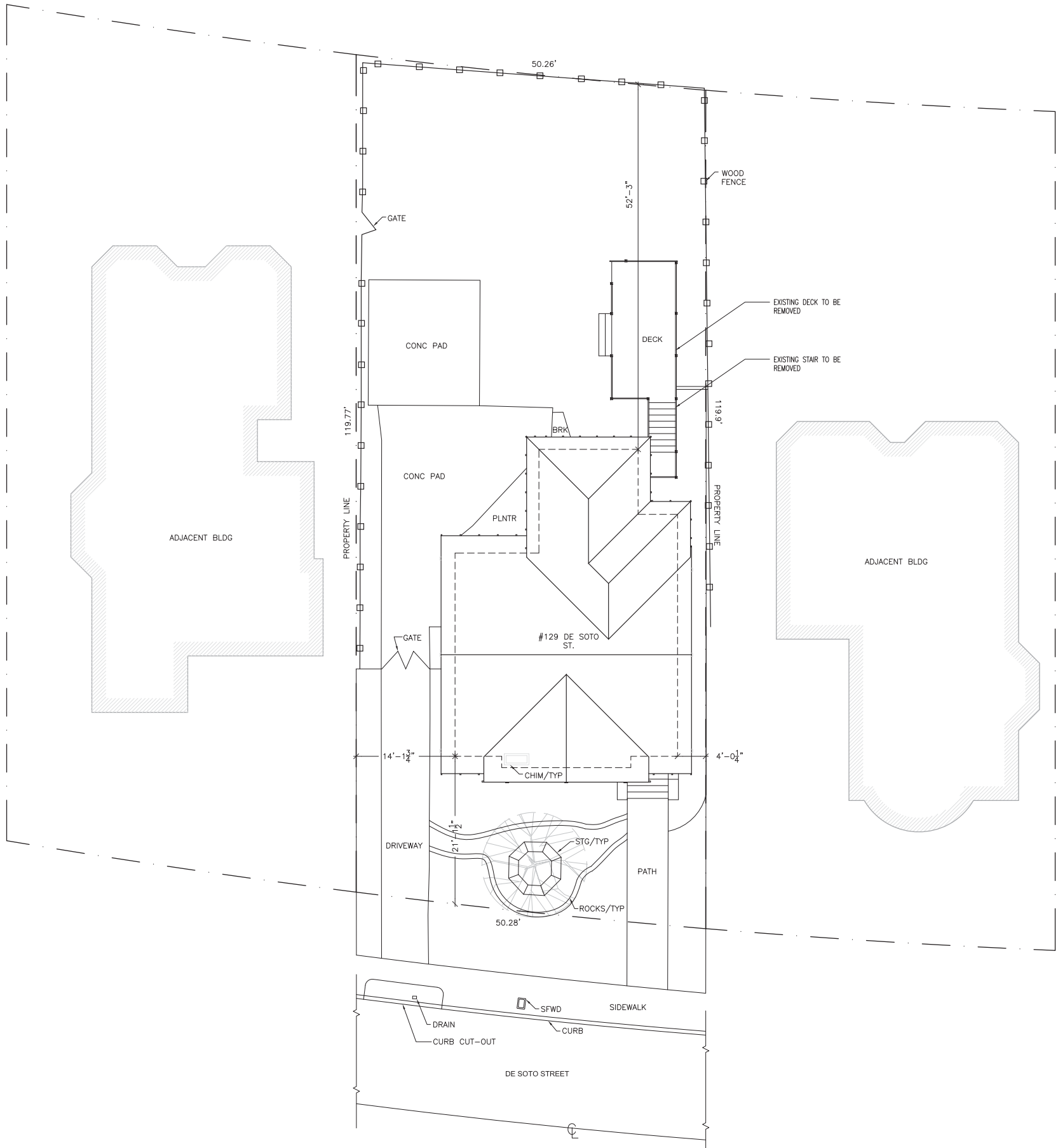
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



1

EXISTING SITE PLAN

SCALE: 1/8"=1'-0"



EXISTING SITE PLAN

A0.1A

OWNER: CORINA NURIMBA &  
DAN HAMBALI  
715 VICTORIA STREET  
SAN FRANCISCO, CA 94132  
PHONE: 415.203.1639  
CORINACOCO@YAHOO.COM

