



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

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REMODELING OF A SINGLE FAMILY RESIDENCE

518 ANDERSON STREET, SAN FRANCISCO, CA 94110

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF BEST DESIGN & CONSTRUCTION COMPANY AND THEY ARE NOT TO BE USED FOR ANY OTHER JOB WITHOUT WRITTEN PERMISSION BY THE ARCHITECT AND ENGINEER.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBLE FOR THE QUALITY OF THE WORK (
- PROJECT.
- EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS.
ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- PRIOR TO CONSTRUCTION, DISCREPANCIES AND CONSTRUCTION DESIGN DETAILS BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND THE EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE CALIFORNIA BUILDING CODE, LOCAL BUILDING CODE, MANUFACTURER'S RECOMMENDATIONS, AND CHECK WITH LOCAL JURISDICTION REGARDING LATEST AMENDMENTS & CODE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY MATERIALS PURCHASING AND CONSTRUCTION. AS THE DESIGN AND MANUFACTURER REQUIREMENTS MAY CHANGE FROM TIME TO TIME, CONTRACTOR SHALL COORDINATE AND CONFIRM WITH MANUFACTURER REGARDING THE LATEST, UPDATED LOCAL AND FEDERAL REQUIREMENTS OF THE PRODUCTS. BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND DRAWINGS. CONTRACTOR SHALL REPORT TO THE ARCHITECT ABOUT ANY DEVIATIONS TO THE DESIGN PLANS PRIOR TO PROCEEDING WITH THE WORK.
- ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL FOLLOW ALL REFERENCED ICBO REPORTS FOR INSTALLATIONS OF ITEMS AS INDICATED.
- CONFLICTS BETWEEN WORK DESCRIBED IN THESE DOCUMENTS AND THE APPLICABLE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH ALL CODE AND ORDINANCE PROVISIONS. COMPLIANCE WITH MINIMUM CODE AND REQUIREMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE WORK IN CONFORMANCE WITH THE INTENT OF THESE DRAWINGS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE DRAWINGS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- PERMITS: THE CONTRACTOR SHALL OBTAIN MECHANICAL, ELECTRICAL, PLUMBING AND RELATED SUB-PERMIT, AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPT THE GENERAL BUILDING PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNER AND IS REIMBURSABLE TO THE GENERAL CONTRACTOR.
IF FIELD DESIGN-BUILD, PROVIDE SHOP SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- CODES: EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE, NATIONAL ELECTRIC CODES NATIONAL MECHANICAL CODES AND NATIONAL PLUMBING CODES, SEISMIC CODES, NFPA, ASME, ANSI, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, STATE TITLE AND ADMINISTRATIVE CODES, CITY/COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY AND CHECK LOT DIMENSIONS, CORNER STAKES, TOPOGRAPHIC, ETC. TO SET BUILDING LOCATION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS BEING PERFORMED.
- CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS.
- PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.
- ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.
- DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. THE CONTRACTOR SHALL PROVIDE ALL OPERATING MANUALS, GUARANTEES PRODUCT DATA AND RELATED INFORMATION FOR OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS.
- SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.
- SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE WRITTEN APPROVAL BY THE ARCHITECT AND THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- DAMAGE: THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGES CAUSED BY HIM OR HIS SUB-CONTRACTORS TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.
- GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- DEMOLITION: ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING CONSTRUCTION.
- COLUMNS CENTERLINES (ALSO REFERRED TO AS GRID LINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).
- ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED. ALLOW FOR THICKNESS OF TILE, ETC. WHILE OCCURS.
- SEAL ALL SOUND-RATED CONSTRUCTIONS AIRTIGHT AT INTERSECTING SURFACES AND PENETRATIONS.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE CURRENT BUILDING STANDARDS.

LEGEND

- SWITCH
- SWITCH W/ SENSOR
- SWITCH (THREE WAY)
- SWITCH W/ DIMMER
- ELECTRICAL OUTLET
- GROUND FAULT INTERRUPT
- GROUND FAULT INTERRUPT (WATER PROOF)
- LIGHTING FIXTURE (WALL-MOUNT)
- HIGH EFFICACY LIGHTING (WALL-MOUNT)
- LIGHTING FIXTURE (CEILING-MOUNT)
- HIGH EFFICACY LIGHTING FIXTURE (RECESSED)
- LIGHTING FIXTURE (RECESSED)
- SHOWER LIGHTING TRIMS (RECESSED)
- VANITY LIGHT
- 1X4 FLUORESCENT LAMP
- HARDWIRED SMOKE DETECTOR
110V W/ BATTERY BACKUP
- TELEPHONE
- TELEVISION
- EXHAUST FAN W/ HIGH EFFICACY LIGHTING
- HEAT REGISTER
- EMERGENCY ILLUMINATION
- EXIT SIGN
- Z Z-DUCT
- (E) WALL TO BE REMOVED
- (E) WALL
- (N) 2X STUD WALL @ 16" OC
- (N) 1-HR. FIRE RATED WALL
- (N) 1-HR. FIRE RATED SOUND PROOF WALL
- (N) 42" H 1-HR. FIRE RATED PARAPET
- (N) 2-HR. FIRE RATED WALL
- (N) 2-HR. FIRE RATED SOUND PROOF WALL
- CONCRETE RETAINING WALL

