



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 4, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|----------------------|-----------------------------------|-------------------------|---------------------------|
| Project Address: | 3647 22nd St | Case No.: | 2013.1267V |
| Cross Street(s): | 22nd St. & Sanchez St. | Building Permit: | 2013.0708.1319 |
| Block / Lot No.: | 3627/045 | Applicant/Agent: | Lisa Caccavo |
| Zoning District(s): | RH-2 / 40-X | Telephone: | 415-424-4642 |
| Area Plan: | N/A | E-Mail: | Lcaccavo@yahoo.com |

PROJECT DESCRIPTION

The proposal is to legalize an existing dwelling unit and infill a side area of the existing building. The lot is 25 feet wide and 100 feet deep, with an 8-foot wide portion extending to 128 feet deep. The existing building encroaches 20 feet 6 inches into the required rear yard. The proposed side infill is 3 feet 9 inches wide and 15 feet 3 inches deep, and will not expand the overall extents of the building. Additional work includes interior work and a new street tree.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 45 feet. The proposed infill located at the side of the first and second story encroaches approximately 9 feet 8 inches into the required rear yard, and thus requires a variance from the rear yard requirement.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jeffrey Speirs**

Telephone: **415-575-9106** E-Mail: Jeffrey.speirs@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1267V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

*NOTE:
1. NOT ALL ABBREVIATIONS HAVE BEEN USED IN THE ARCHITECTURAL DRAWINGS.
2. THERE MAY BE ABBREVIATIONS USED THAT ARE NOT LISTED IN THE ABBREVIATION SCHEDULE. ADVISE ARCHITECT IF THERE ARE ABBREVIATIONS USED, WHICH ARE NOT LISTED, THAT REQUIRE CONFIRMATION ON THE MEANING.

| | | | |
|---------|----------------------|---------|-------------------------|
| & | AND | MIR. | MIRROR |
| < | ANGLE | MISC. | MISCELLANEOUS |
| @ | AT | MTD. | MOUNTED |
| C | CENTERLINE | MUL. | MULLION |
| Ø | DIAMETER OR ROUND | | |
| # | POUND OR NUMBER | N/A | NOT APPLICABLE |
| (E) | EXISTING | N.I.C. | NOT IN CONTRACT |
| (N) | NEW | N.T.S | NOT TO SCALE |
| ADJ. | ADJUSTABLE | | |
| A.F.F. | ABOVE FINISHED FLOOR | OBS. | OBSCURE |
| AGGR. | AGGREGATE | O.C. | ON CENTER |
| ALUM | ALUMINUM | O.D. | OUTSIDE DIAMETER (DIM.) |
| APPROX. | APPROXIMATE | OH | OPPOSITE HAND |
| ARCH. | ARCHITECTURAL | OPNG. | OPENING |
| | | OPP. | OPPOSITE |
| BD. | BOARD | | |
| BLDG. | BUILDING | PL. | PLATE |
| BLKG. | BLOCKING | P.LAM. | PLASTIC LAMINATE |
| BM. | BEAM | PLAS. | PLASTER |
| BOT. | BOTTOM | PLYWD. | PLYWOOD |
| | | PR. | PAIR |
| | | PT. | POINT |
| CAB. | CABINET | | |
| CEM. | CEMENT | R.C.P. | REFLECTED CEILING PLAN |
| CER. | CERAMIC | R.D. | ROOF DRAIN |
| CLG. | CEILING | REF. | REFERENCE |
| CLKG. | CAULKING | REFR. | REFRIGERATOR |
| CLO. | CLOSET | REINF. | REINFORCED |
| CLR. | CLEAR | REQ. | REQUIRED |
| CNTR. | COUNTER | RESIL. | RESILIENT |
| C.O. | CASED OPENING | RM. | ROOM |
| COL. | COLUMN | R.O. | ROUGH OPENING |
| CONC. | CONCRETE | RWD. | REDWOOD |
| CONN. | CONNECTION | R.W.L. | RAIN WATER LEADER |
| CONSTR. | CONSTRUCTION | | |
| CONT. | CONTINUOUS | S.C. | SOLID CORE |
| CORR. | CORRIDOR | SCHED. | SCHEDULE |
| CTR. | CENTER | SECT. | SECTION |
| | | SH. | SHOWER |
| DBL. | DOUBLE | SHT. | SHEET |
| DET. | DETAIL | SIM. | SIMILAR |
| DIA. | DIAMETER | SL. | SLOPE |
| DIM. | DIMENSION | SPEC. | SPECIFICATION |
| DN. | DOWN | SQ. | SQUARE |
| D.O. | DOOR OPENING | S.ST. | STAINLESS STEEL |
| DP. | DOUBLE PANE | STD. | STANDARD |
| DR. | DOOR | STL. | STEEL |
| DS. | DOWNSPOUT | STOR. | STORAGE |
| DWG. | DRAWING | STRUC. | STRUCTURAL |
| DWR. | DRAWER | SUSP. | SUSPENDED |
| | | SYM. | SYMMETRICAL |
| EA. | EACH | S.S.D. | SEE STRUCTURAL DRAWINGS |
| EL. | ELEVATION | S.C.D. | SEE CIVIL DRAWINGS |
| ELECT. | ELECTRICAL | S.E.D. | SEE ELECTRICAL DRAWINGS |
| ELEV. | ELEVATOR | S.P.D. | SEE PLUMBING DRAWINGS |
| EQ. | EQUAL | SP | SINGLE PANE |
| EQPT. | EQUIPMENT | S.L.D. | SEE LANDSCAPE DRAWINGS |
| EXST. | EXISTING | S.M.D. | SEE MECHANICAL DRAWINGS |
| EXT. | EXTERIOR | | |
| FIN. | FINISH | T.B.D. | TO BE DETERMINED |
| FL. | FLOOR | TEL. | TELEPHONE |
| FLUOR. | FLUORESCENT | TER. | TERRAZZO |
| FT. | FOOT OR FEET | T. & G. | TONGUE AND GROOVE |
| FTG. | FOOTING | TH. | THICK/THICKNESS |
| FURR. | FURRING | T.O.C. | TOP OF CONCRETE |
| F.D. | FLOOR DRAIN | T.O.P. | TOP OF PARAPET |
| FDN. | FOUNDATION | T.O.S. | TOP OF STEEL |
| | | T.P. | TOP OF PAVEMENT |
| GA. | GUAGE | T.O.W. | TOP OF WALL |
| GALV. | GALVANIZED | T.V. | TELEVISION |
| GL. | GLASS | TYP. | TYPICAL |
| GYP. | GYPSUM | | |
| | | UNF. | UNFINISHED |
| | | U.O.N. | UNLESS OTHERWISE NOTED |
| H.B. | HOSE BIBB | | |
| H.C. | HOLLOW CORE | | |
| HGT. | HEIGHT | VERT. | VERTICAL |
| HORIZ. | HORIZONTAL | V.I.F. | VERIFY IN FIELD |
| HR. | HOUR | | |
| | | W/W.C. | WITH WATER CLOSET |
| INSUL. | INSULATION | WD. | WOOD |
| INT. | INTERIOR | WDW. | WINDOW |
| | | WO | WITHOUT |
| KIT. | KITCHEN | W.O. | WHERE OCCURS |
| | | WP. | WATERPROOF |
| LAV. | LAVATORY | WT. | WEIGHT |
| | | | |
| MAX. | MAXIMUM | | |
| M.C. | MEDICINE CHEST | | |
| M.D. | METAL DECK | | |
| MECH. | MECHANICAL | | |
| MEMB. | MEMBRANE | | |
| MET. | METAL | | |
| MFR. | MANUFACTURER | | |
| MIN. | MINIMUM | | |

GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WTH THE FOLLOWING CODES :

