



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 04, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 261 10th Avenue	Case No.: 2013.1205V
Cross Street(s): Clement & California Street	Building Permit: 201307161993
Block / Lot No.: 1423/015	Applicant/Agent: Gregory Ladigin
Zoning District(s): RM-1 / 40-X	Telephone: 415-282-1437
Area Plan: N/A	E-Mail: greg@morkulnes.com

PROJECT DESCRIPTION

The subject property contains two structures - a three-story single-family dwelling at the front of the property and a one-story garage at the rear. The proposal is to convert the rear yard garage structure into a studio dwelling unit with interior alterations and new windows and doors. No expansion to the structure is proposed.

Section 134 of the Planning Code requires a minimum rear yard depth of approximately 50 feet for the subject property. The noncomplying garage structure is located entirely within the required rear yard.

Section 140 of the Planning Code requires at least one room in each dwelling unit to face directly on to a public street, public alley or side yard at least 25 feet in width or code compliant rear yard. The subject lot is required to provide a 50 foot rear yard. Since the noncomplying garage structure is located entirely within the required rear yard, the dwelling unit proposed for this structure would face onto a non-complaint rear yard. Therefore, a variance from Section 140 of the Planning Code is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Kanishka Burns** Telephone: **415-575-9112** Mail: Kanishka.Burns@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1205V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 21, 2013, the Department issued the required Section 311 notification for this project (expires November 20, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

PROJECT INFO

OWNER
ULRICH SCHMID-MAYBACH
261 10th AVENUE
SAN FRANCISCO, CA

CONTRACTOR
TBD

PROJECT ADDRESS
261 10th AVENUE
SAN FRANCISCO, CA

OCCUPANCY
U

TYPE
TYPE V - NON-RATED

APN
1423/015

ZONING
RM1

PROJECT DESCRIPTION:

CONVERT (E) U-OCCUPANCY GARAGE TO R-3 OCCUPANCY DWELLING. PROVIDE (N) KITCHEN, BATHROOM AND LIVING SPACE WITHIN EXISTING BUILDING ENVELOPE. (N) EXTERIOR FRENCH DOOR AT REAR OF STRUCTURE. REPLACE (E) DOORS AND WINDOWS.

GENERAL NOTES

-All aspects of the work have not been explicitly described. Work not included is explicitly called out. These plans are not intended to be complete, or to be used alone as contract, bid or construction documents.

-Report to the plan preparer any errors or inconsistencies apparent or suspected and await a resolution before proceeding. The obligations of the plan preparer with respect to any such errors or inconsistencies shall be strictly limited to provision of additional information, in a form deemed appropriate solely by the plan preparer only to the General Contractor.

-Corrections of errors in this document and additional information as necessary to complete the work will have to be arranged and paid for as necessary by the owner.

-Verify all conditions and dimensions in the field. Do not scale off the drawings.

-All drawings and written materials appearing herein constitute original work and may not be used, duplicated or disclosed without written consent of the plan preparer. All rights in these documents are reserved by the Plan Preparer.

-These documents do not create or evidence any obligations or duties of any kind to the owner, any third party, or the general contractor outside of the assistance in securing permits. They are not represented to be in complete conformance with codes, regulations, laws, or accepted industry practice. The owner is responsible for retaining a licensed contractor during construction so that observation and adjustment to the structure can be made as field conditions indicate.

-The contractor shall be solely responsible for construction means, safety, costs, sequences, procedures, details and all damages to persons or property not specifically indicated for demolition as part of the work, whether or not covered by the payments made. Any party making any use whatsoever of these documents, or deriving any benefit from them, shall fully indemnify and hold harmless the plan preparer and their agents, employees and consultants to the fullest extent possible by law against all omission of any party subcontractor or any direct or indirect employee or agent, claims, losses, and expenses that are caused in whole or part by any negligent act or omission of any party, subcontractor, or any direct or indirect employee or agent, whether or not caused in part by a party indemnified hereunder. This obligation shall not be limited in any way by any employee benefit act or affect any other right or obligation.