SYMBOLS

- SOLID LINE, ALL ITEMS, EXCEPT AS NOTED BELOW
- DASHED LINE, ITEMS HIDDEN, ABOVE, OR TO BE REMOVED AS INDICATED
- PROPERTY LINE
- CENTER LINES OR COLUMN GRIDS
- BREAK LINE
- DETAIL, X-DETAIL NUMBER, XX-SHEET NUMBER
- SECTION, X-SECTION NUMBER, XX-SHEET NUMBER
- INTERIOR ELEVATION, X-ELEVATION NUMBER, XX-SHEET NUMBER
- EQUIPMENT NUMBER
- DOOR OR WINDOW NUMBER
- REVISION NUMBER
- COLUMN OR GRID LINES
- CEILING HEIGHT
- TOPOGRAPHIC ELEVATION

PROJECT DATA

BLOCK: 5723 LOT: 004
ZONE: RH-1
REAR SETBACK: ±11'-11"
BUILDING SQUARE FOOTAGE APPROX.: (E)±1,996 SF
OCCUPANCY: R-3
NO. OF RESIDENTIAL UNITS: 1 (NO CHANGE)
NO. OF STORIES: 2 (NO CHANGE)
TYPE OF CONSTRUCTION: V-B
HEIGHT LIMIT: 40'-0" MAX.

OWNER: MATT NORFLEET
518 ANDERSON STREET, SAN FRANCISCO, CA 94110

SCOPE OF WORK

- REMODELING OF A SINGLE FAMILY RESIDENCE
- KITCHEN & BATH REMODELING
- VOLUNTARY STRUCTURAL UPGRADE UNDER KITCHEN AREA

TABLE OF CONTENT

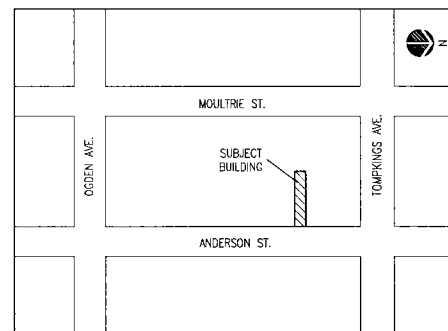
- A-1 TITLE SHEET
A-2 EXISTING FLOOR PLANS
A-3 PROPOSED PLANS & DETAILS

S-1 PLANS AND SECTION, STRUCTURAL DETAILS, GENERAL NOTES

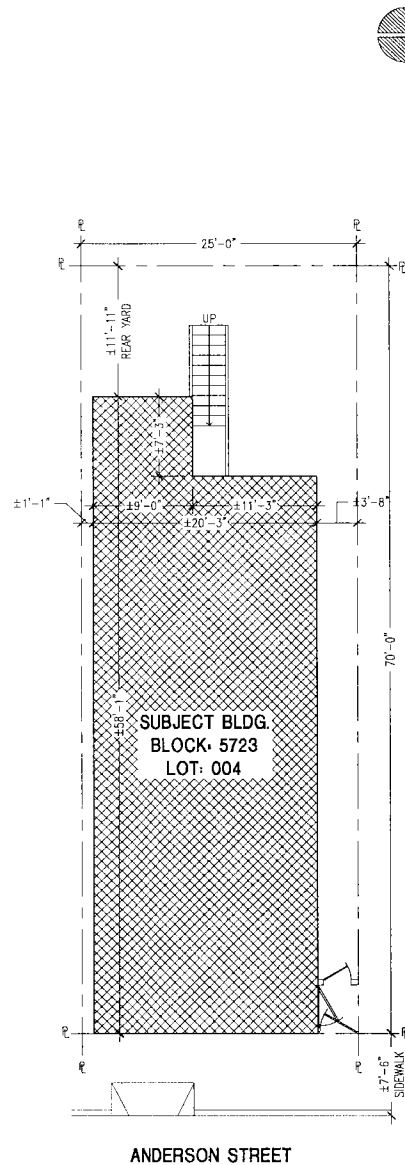
APPLICABLE BLDG. CODE

- 2010 CALIF. BLDG. CODE & S.F. AMENDMENTS
- 2010 CALIF. MECH. CODE & S.F. AMENDMENTS
- 2010 CALIF. PLUMB. CODE & S.F. AMENDMENTS
- 2010 CALIF. ELECTR. CODE & S.F. AMENDMENTS
- 2010 CALIF. ENERGY CODE
- 2010 CALIF. FIRE CODE & S.F. AMENDMENTS
- 2010 S.F. HOUSING CODE

LOCATION PLAN N.T.S.