2010 SAN FRANCISCO BUILDING CODE
2010 SAN FRANCISCO MECHANICAL CODE
2010 SAN FRANCISCO PLUMBING CODE
2010 SAN FRNACISCO ELECTRICAL CODE
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS IMMEDIATELY. WORK SHALL NOT PROCEED WITHOUT ARCHITECT'S AUTHORIZATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, CALL ARCHITECT WHERE CLARIFICATION IS REQUIRED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR LOCATIONS AND CONDITIONS.
- THESE DOCUMENTS DESCRIBE DESIGN INTENT. CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
- CONTRACTOR IS RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES, NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- ALL PLUMBING, ELECTRICAL AND HVAC WORK WILL BE PERFORMED UNDER SEPERATE DESIGN BUILD PERMITS FILED UNDER THIS APPLICATION.
- ANY HAZARDOUS MATERIALS ARE TO BE REMOVED PRIOR TO CONSTRUCTION. ANY QUESTIONS THAT ARISE RELATED TO ASBESTOS SHALL BE REFERRED TO THE OWNER FOR RESOLUTION. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL REPORT THE PRESENCE OF ANY MATERIAL OR ASSEMBLY SUSPECTED TO CONTAIN ASBESTOS UPON DISCOVERY. THE WORK SHALL BE CARRIED OUT PER THE CONSULTANTS RECOMMENDATIONS OUTSIDE OF THE WORK DESCRIBED IN THIS PERMIT.

DIRECTORY

Owners
Lisa Caccavo and Friedmann Thomma
3647 22nd St.
San Francisco, CA
E: LCaccavo@crowell.com

Designer/ Owners Rep.
David Straton
830 Bush St. #204
San Francisco, CA 94108
P.310.592.2477
E:DS2SF@yahoo.com

Architect:
Joel M. Karr
351 California St.
suite 350
San Francisco, CA 94104

PROJECT INFORMATION

Project Description:

Side infill for new stair (55 SQ.FT.) from main floor level to basement/lower level and out to rear yard.

Legalize the (E) lower basement unit (occupancy change from 1 unit to 2 units) as well as adding an egress window in the units bedroom area.

Job Address: 3647 22nd St., San Francisco, California
Block #: 3627
Lot #: 045
Site Area: 2,722 SF
Floor Area (Habitable Space):
Existing 1,858 SQ.FT. Proposed:
Basement/1st Floor 332 SQ. FT. LEGALIZE 332 SQ.FT.
Main Floor 1,188 SQ.FT. 1,243 SQ.FT.
Upper Floor 670 SQ.FT. 670 SQ.FT.
Total 2,190 SQ.FT. 2,245 SQ.FT.

Zoning: RH2
Occupancy R3

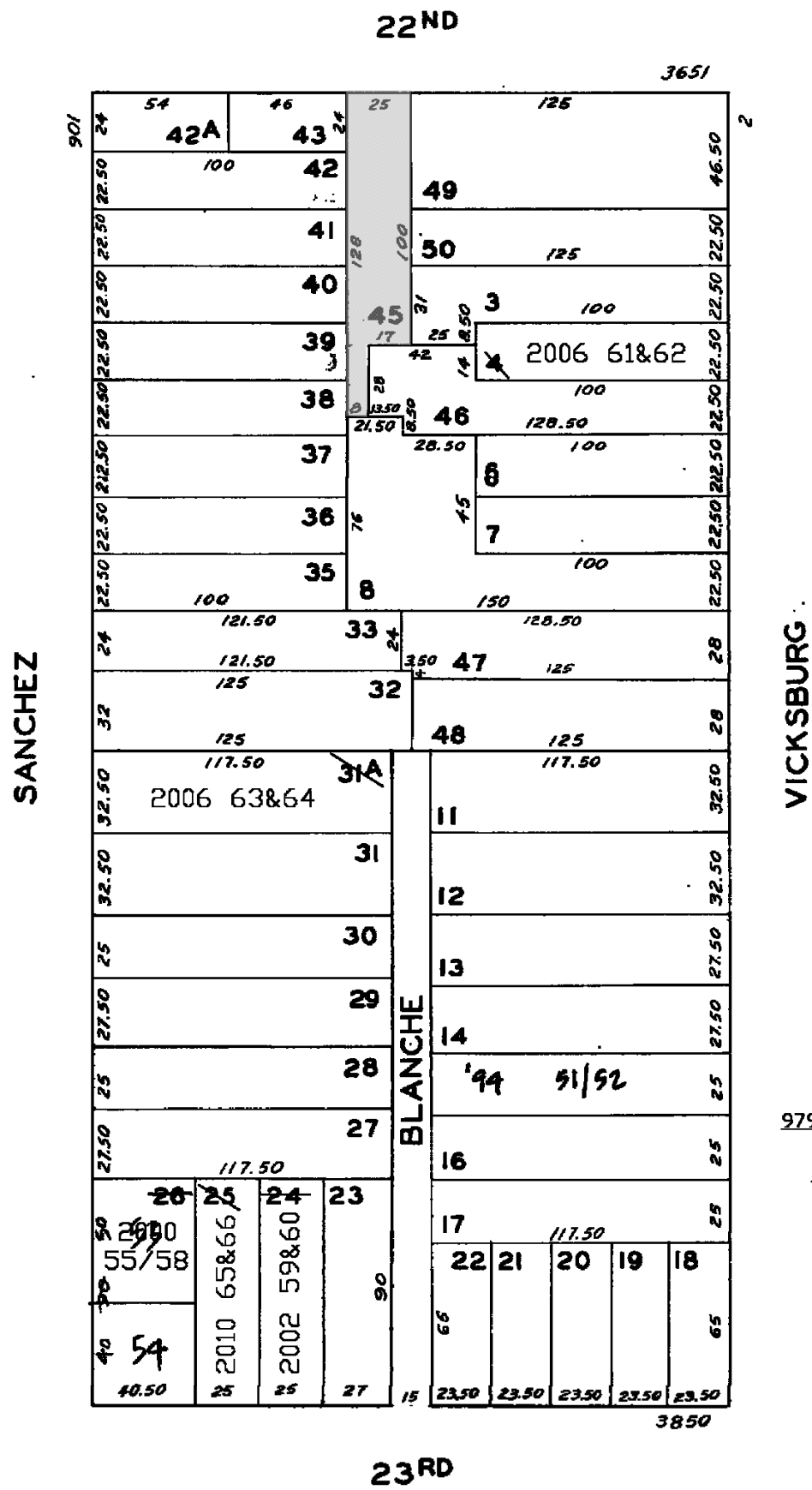
SHEET INDEX

| Sheet | Description |
|-------|--|
| A0.0 | Architctural |
| A2.0 | Cover Sheet, Project Information & Site Plan |
| A2.1 | Main Floor Plans |
| A2.2 | Lower Floor Plans |
| A4.0 | Upper Floor Plans |
| A4.1 | Elevations |
| A4.1 | Elevations and Section |
| A5.0 | Photo Survey |