INDEMNIFICATION

The owner agrees to indemnify the Plan Preparer, and to hold the Plan Preparer harmless, against any and all losses, damages, costs, expenses (including reasonable attorneys fees), liabilities and other obligations which the Plan Preparer incurs as a result of any THIRD PART CLAIM, action or proceeding based on allegation that the Plan Preparer has breached a material term of this Agreement in any manner other than by the Plan Preparer's sole negligence or willful misconduct in the performance of services, provided however that the Plan Preparer shall promptly notify the Owner in writing of any claim or threatened or actual action proceeding. The Plan Preparer shall control the defense of any such claim, action or proceeding, including the selection of counsel, but the Owner shall have the right to participate in any action or proceeding with counsel of the Owner's selection.

LIMITATION OF LIABILITY

Neither the Plan Preparer nor the Plan Preparer's consultants, agents, representatives or employees shall be liable to the owner for any indirect, special reliance, incidental, consequential or exemplary damages (other than for personal injury) arising out of, or in connection with the performance of services under this Agreement, whether in action based on contract including breach of representation or warranty, delay, negligence (active or passive), strict tort or otherwise.

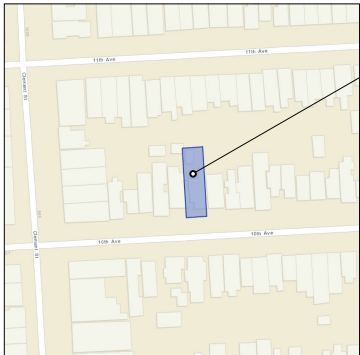
The entire liability of the Plan Preparer's consultants, agents and employees, that does not involve a third party claim, shall in no event exceed the total amount paid to the Plan Preparer by the Owner for services performed hereunder.

The sole remedy for any breach or alleged breach r.e. liability is the preparation of corrected design documents as may be required by the jurisdiction which issues permit.

APPLICABLE CODES

- 2010 San Francisco Building Code amendments (includes Green Building Requirements. See Chapter 13c)
- 2010 San Francisco Electrical Code amendments
- 2010 San Francisco Mechanical Code amendments
- 2010 San Francisco Plumbing Code amendments
- 2007 San Francisco Housing Code amendments
- 2010 California Building Code
- 2010 California Electrical Code
- 2010 California Energy Code
- 2010 California Plumbing Code
- 2010 California Mechanical Code

VICINITY MAP



DRAWING LIST:

ARCHITECTURAL

- | | |
|-------|-------------------------------|
| A1.01 | GENERAL INFO & SITE PLAN |
| A1.02 | FLOOR PLANS & WALL ASSEMBLIES |
| A2.01 | ELEVATIONS |
| A2.02 | ELEVATIONS |
| A2.03 | ELEVATIONS |

SHADED AREA INDICATES REQ'D OPEN AREA AS PER SF MUNI. PLANNING CODE SEC.135.