PLOT PLAN SCALE: 1/8"=1'-0"



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REMODELING OF A SINGLE FAMILY RESIDENCE

518 ANDERSON STREET,
SAN FRANCISCO, CA 94110

DATE	REVISION
02/24/11	SUBMIT FOR PERMIT

DATE:	02/24/2011
SCALE:	AS NOTED
DRAWN BY:	YH
PROJ. NO.:	211154

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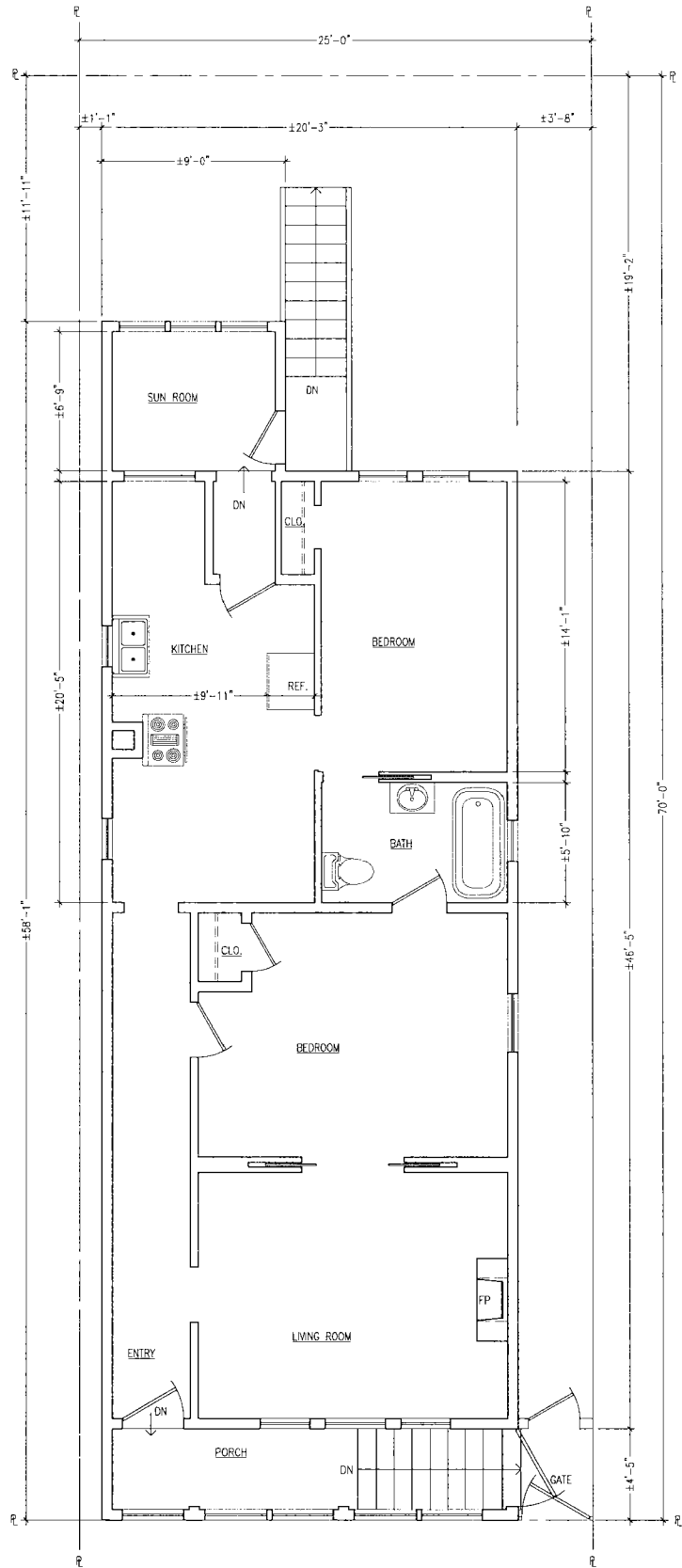
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LOCATION PLAN,
PROJECT DATA
TABLE OF CONTENT