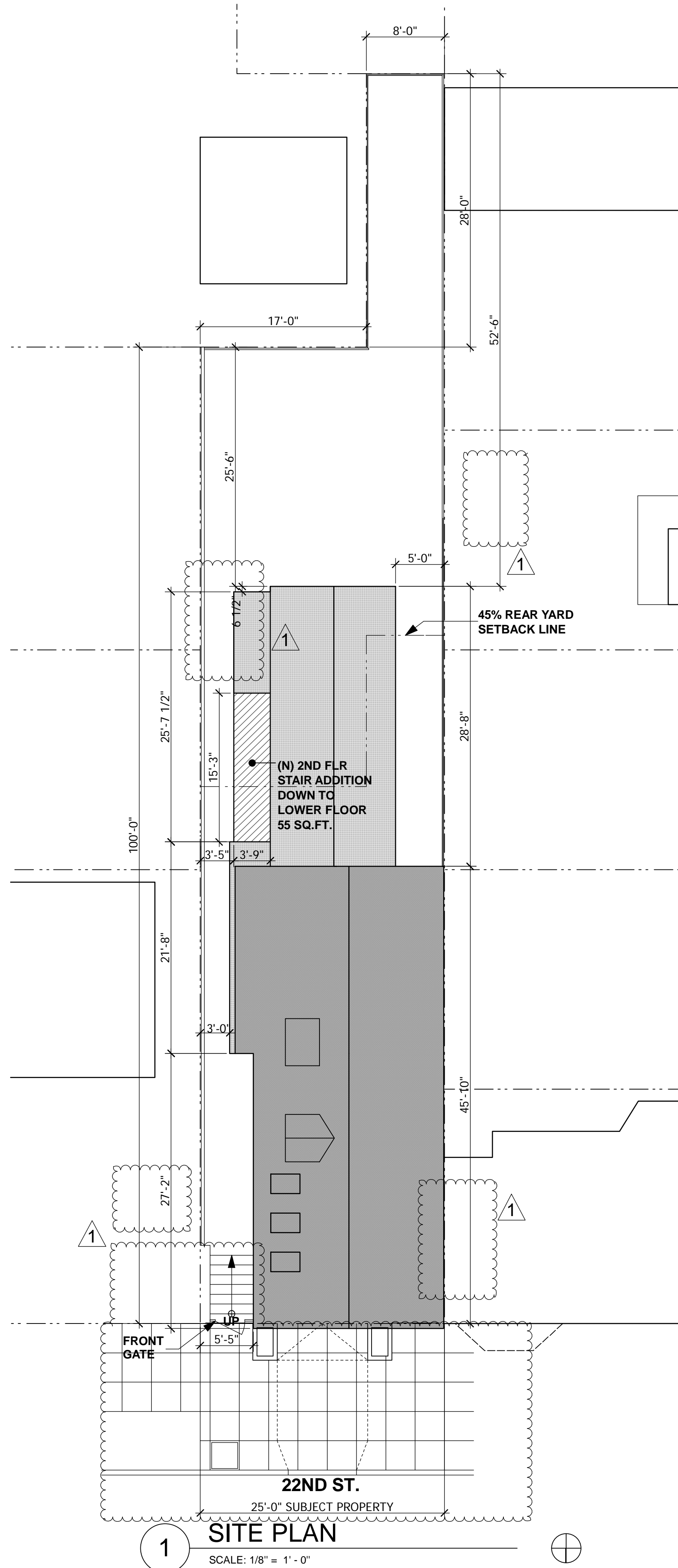
VICINITY MAP



BLOCK MAP



SITE PLAN



ARCHITECT STAMP

JOEL M. KARR
P. 415.572.5033

ARCHITECT INFO

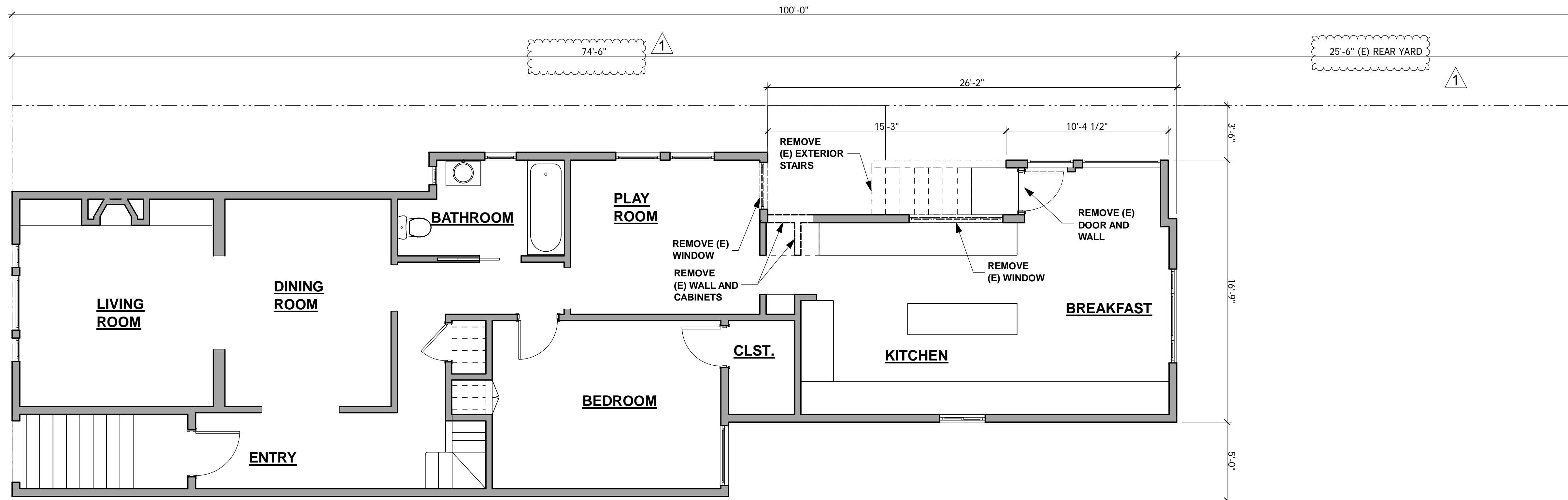
3647 22ND. STREET
SAN FRANCISCO, CA

DAVID STRATON DESIGN STUDIO
830 BUSH ST. #204
SAN FRANCISCO, CALIFORNIA 94108
P. 310-592-2477

| DATE | ISSUED |
|------------|-----------------------|
| 2013.07.08 | Site Permit |
| 2013.08.30 | Rev. 1 to Site Permit |
| 2013.08.30 | Variance |