ISSUE: DATE:  
ISSUED FOR SITE PERMIT 08.20.14

CONSULTANT

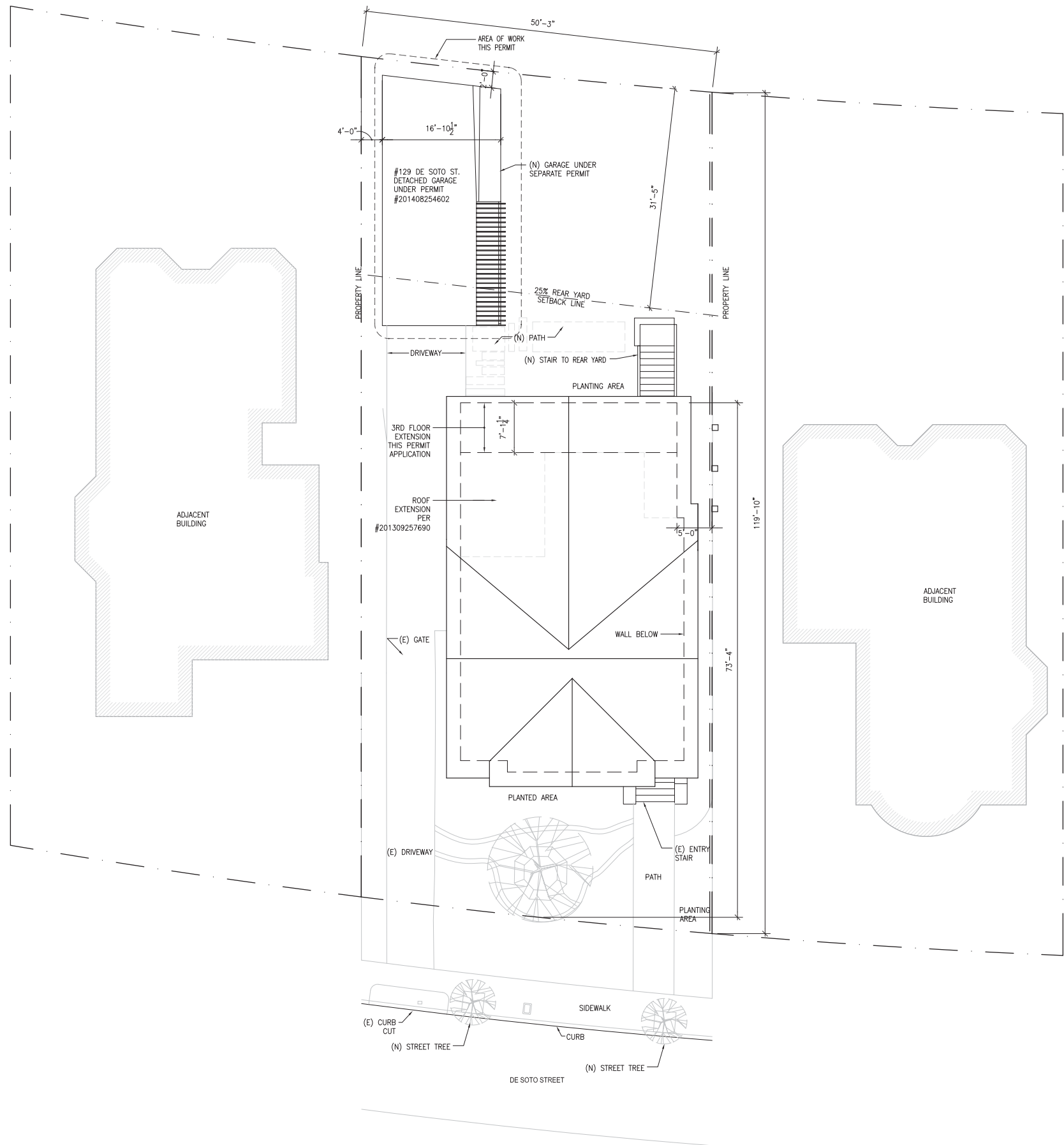
APPROVAL



DRAWN: TK  
CHECKED: TK  
SCALE: NONE

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107, PHONE/FAX 415.431.0869

129 DESOTO STREET



1 PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107, PHONE/FAX 415.431.0869

129 DE SOTO STREET

OWNER: CORINA NURIMBA & DAN HAMBALI  
715 VICTORIA STREET  
SAN FRANCISCO, CA 94132  
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CORINACOCO@YAHOO.COM