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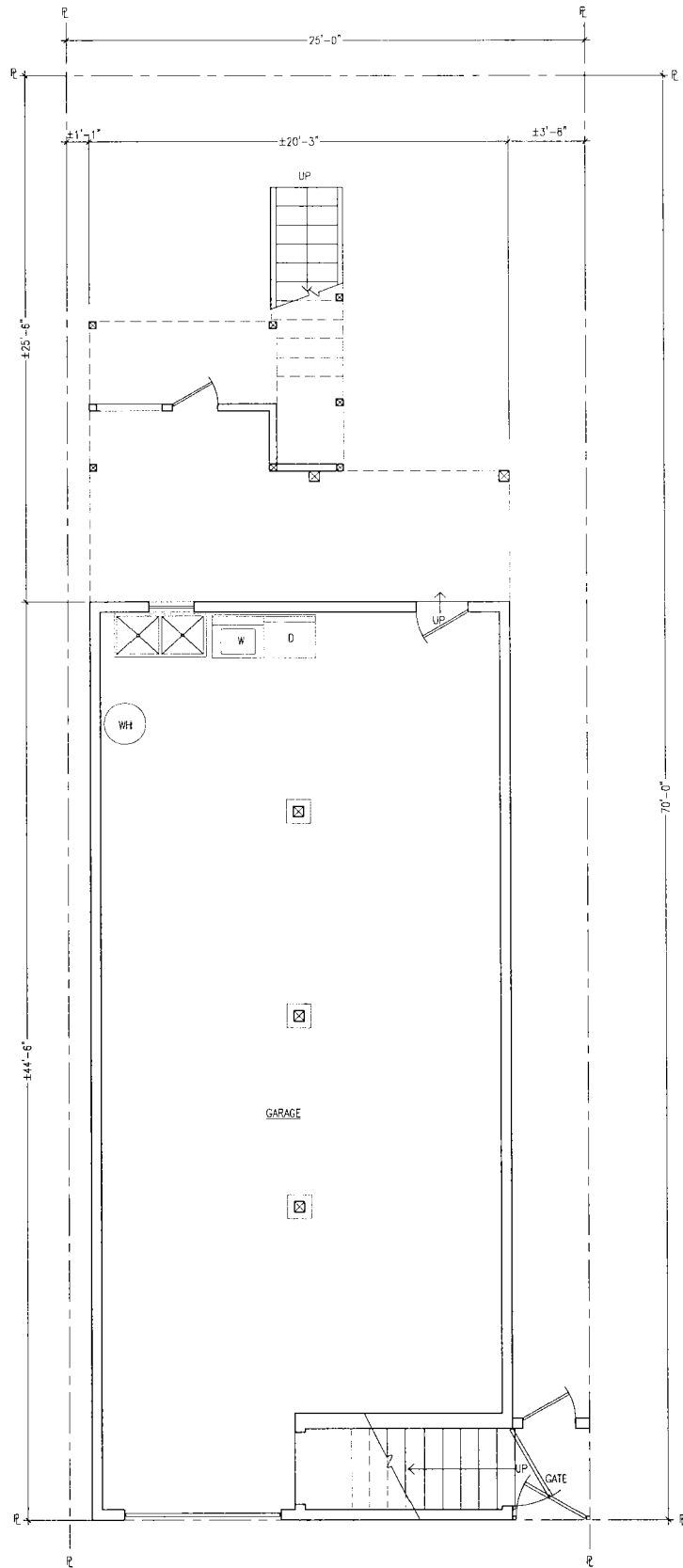
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1 OF 3 SHEETS

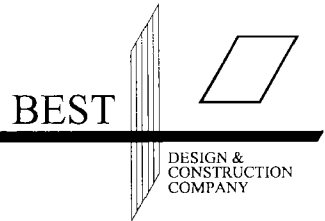
731214 V



EXISTING 2/F PLAN
SCALE: 1/4"=1'-0"



EXISTING G/F PLAN
SCALE: 1/4"=1'-0"



REMODELING OF A SINGLE FAMILY DWELLING

518 ANDERSON STREET,
SAN FRANCISCO, CA 94110

DATE	REVISION
02/24/11	SUBMIT FOR PERMIT

DATE: 02/24/2011
SCALE: AS NOTED
DRAWN BY: HY
PROJ. NO.: 211154

DRAWING TITLE

EXISTING PLANS

SHEET NO.

A-2

2 OF 3 SHEETS

13 1214

NOTES:

1. PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H. & FURNACE. (CMC-CH.7.)
2. PROVIDE SEISMIC STRAP & 18" HIGH PLATFORM AT GARAGE ONLY FOR W.H. (CPC 510.1) AND FOR FURNACE. (CMC 308.0)
3. FLUES FOR FURNACE, WATER HEATERS, BOILERS AND GAS FIREPLACES SHOULD BE TERMINATE AT LEAST TERMINATE GAS VENT 4'-0" FROM R & 2'-0" ABOVE ANY PORTION OF BLDG. WITHIN 10'-0" & FOR CMC-806. THE FURNACE WILL PROVIDE 70 DEGREES A 3 FEET FROM THE FINISH FLOOR FOR CONDITIONED SPACE. (310.11)
4. DRYER EXHAUST DUCT 14'-0" LONG MAX. FOR CMC-504.3.2.
5. DRYER DIRECT EXHAUST TO EXTERIOR USE STEEL SMOOTH BORE MIN. 4" Ø DUCT BACKDRAFT PROTECT
6. DOMESTIC CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE OF METAL AND HAVE SMOOTH INTERIOR SURFACES. DUCTS FOR EXHAUSTING CLOTHES DRYER SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS WHICH WILL OBSTRUCT THE FLOW. DUCT SHALL NOT BE CONNECTED TO A GAS VENT CONNECTOR, GAS VENT OR CHIMNEY. (CMC 504.3)
7. PROVIDE AIR CHAMBER TO ABSORB HIGH PRESSURE RESULTING FROM QUICK CLOSING OF THE QUICK ACTING VALVES. PER UPC SEC.609.10
8. KITCHEN AND ROOMS WITH BATHTUB OR SHOWER SHALL PROVIDE A FLUORESCENT LIGHT FIXTURE (CPC 150K AND 130)
9. PROVIDE A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR FOR NATURAL VENTILATION IN THE BATHROOMS. (CPC 1203.3)
10. KITCHEN, BATHROOM, AND LAUNDRY EXHAUST FAN OUTLET TO TERMINATE OUTSIDE 3'-0" FROM R & BUILDING OPENINGS AND SHALL BE BACKDRAFT PROTECTED (CMC 504.6)
11. FOR THE AIR DUCTS THROUGH THE FIRED RATED WALLS, PROVIDE FIRE DAMPERS OR USE 26-GAUGE STEEL
12. SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM. ONE SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR BETWEEN BEDROOMS.
13. THE WALL & SOFFITS OF THE ENCLOSED SPACE UNDER STAIR SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION. (CPC 1003.3.3)
14. PROVIDE WATER CLOSETS ULTRA LOW FLUSH TYPE WITH 1.6 GALLONS PER FLUSH. (CPC 402.3.)
15. PROVIDE CONTROL VALVE FOR TUB / SHOWER REQUIRE PRESSURE BALANCE ANTI-SCALD VALVE WITH MAXIMUM 2.5 GALLONS PER MINUTE FLOW. (CPC 420.0)
16. BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS TO BEDROOM & MASTER BEDROOM SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS (AFCI). (CPC 210-126)
17. ALL THE WEATHER EXPOSED NAIL OR BOLTS SHALL BE GALVANIZED
18. BATHROOM: ALL THE LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED OCCUPANT SENSOR(S):
 - MUST BE MANUAL ON MOTION SENSOR
 - MUST NOT HAVE "ALWAYS-ON" OPTION.
19. OTHER ROOMS (BEDROOM, HALLWAY, STAIRS, DINING ROOM, CLOSETS BIGGER THAN 70 S.F.): ALL THE LIGHTING UNLESS LIGHTING IS CONTROLLED BY:
 - DIMMER SWITCH OR
 - CERTIFIED OCCUPANT SENSOR(S)-MANUAL ON SENSOR AND NO "ALWAYS ON" OPTION.
20. OUTDOOR LIGHTING: ALL THE LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDINGS).
21. SHOWER STALLS SHALL HAVE A CLEAR INTERIOR FINISH AREA OF 7.1 SQ. FT. & BE ABLE TO ACCOMMODATE A MINIMUM 30" CIRCLE AT THRESHOLD LEVEL. THESE CLEARANCES SHALL BE MAINTAINED UP TO A HT. OF 70" ABOVE SHOWER DRAIN.
22. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBMENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET.

WALL LEGEND

- NEW WALL
- 1-HR FIRE RATED WALL
- (E) WALL TO REMAIN
- (E) WALL TO REMOVE
- SWITCH
- SWITCH (THREE WAY)
- SWITCH W/ DIMMER
- EMERGENCY OCCUPANCY SWITCH
- ELECTRICAL OUTLET
- GROUND FAULT INTERRUPT
- HIGH EFFICACY LIGHTING (WALL-MOUNT)
- LIGHTING FIXTURE (CEILING-MOUNT)
- HIGH EFFICACY LIGHTING FIXTURE (RECESSED)
- LIGHTING FIXTURE (RECESSED)
- VANITY LIGHT
- HARDWIRED SMOKE DETECTOR
- 110V W/ BATTERY BACKUP
- EXHAUST FAN W/ HIGH EFFICACY LIGHTING
- HEAT REGISTER
- GFI/WP GROUND FAULT INTERRUPT (WATER PROOF)

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

PROPOSED 2/F PLAN

SCALE: 1/4"=1'-0"

PROPOSED G/F PLAN

SCALE: 1/4"=1'-0"

NOTE: USE REDWOOD OR PRESSURE TREATED WOOD FOR EXTERIOR STAIR

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REMODELING OF A SINGLE FAMILY DWELLING