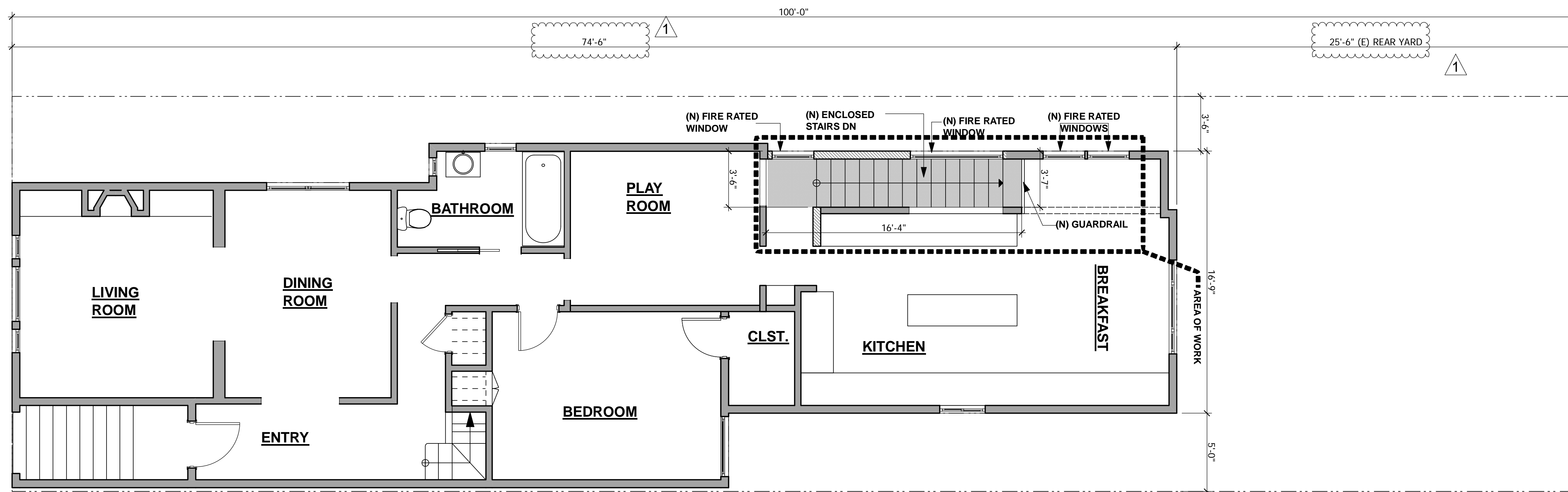
A0.0

SITE PLAN, PROJECT
INFO AND COVER
SHEET



2 EXISTING/DEMO MAIN FLOOR PLAN

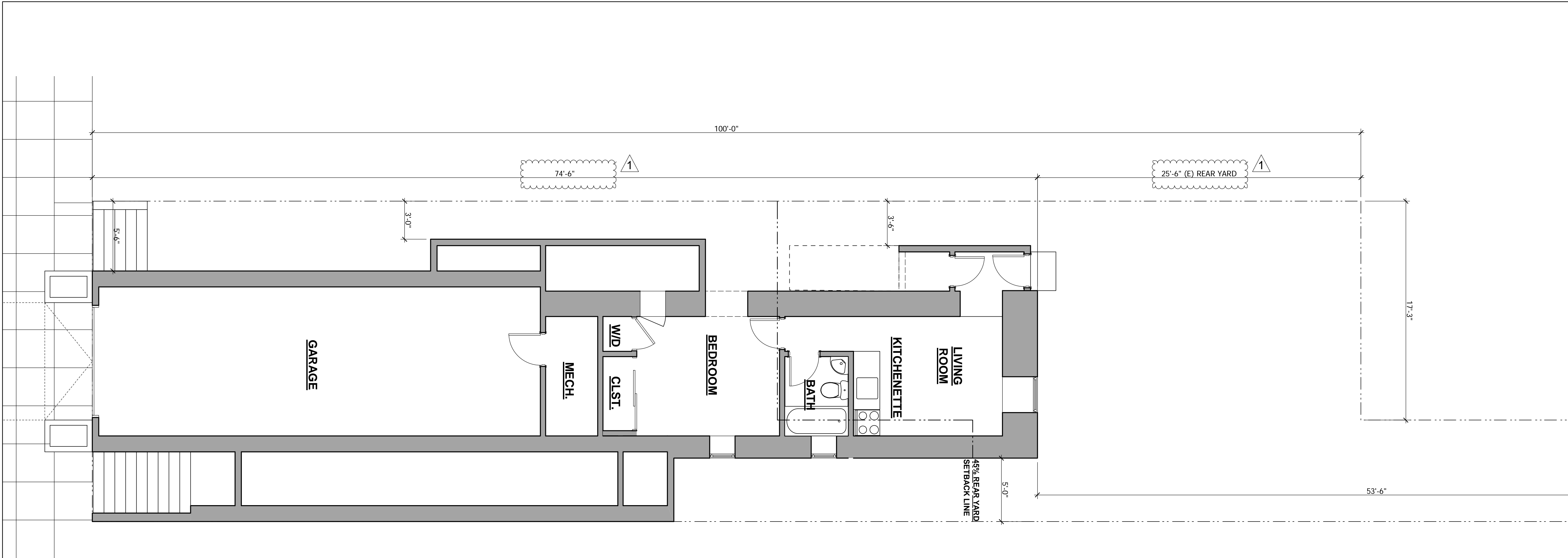
SCALE: 1/4" = 1' - 0"



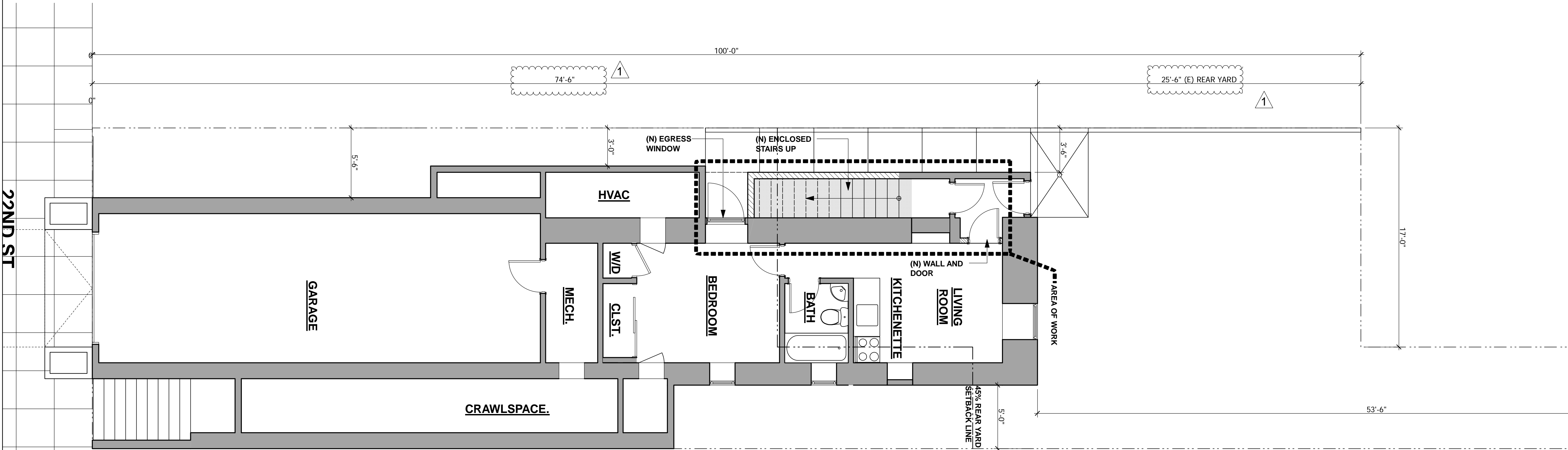
1 PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1' - 0"