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CONSULTANT

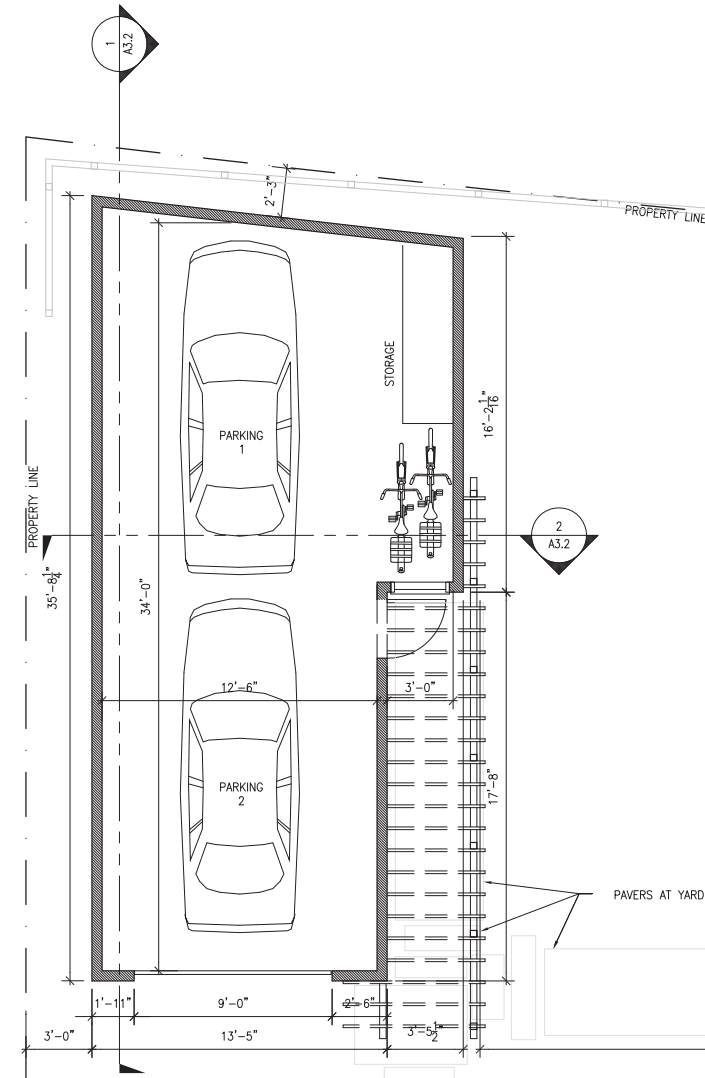
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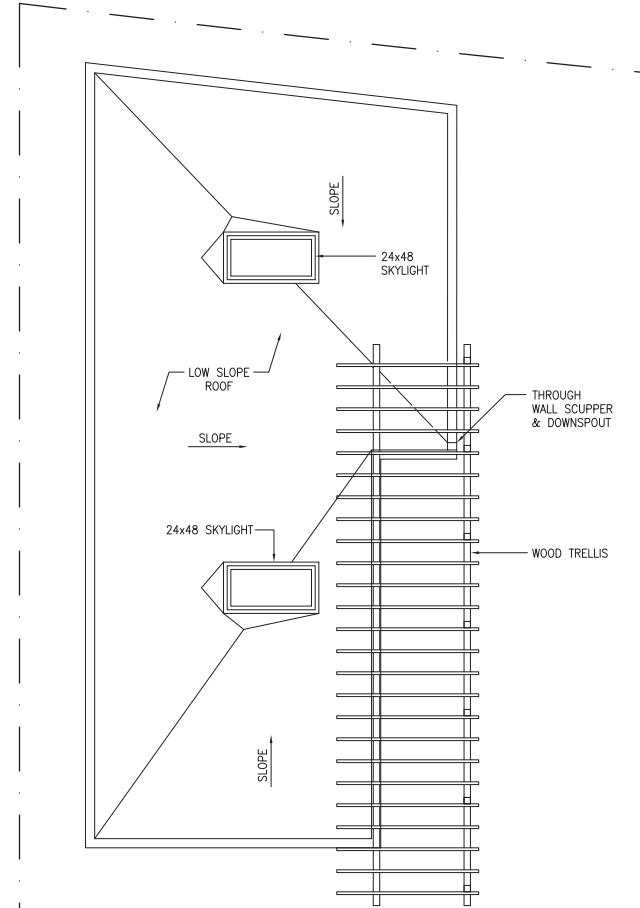
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PROPOSED SITE PLAN