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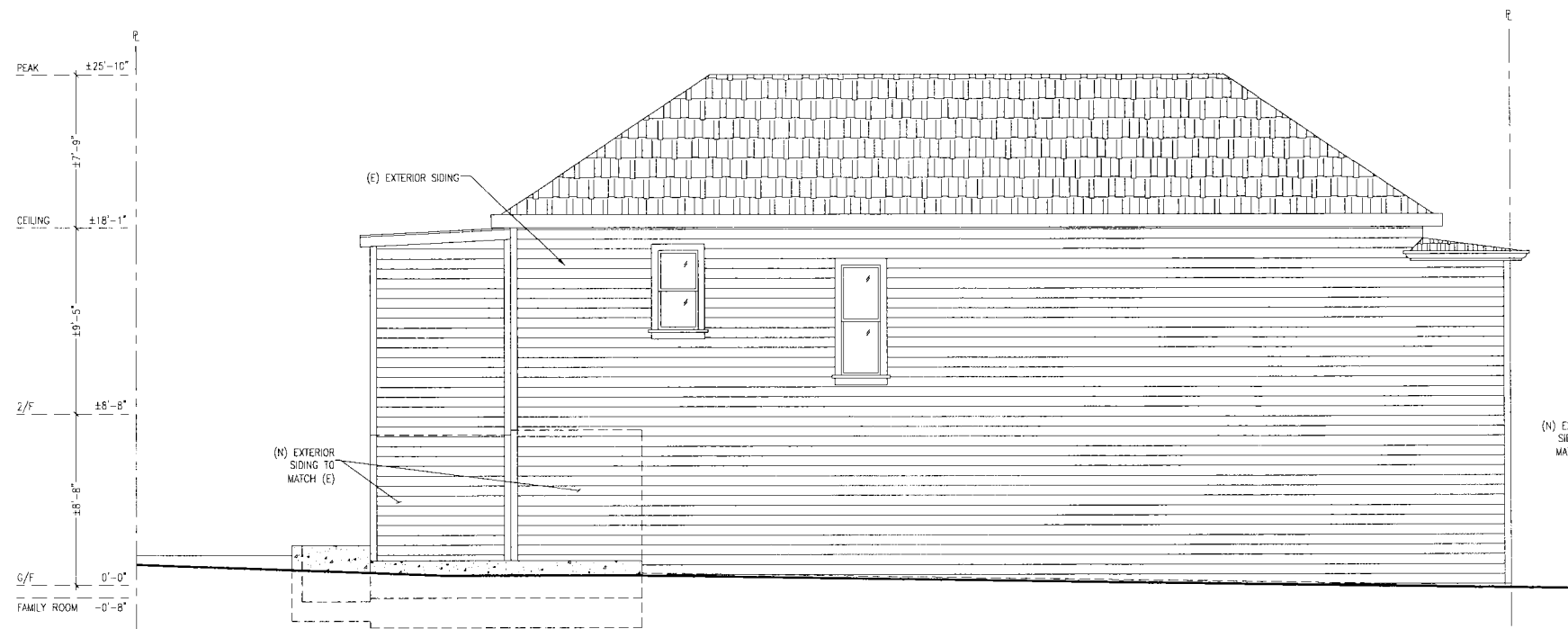
PROPOSED PLANS