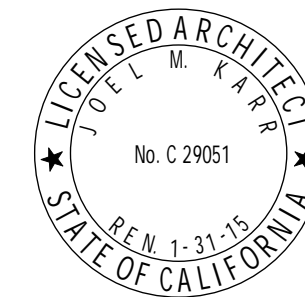


2 EXISTING/DEMO BASEMENT/GROUND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



1 PROPOSED BASEMENT/GROUND FLOOR PLAN
SCALE: 1/4" = 1' - 0"

LEGALIZE (E) 2ND UNIT AT BASEMENT/ LOWER LEVEL FLOOR



ARCHITECT STAMP

JOEL M. KARR
P. 415.572.5033

ARCHITECT INFO

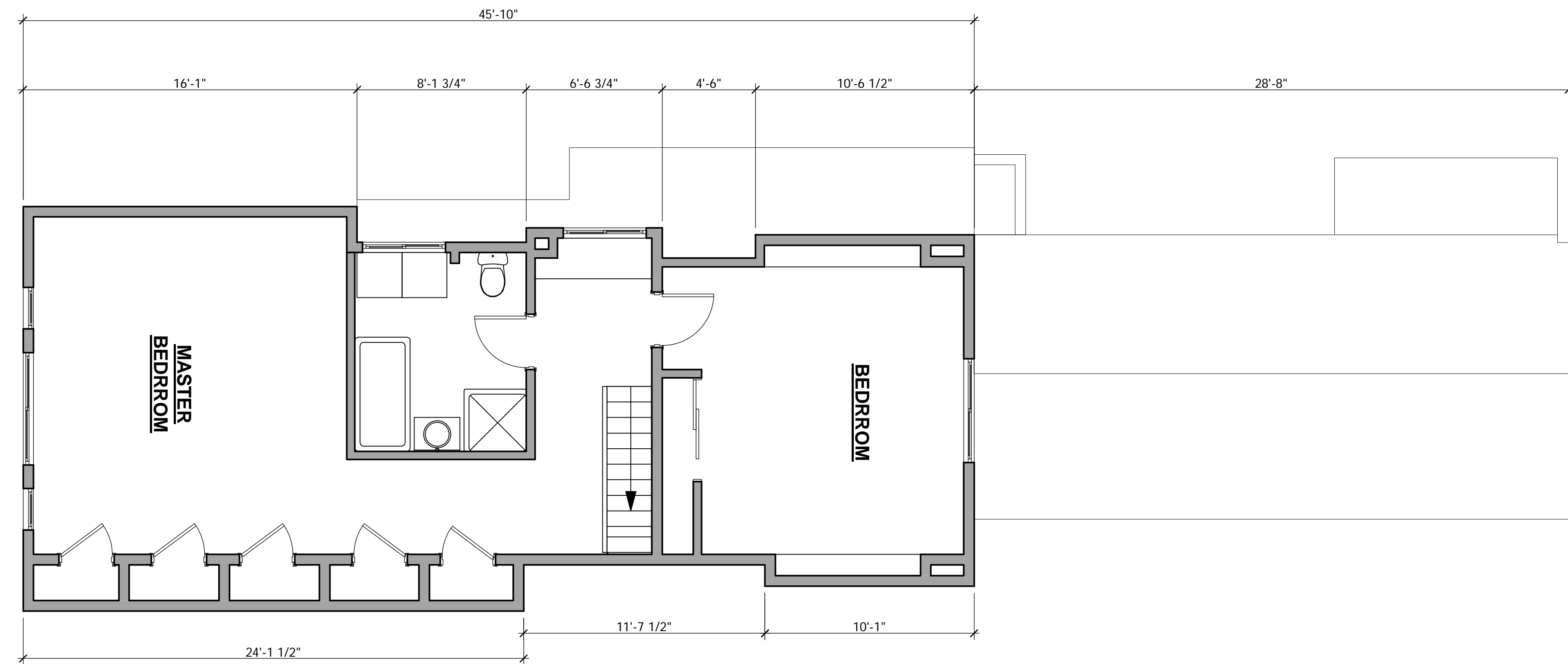
3647 22ND. STREET
SAN FRANCISCO, CA

DAVID STRATON DESIGN STUDIO
830 BUSH ST. #204
SAN FRANCISCO, CALIFORNIA 94108
P. 310-592-2477

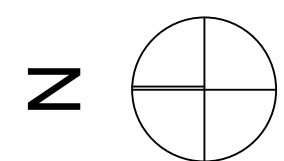
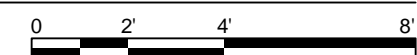
| DATE | ISSUED |
|------------|-----------------------|
| 2013.07.08 | Site Permit |
| 2013.08.30 | Rev. 1 to Site Permit |
| 2013.08.30 | Variance |