(N) CONC. S.O.G., SEE 3/A1.02 FOR DETAILS

(E) SINGLE STORY SHED @ ADJ. LOT

(E) SINGLE STORY GARAGE TO BE CONVERTED INTO A SINGLE FAMILY STUDIO DWELLING

(E) 3 STORY ADDITION

(E) CONC. S.O.G. TO REMAIN

DASHED LINE INDICATES AVERAGE REAR YARD LINE

DASHED LINE INDICATES EXISTING OFF-STREET PARKING AREA AS PER SF MUNI. PLANNING CODE SEC. 150.c.2 & SEC 154

(E) CONC. DRIVEWAY

DASHED LINE INDICATES PROPERTY LINE

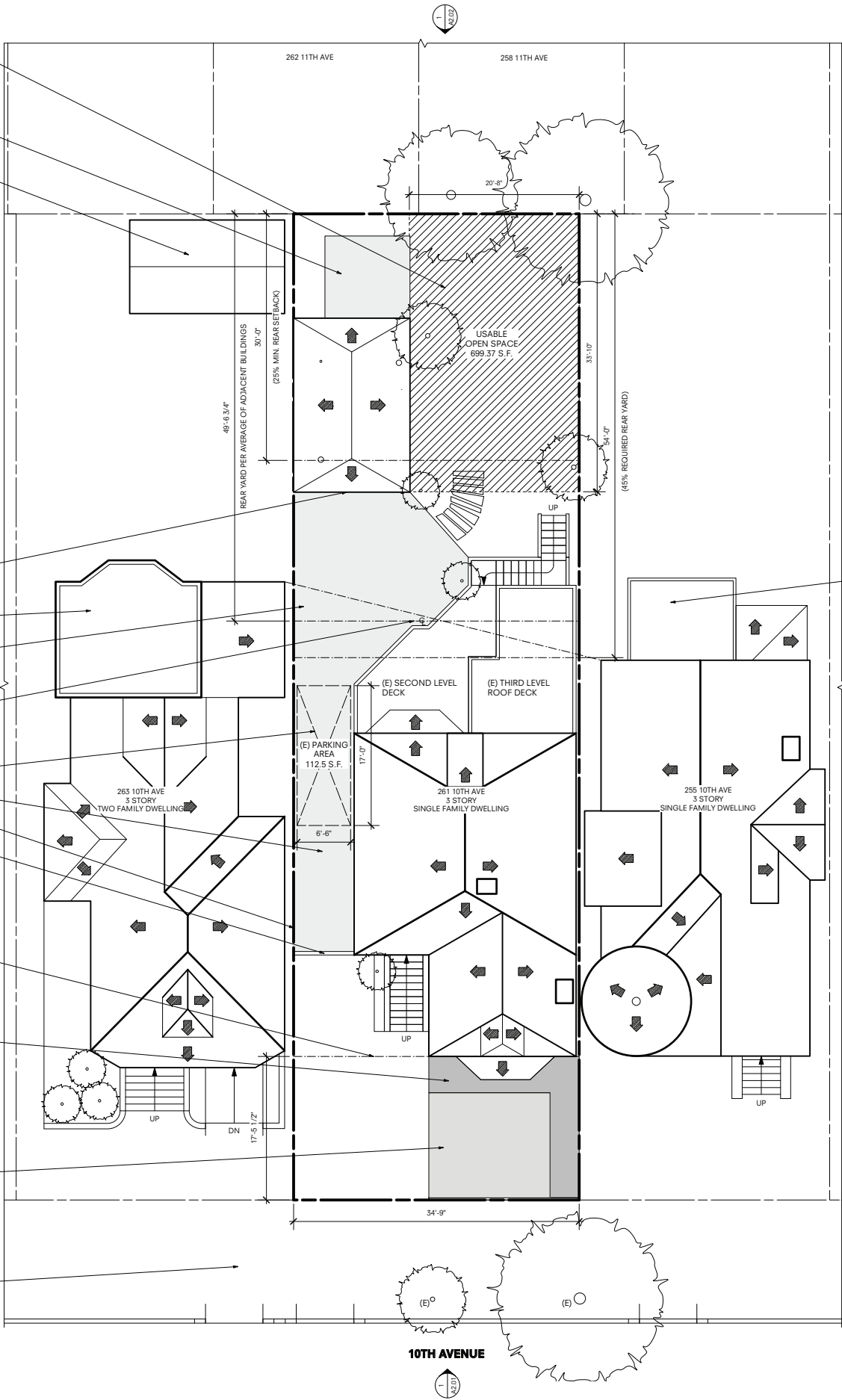
(E) GATE TO REMAIN

DASHED LINE INDICATES FRONT YARD SETBACK

SHADED AREA INDICATES 20% MIN. OF FRONT YARD SETBACK LANDSCAPED AS PER PLANNING CODE SECTION 132(g), SEE A1.02/2 FOR CALC'S.

SHADED AREA INDICATES 50% MIN. FRONT YARD SETBACK PERMEABLE SURFACES AS PER PLANNING CODE SECTION 132(h), SEE A1.02/2 FOR CALC'S.

SIDEWALK.



SHADED AREA INDICATES (N) LANDSCAPING SURFACE, UNPAVED & DEVOTED TO PLANT MATERIAL USING CLIMATE APPROPRIATE PLANT MATERIAL AS PER SF PUBLIC WORKS CODE SEC. 802.1, TYP.

DASHED LINE INDICATES FRONT YARD AREA, TYP.

PTD. STL. LANDSCAPE BORDER T.O. BORDER 1/2" MAX. FROM T.O. PAVES AREA

SHADED AREA INDICATES PERMEABLE INTERLOCKING PAVERS, "TURBSTONE" BY "UNILOK" OR EQ. MANU.