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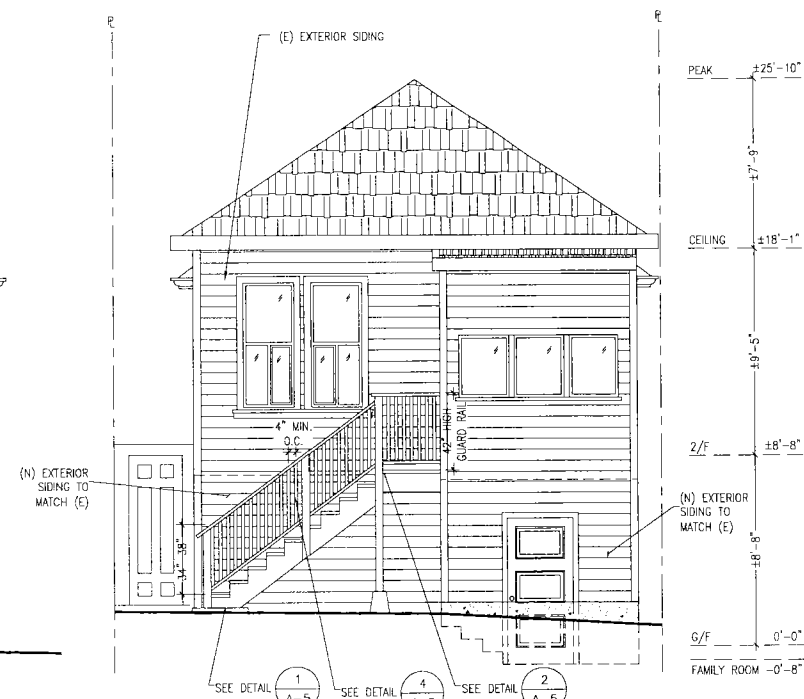
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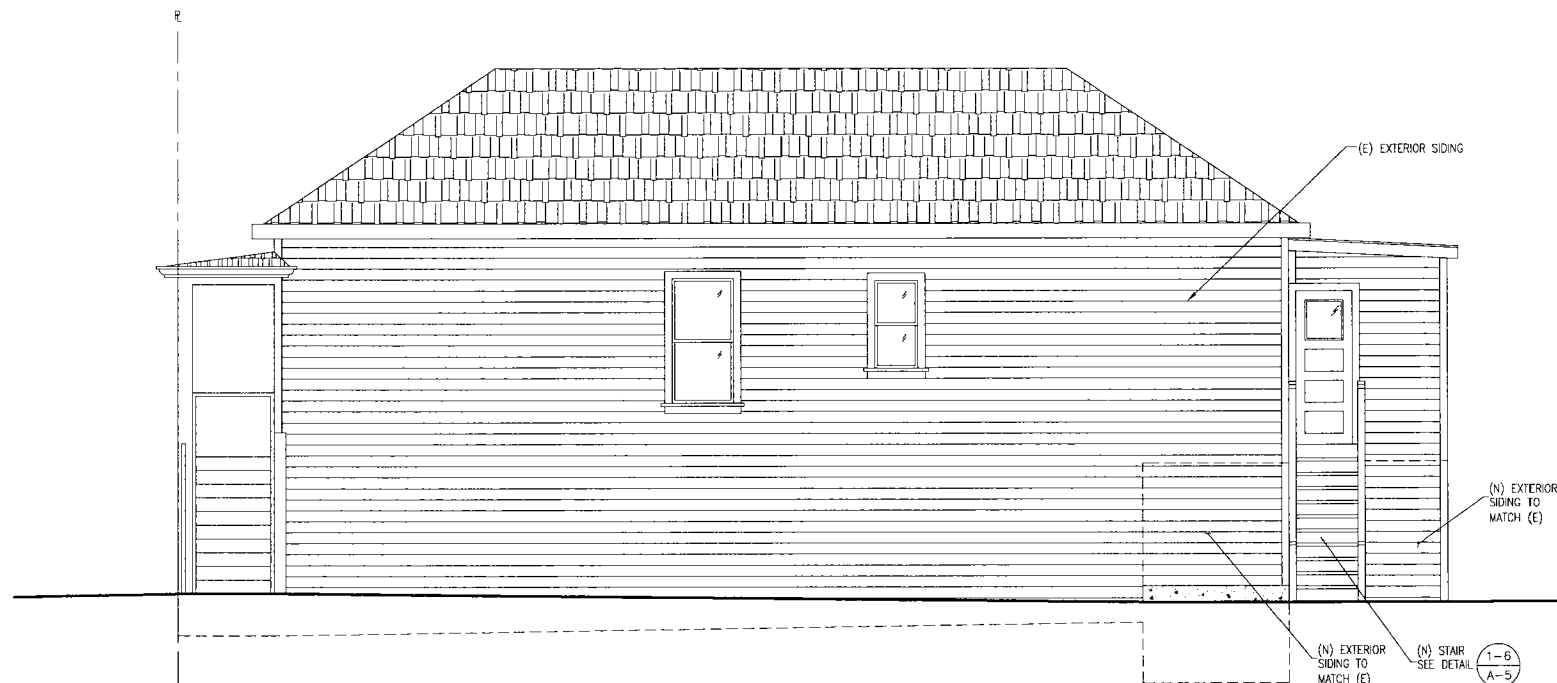
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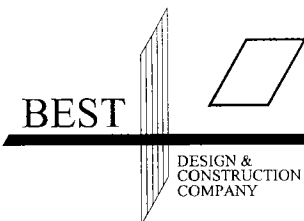
PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