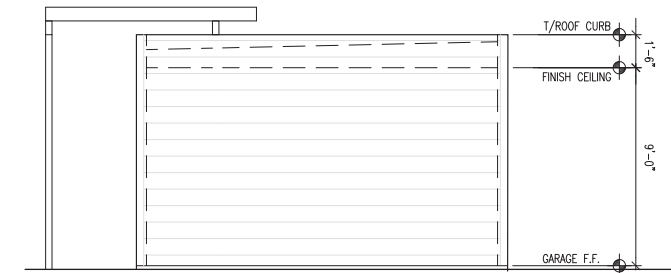
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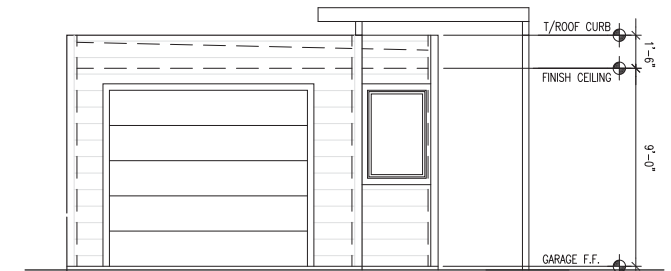
6 PROPOSED GARAGE PLAN  
SCALE: 1/4" = 1'-0"



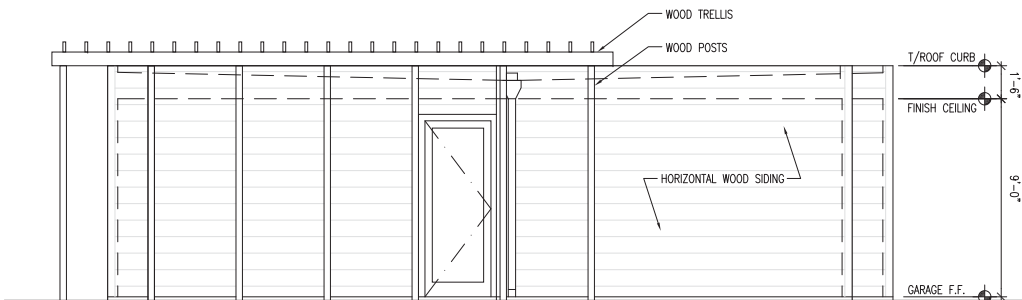
5 PROPOSED GARAGE ROOF PLAN  
SCALE: 1/4" = 1'-0"



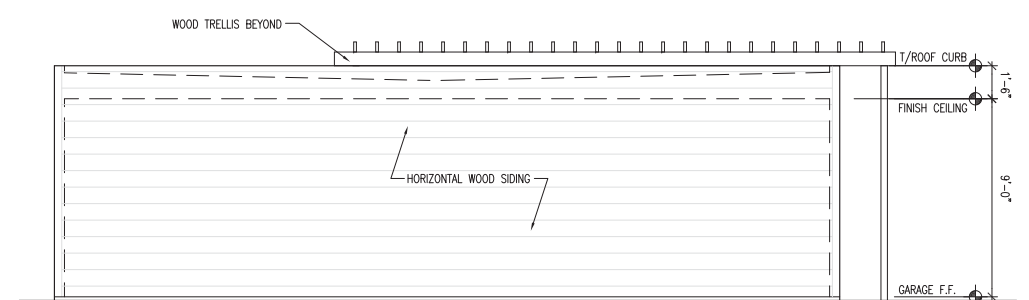
4 PROPOSED EAST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