A2.1

SIDE (EAST)
ELEVATION, EXISTING
AND PROPOSED



1 EXISTING UPPER LEVEL FLOOR PLAN (FOR REFERENCE ONLY, NO WORK)
SCALE: 1/4" = 1' - 0"



ARCHITECT STAMP

JOEL M. KARR
P. 415.572.5033

ARCHITECT INFO

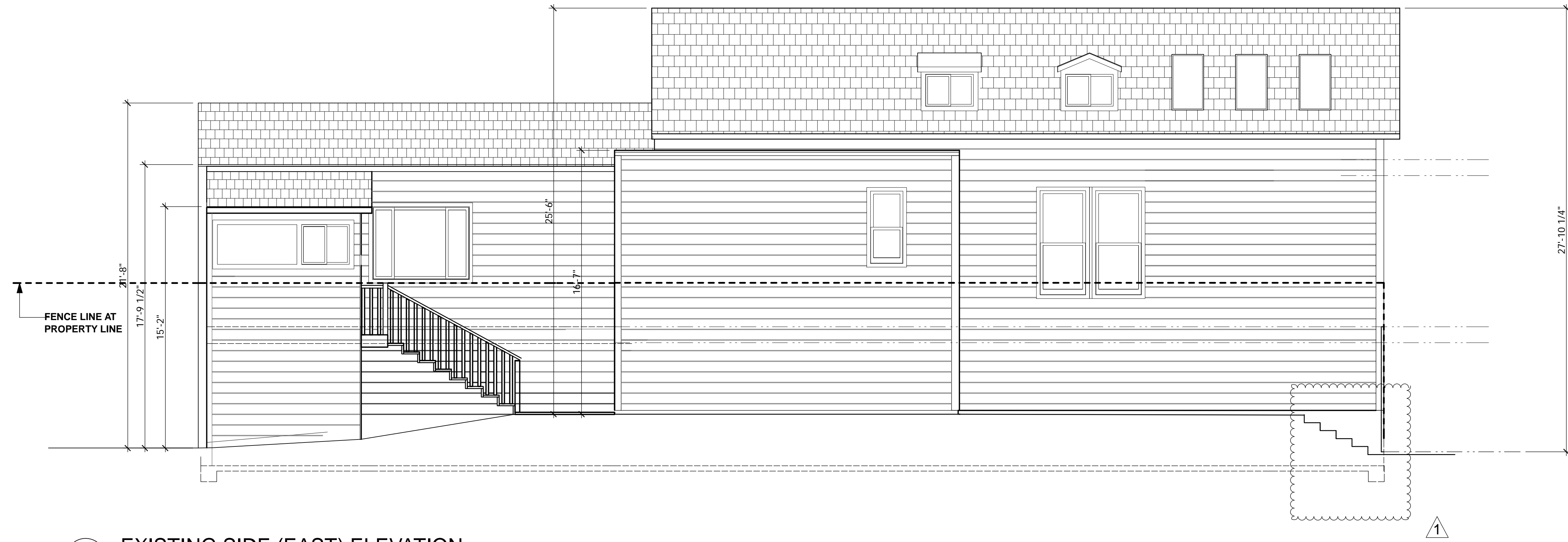
3647 22ND. STREET
SAN FRANCISCO, CA

DAVID STRATON DESIGN STUDIO
830 BUSH ST. #204
SAN FRANCISCO, CALIFORNIA 94108
P. 310-592-2477

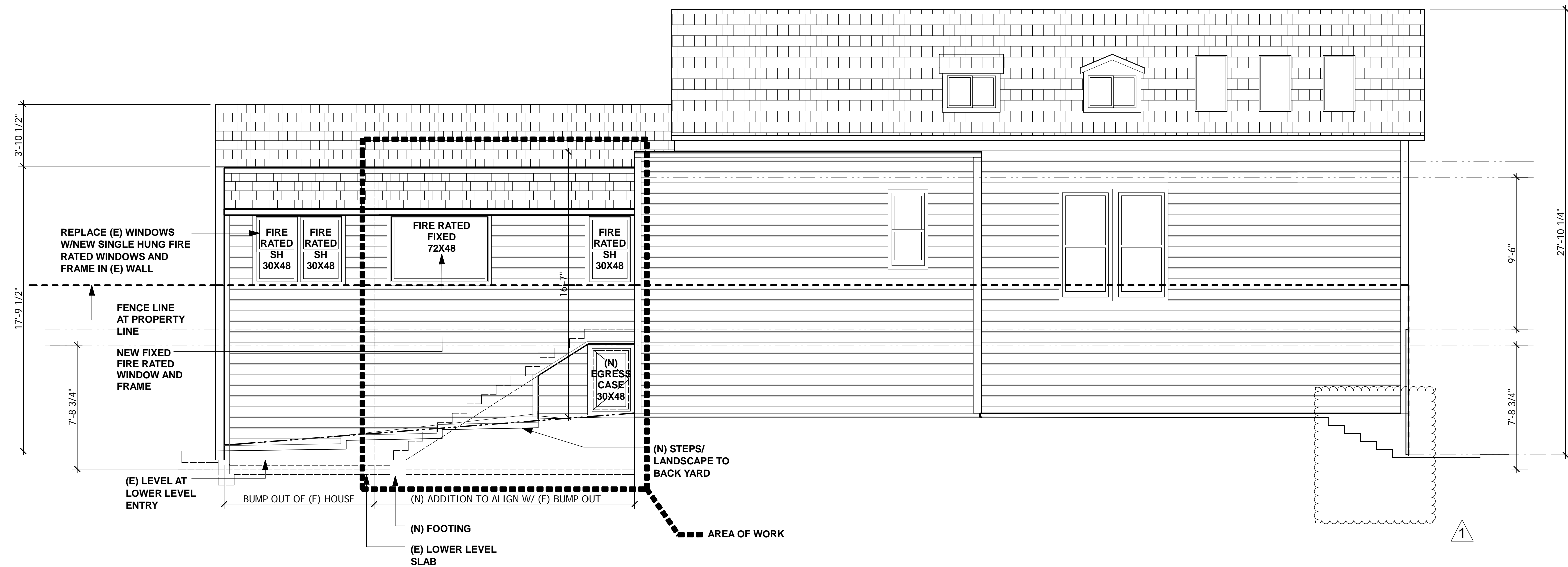
| DATE | ISSUED |
|------------|-------------|
| 2013.07.08 | Site Permit |
| 2013.08.30 | Variance |

A2.2

UPPER FLOOR PLAN
(FOR REFERENCE)