PERMEABLE AREA DIAGRAM

NOTES:

TOTAL LOT AREA:
FRONT YARD AREA:
REQUIRED LANDSCAPE AREA (MIN. 20%):
PROPOSED LANDSCAPE AREA:
REQUIRED PERMEABLE SURFACE AREA (MIN 50%):
PROPOSED PERMEABLE AREA:

4,170 S.F.
607 S.F.
121.33 S.F.
127 S.F. (21%)
303.34 S.F.
319.34 S.F. (53%)

Mork -Ulnes

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project info

SCHMID-MAYBACH STUDIO
261 10TH AVENUE
SAN FRANCISCO CALIFORNIA
APN: 1423/015
PROJECT NO. 21303

no.	date	issues & revisions
01	2013.07.02	ISSUED FOR SITE PERMIT
02	2013.09.25	SITE PERMIT REVISION 1

sheet description

GENERAL INFO & SITE PLANS

reference north	sheet	of
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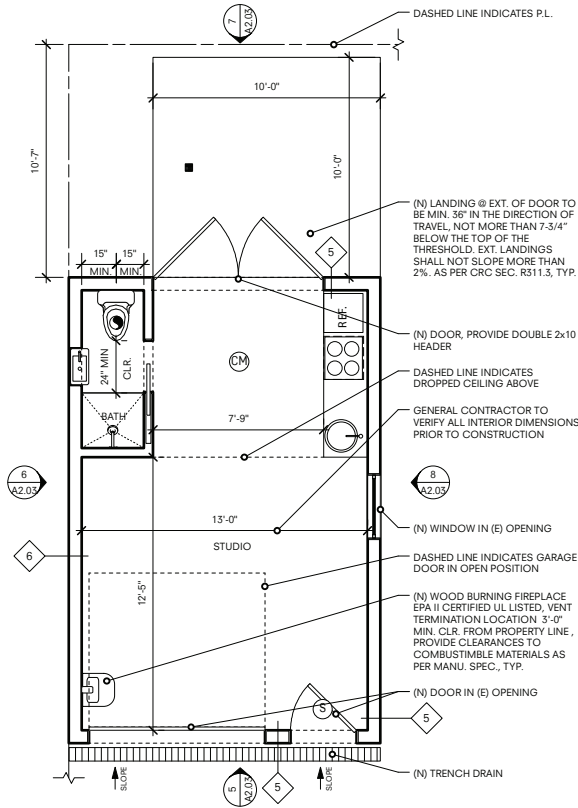


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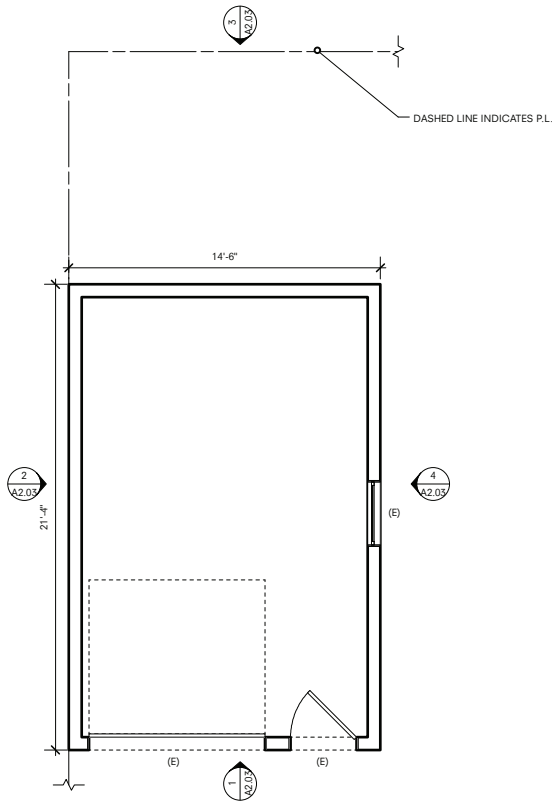
scale