3 PROPOSED WEST GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"

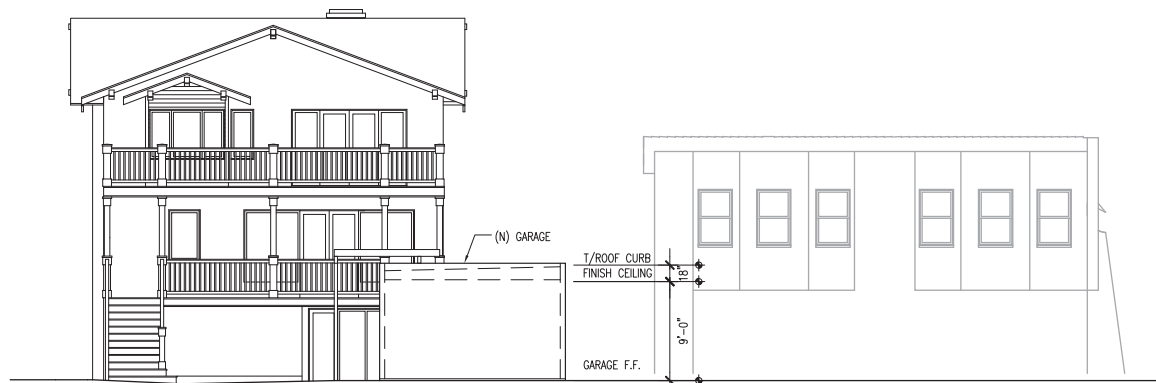


2 PROPOSED NORTH GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH GARAGE ELEVATION  
SCALE: 1/4" = 1'-0"

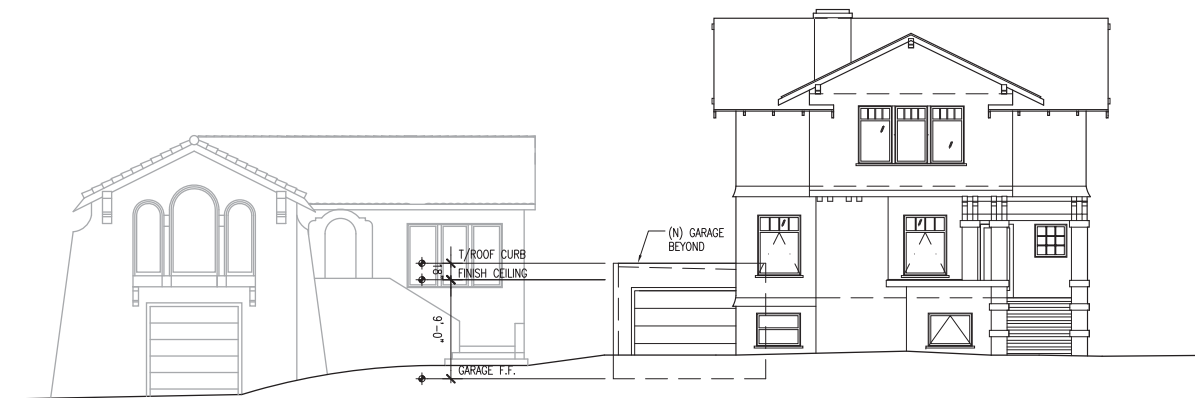
TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107, PHONE/FAX 415.431.0869		129 DESOTO STREET	
OWNER: CORINA NURIMBA & DAN HAMBALI 715 VICTORIA STREET SAN FRANCISCO, CA 94132 PHONE: 415.203.1639 CORINACOCO@YAHOO.COM		DATE: 08.20.14	
ISSUE: ISSUED FOR SITE PERMIT		DATE: 08.20.14	
CONSULTANT		APPROVAL	
		DRAWN: TK CHECKED: TK SCALE: 1/4"=1'-0"	
PROPOSED GARAGE FLOOR PLANS AND ELEVATIONS			
A2.2			



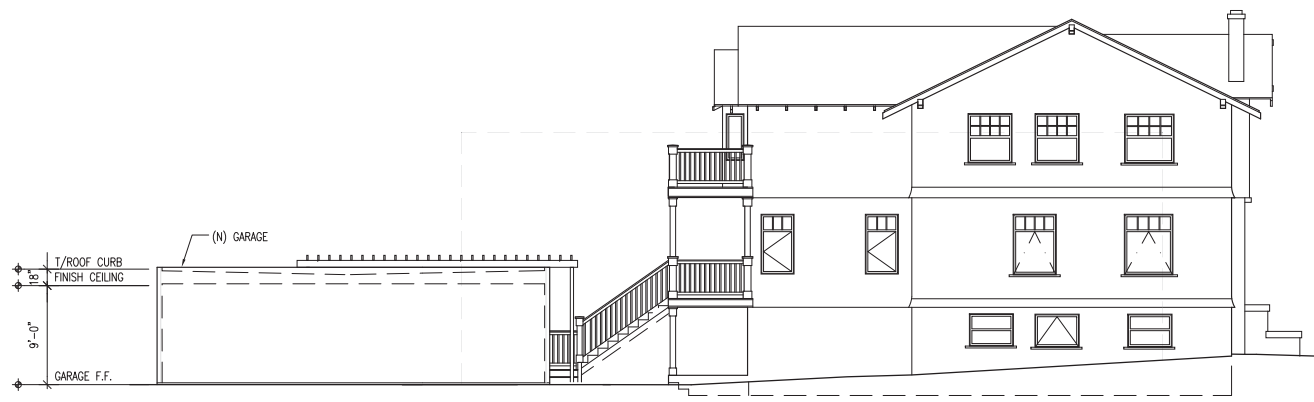
14 PROPOSED WEST ELEVATION  
SCALE: 1/8"= 1'-0"