2 EXISTING SIDE (EAST) ELEVATION



1 PROPOSED SIDE (EAST) ELEVATION
SCALE: 1/4" = 1' - 0"



ARCHITECT STAMP

JOEL M. KARR
P. 415.572.5033

ARCHITECT INFO

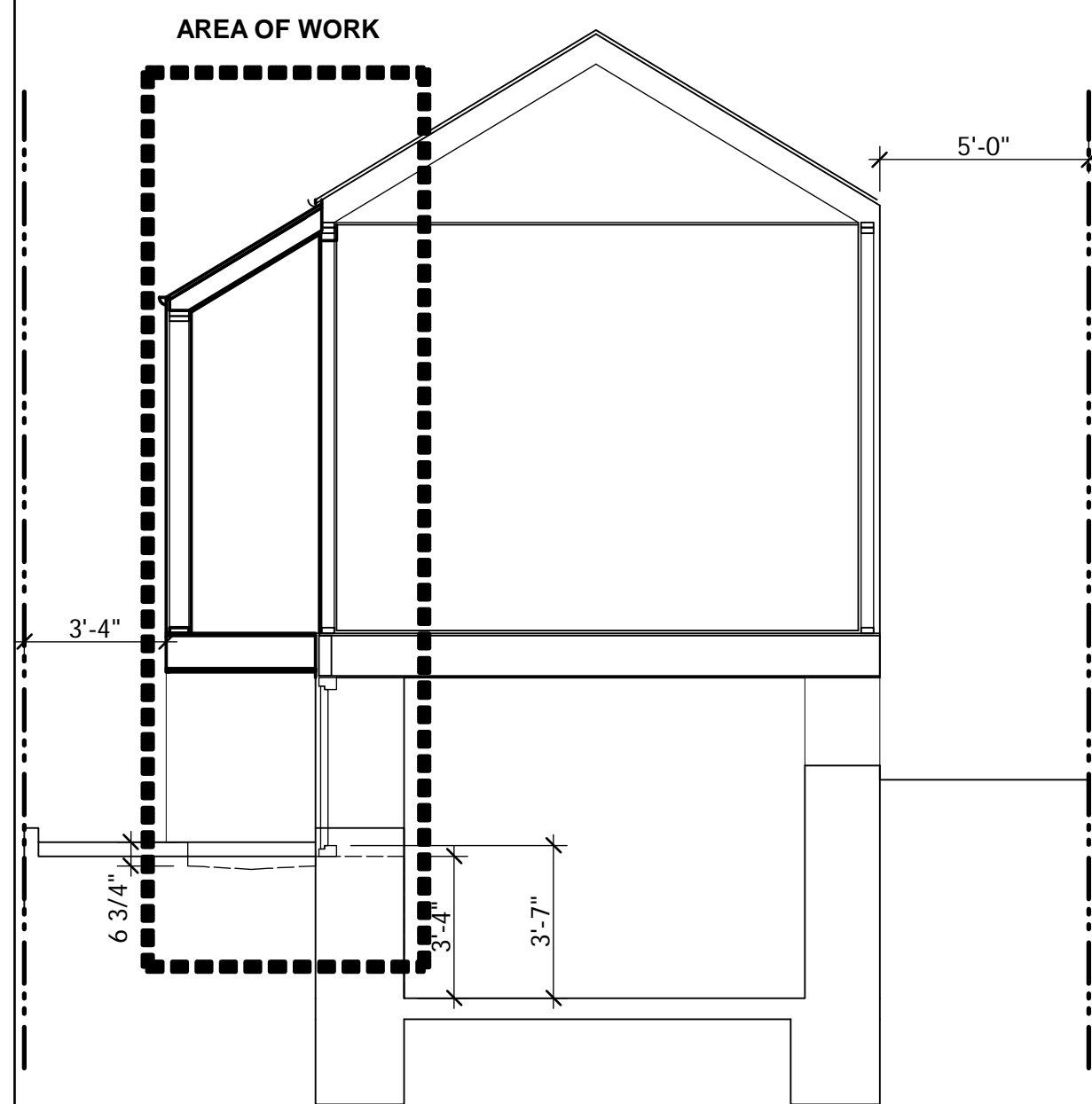
3647 22ND. STREET
SAN FRANCISCO, CA

DAVID STRATON DESIGN STUDIO
830 BUSH ST. #204
SAN FRANCISCO, CALIFORNIA 94108
P. 310-592-2477

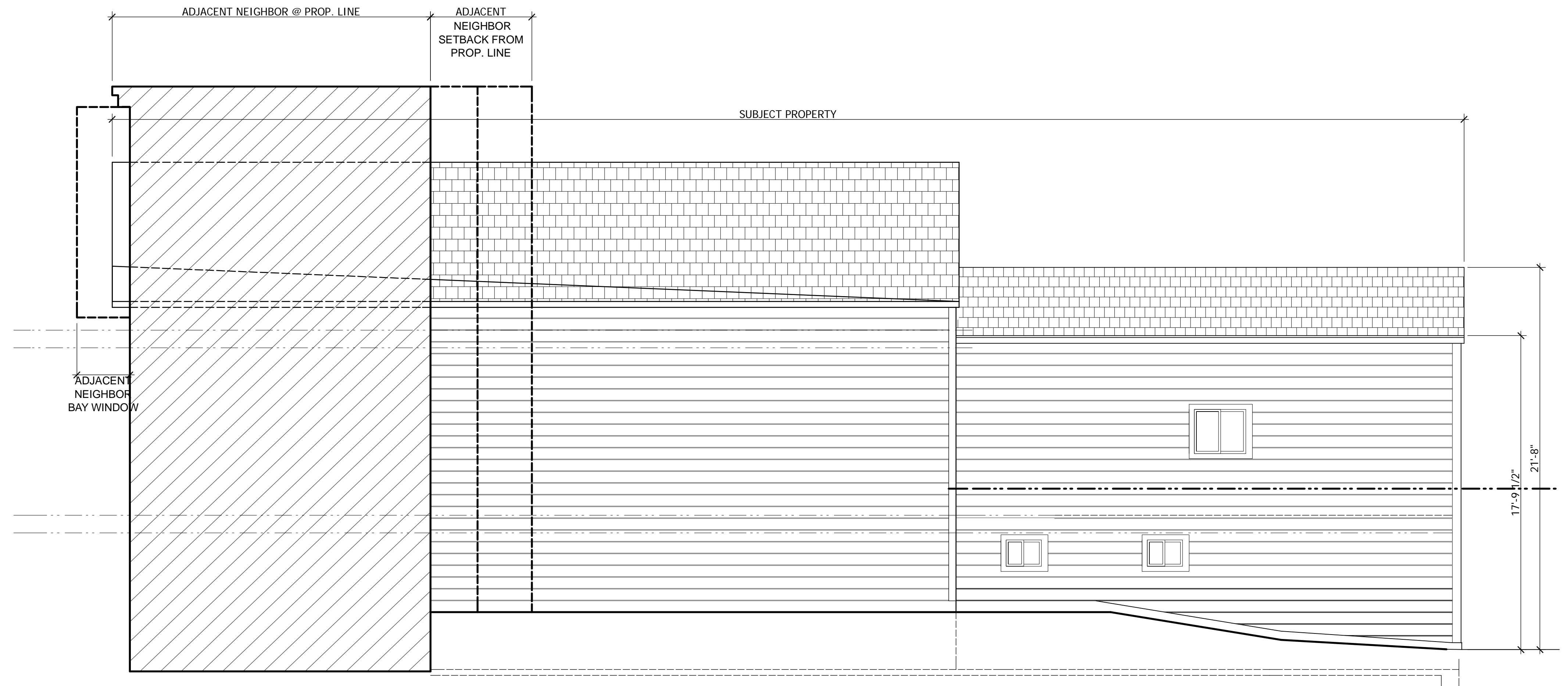
| DATE | ISSUED |
|------------|-----------------------|
| 2013.07.08 | Site Permit |
| 2013.08.30 | Rev. 1 to Site Permit |
| 2013.08.30 | Variance |

A4.0

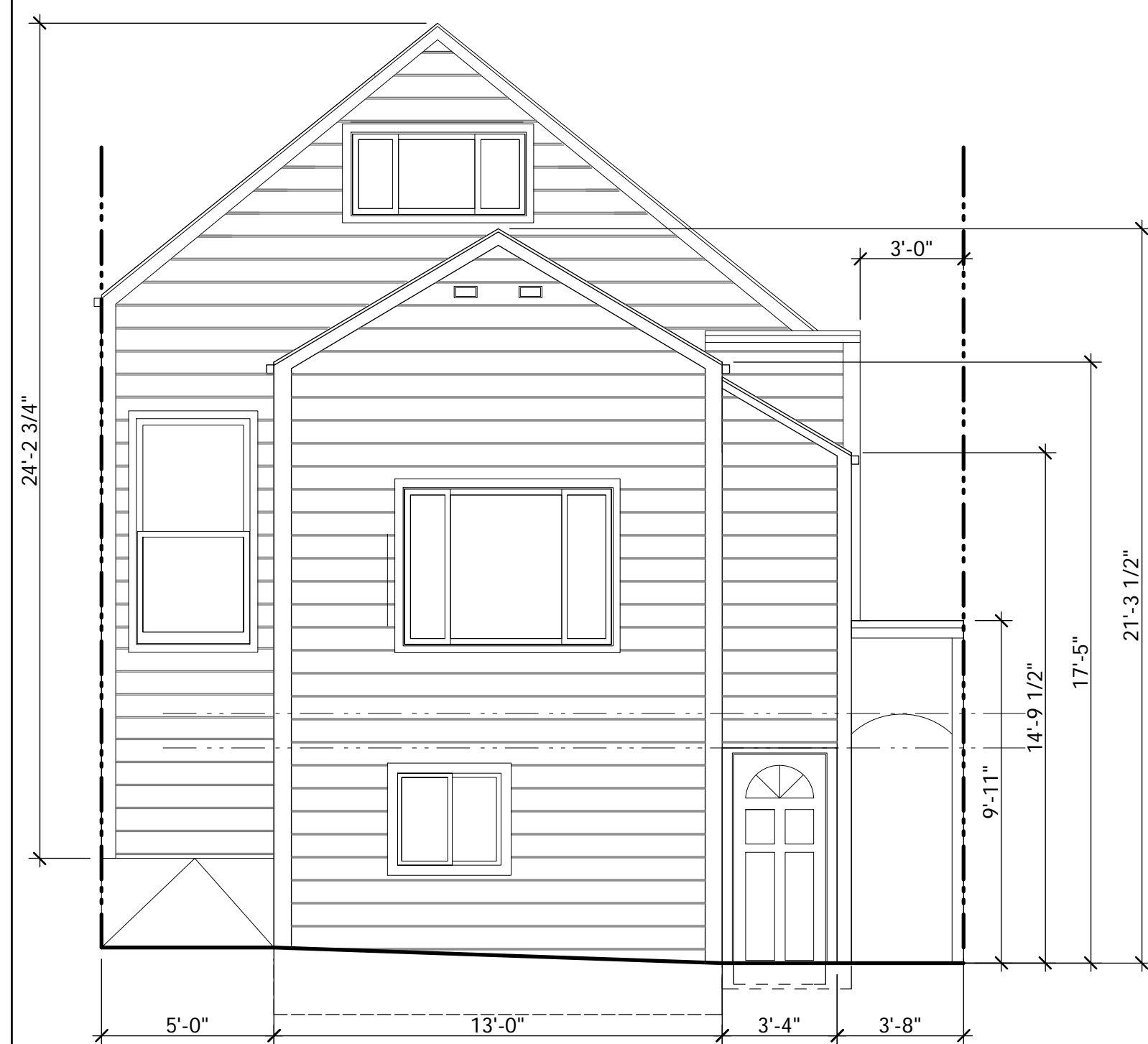
SIDE (EAST)
ELEVATION, EXISTING
AND PROPOSED