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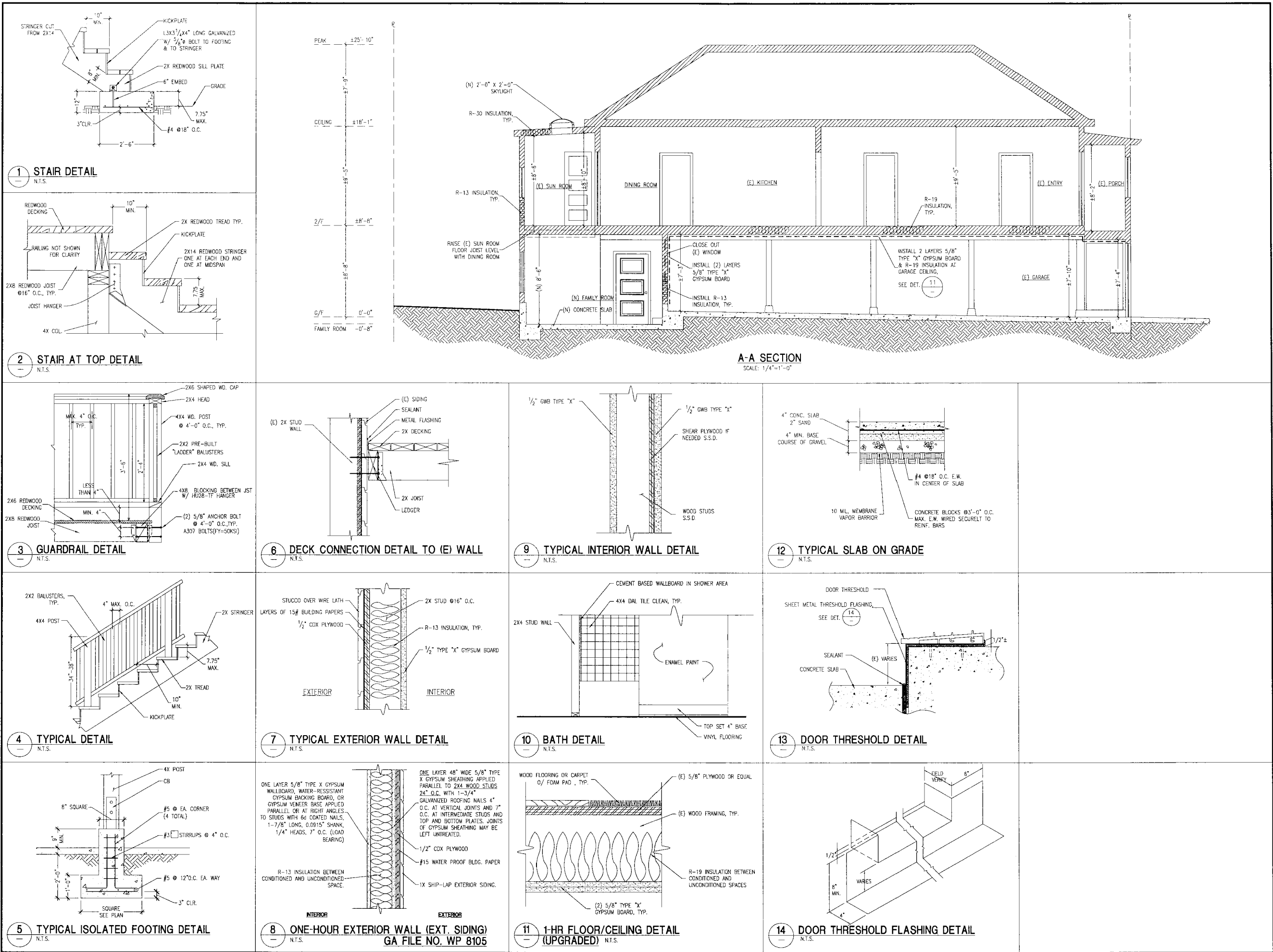
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PROPOSED ELEVATIONS

SHEET NO.

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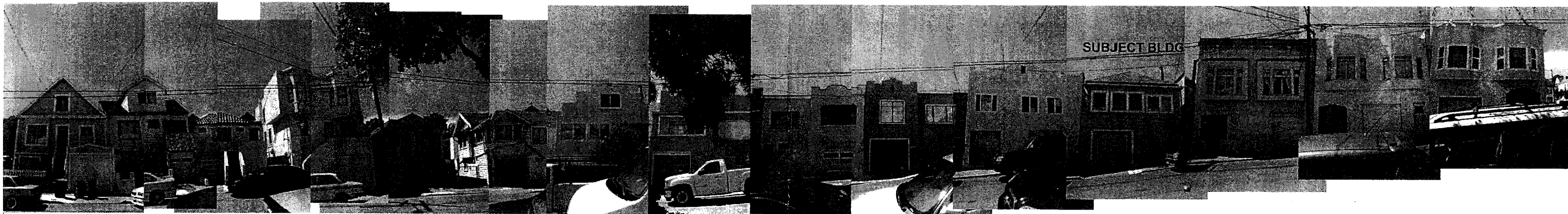
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DRAWN BY: HY/KS
PROJ. NO.: 211154

DRAWING TITLE
DETAILS & SECTION

SHEET NO.
A-5

13.1214



BLOCK FACE ON THE SAME SITE OF SUBJECT BUILDING
518 ANDERSON ST.
BLOCK 5723 LOT: 004

13.1214 V