13 PROPOSED NORTH ELEVATION  
SCALE: 1/8"= 1'-0"



6 PROPOSED EAST ELEVATION  
SCALE: 1/8"= 1'-0"



5 PROPOSED EAST ELEVATION  
SCALE: 1/8"= 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107, PHONE/FAX 415.431.0869

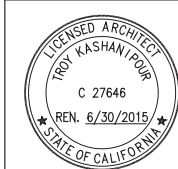
129 DESOTO STREET

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ISSUE: ISSUED FOR SITE PERMIT DATE: 08.20.14

CONSULTANT

APPROVAL



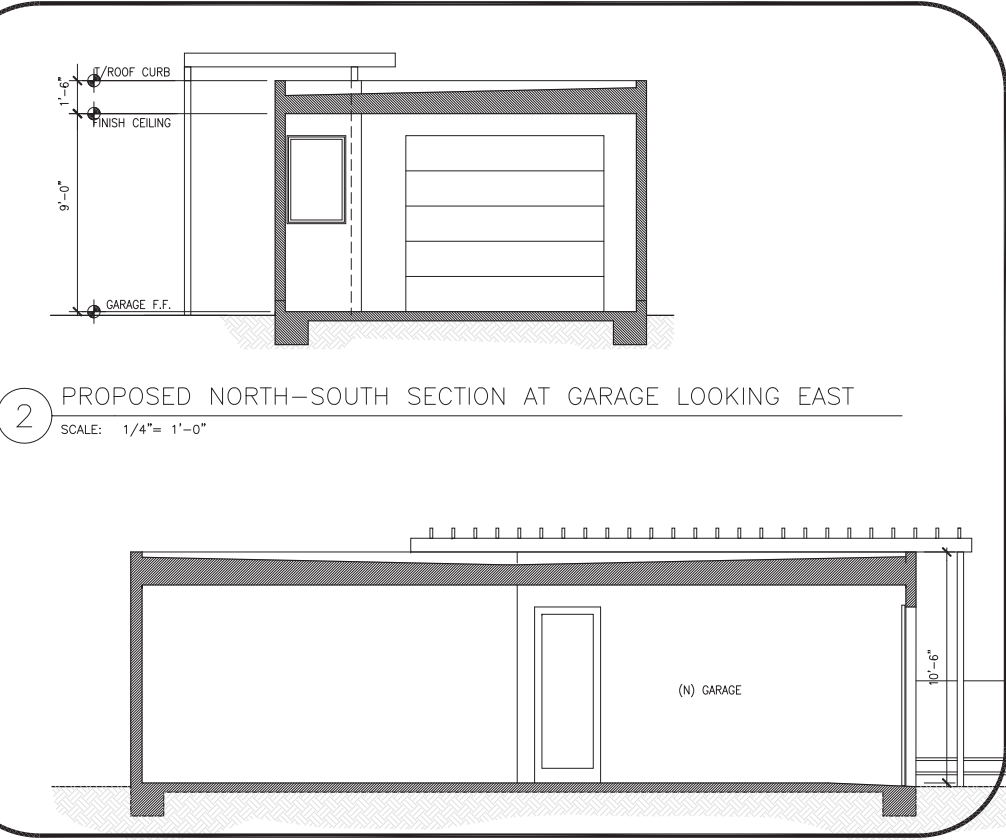
DRAWN: TK  
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SCALE: 1/4"=1'-0"