4 SECTION
SCALE: 1/4" = 1' - 0"



2 EXISTING SIDE (EASWEST) ELEVATION (NO CHANGE)



3 EXISTING REAR (SOUTH) ELEVATION
(NO CHANGE)
SCALE: 1/4" = 1' - 0"



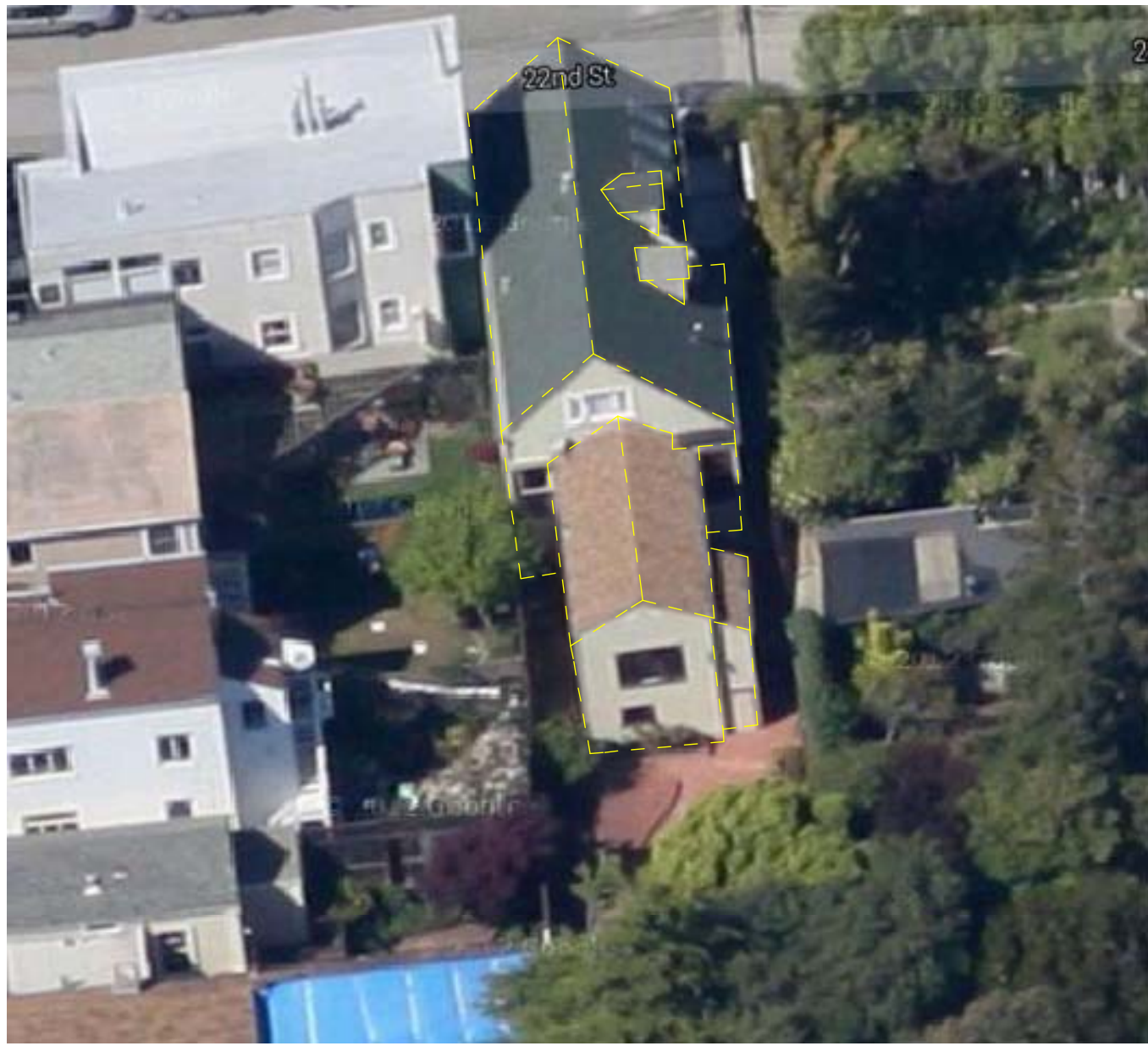
1 EXISTING FRONT (NORTH) ELEVATION (NO CHANGE)
SCALE: 1/4" = 1' - 0"



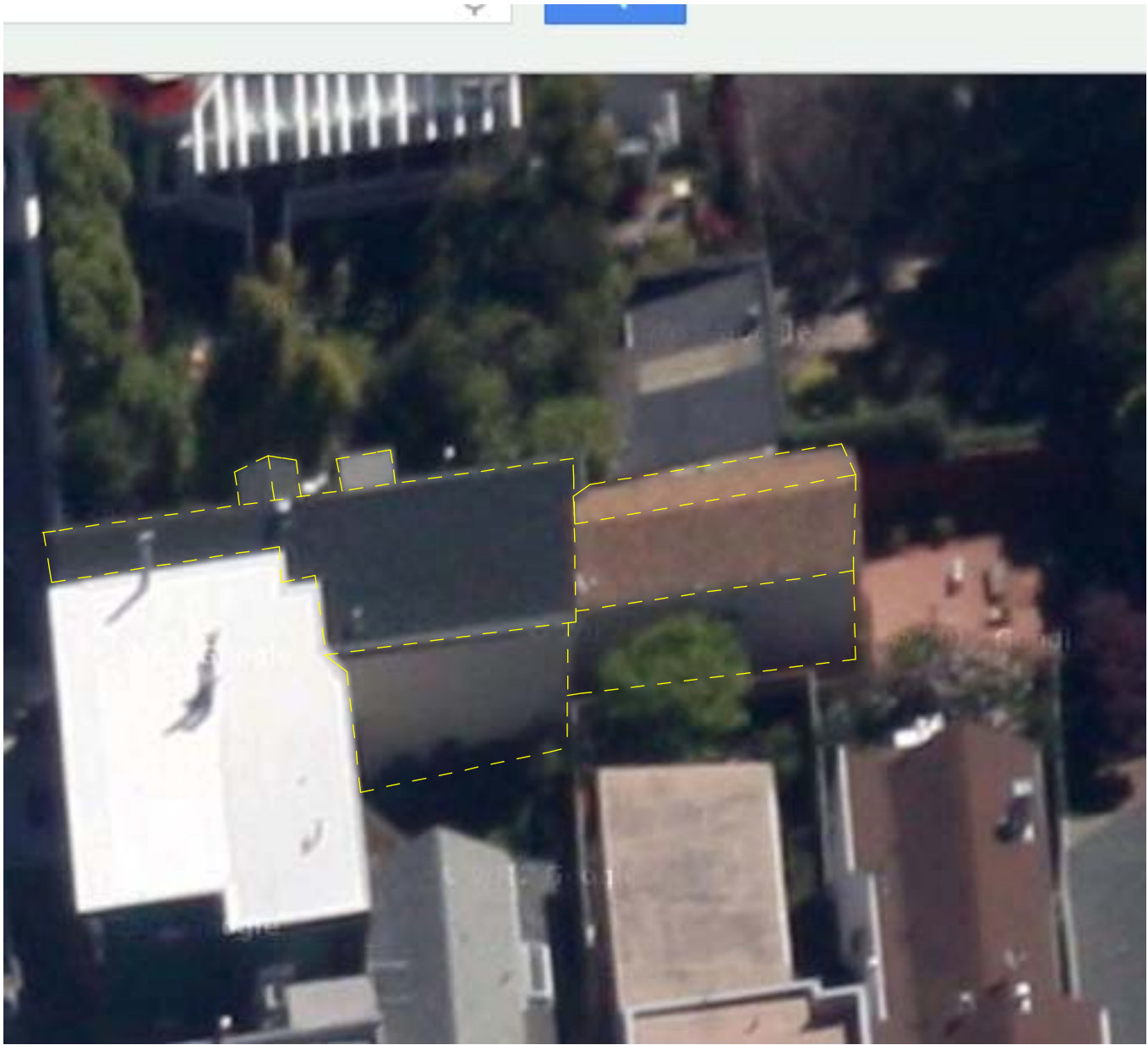
AERIAL VIEW NORTH



AERIAL VIEW EAST



AERIAL VIEW SOUTH



AERIAL VIEW WEST



SOUTH SIDE OF 22ND. STREET, VIEW FROM NORTH EAST



SOUTH SIDE OF 22ND. STREET, VIEWFROM NORTH WEST



NORTH SIDE OF 22ND. STREET, VIEW FROM SOUTH WEST



NORTH SIDE OF 22ND. STREET, VIEW FROM SOUTH



NORTH SIDE OF 22ND. STREET, VIEW FROM SOUTH EAST



ARCHITECT STAMP

JOEL M. KARR
P. 415.572.5033

ARCHITECT INFO

3647 22ND. STREET
SAN FRANCISCO, CA

DAVID STRATON DESIGN STUDIO
830 BUSH ST. #204
SAN FRANCISCO, CALIFORNIA 94108
P. 310-592-2477

| DATE | ISSUED |
|------------|-------------|
| 2013.07.08 | Site Permit |
| 2013.08.30 | Variance |

A5.0

PHOTO SURVEY