PROPOSED ELEVATIONS

A3.1

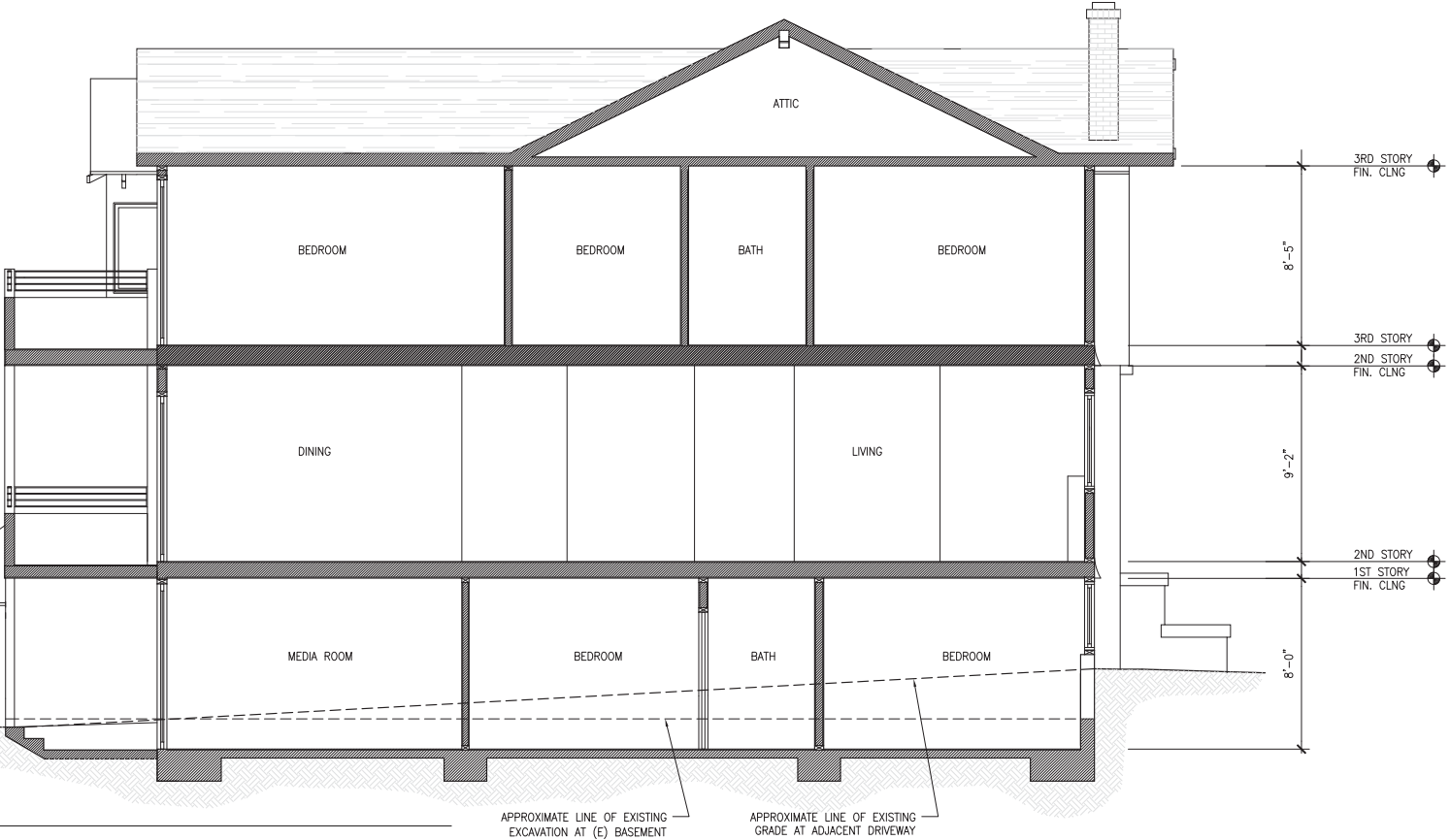
AREA OF WORK

SHOWN FOR REFERENCE: RENOVATION & ADDITION UNDER PERMIT #201309257690



2 PROPOSED NORTH-SOUTH SECTION AT GARAGE LOOKING EAST  
SCALE: 1/4"= 1'-0"

1 PROPOSED EAST WEST SECTION LOOKING NORTH  
SCALE: 1/4"= 1'-0"



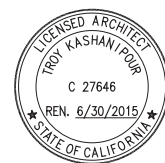
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CONSULTANT

APPROVAL



DRAWN:

TK

CHECKED:

TK

SCALE:

1/4"=1'-0"

PROPOSED  
BUILDING SECTION

A3.2

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SF CA 94107, PHONE/FAX 415.431.0869

129 DESOTO STREET