AS SHOWN

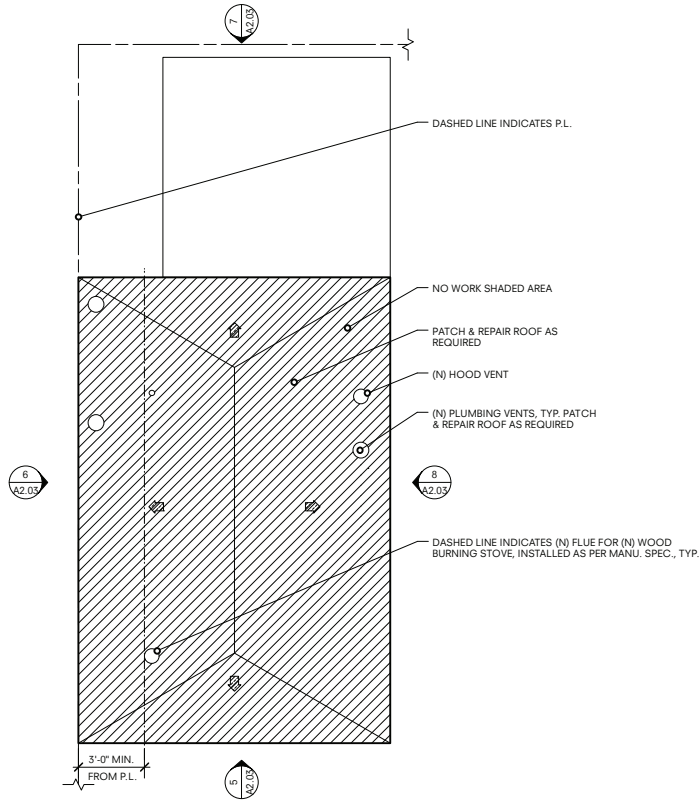
- SYMBOL LEGEND
- 50 CFM EXHAUST FAN
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR



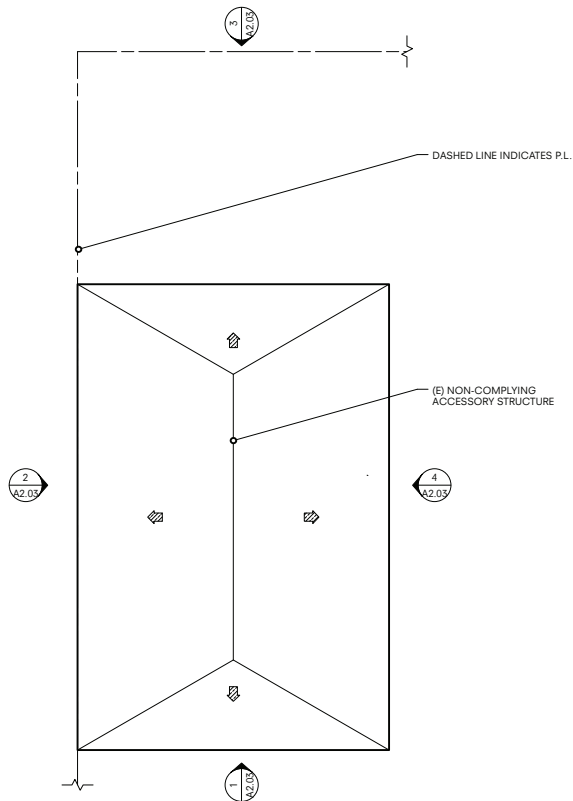
3 FLOOR PLAN - PROPOSED
Scale: 1/8" = 1'-0"



1 FLOOR PLAN - EXISTING
Scale: 1/8" = 1'-0"



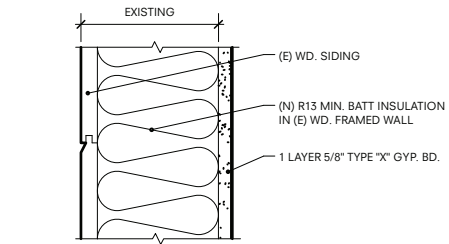
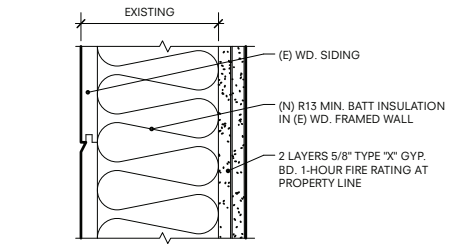
4 ROOF PLAN - PROPOSED
Scale: 1/8" = 1'-0"



2 ROOF PLAN - EXISTING
Scale: 1/8" = 1'-0"

NOTES:

- (N) WINDOWS IN (E) OPENING. WINDOW SIZE TO REMAIN UNLESS NOTED OTHERWISE
- WINDOW MAX U-FACTOR TO BE 0.40 FOR NEW AND REPLACEMENT WINDOWS
- CONTRACTOR TO PROVIDE A MECHANICAL VENTILATING SYSTEM FOR A BATHROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR PER SFBC 1203.3, TYP.
- ENVIRONMENTAL AIR DUCT EXHAUST WITH BACK DRAFT DAMPER SHALL TERMINATE 3FT. MIN. FROM PROPERTY LINE AND OPENINGS INTO THE BUILDING PER SFMC 504.1 & 504.5
- LIGHTING & CONTROL PER CBC-160(K)
- ALL NEW WATER CLOSET'S SHALL CONSUME NO MORE THAN 1.28 GALLONS PER FLUSH. CPC 402.2.2
- ALL NEW SHOWERHEADS SHALL NOT EXCEED 2.5 GPM. CPC 402.2
- ALL NEW FAUCETS SHALL NOT EXCEED 2.2 GPM. CPC 402.1.2



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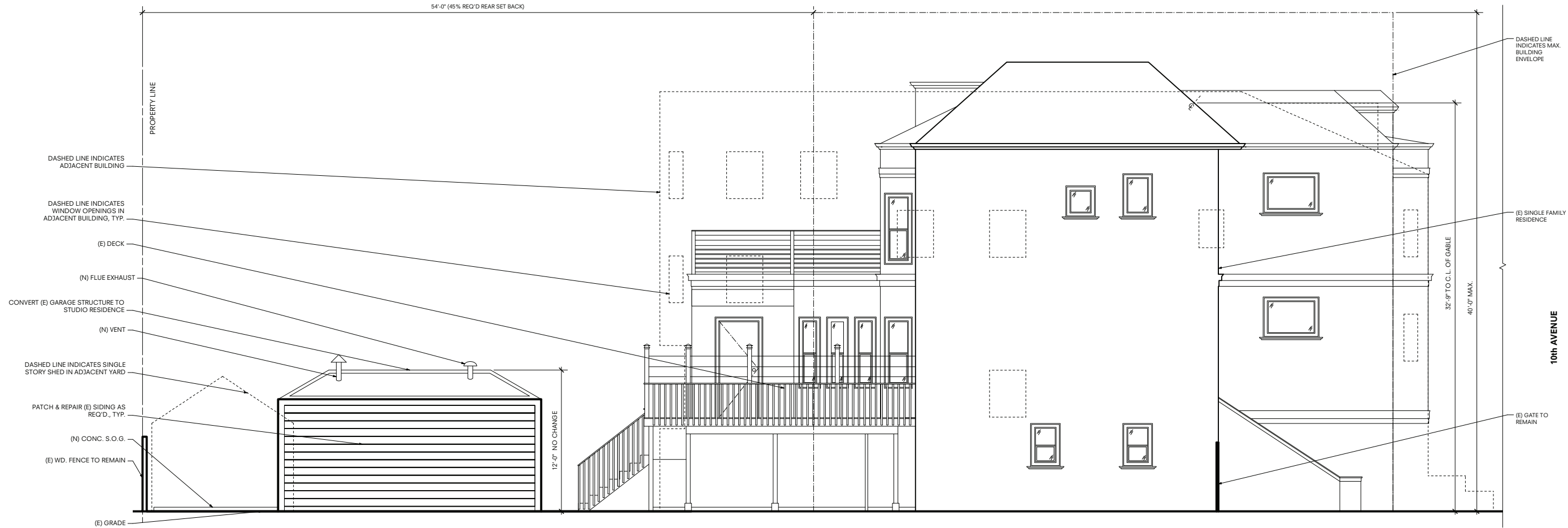
no. date issues & revisions
01 2013.07.02 ISSUED FOR SITE PERMIT
02 2013.09.25 SITE PERMIT REVISION 1

sheet description
FLOOR & ROOF PLANS

reference north sheet of

A1.02

scale
AS SHOWN



2 SIDE ELEVATION (SOUTH) - EXISTING (NO CHANGE)
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION (EAST) - EXISTING (NO CHANGE)
Scale: 1/8" = 1'-0"

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(E) SINGLE FAMILY
RESIDENCE

10th AVENUE

(E) GATE TO
REMAIN



project info
SCHMID-MAYBACH STUDIO
261 10TH AVENUE
SAN FRANCISCO CALIFORNIA
APN: 1423/015
PROJECT NO. 21303

no. date issues & revisions
01 2013.07.02 ISSUED FOR SITE PERMIT
02 2013.09.25 SITE PERMIT REVISION 1

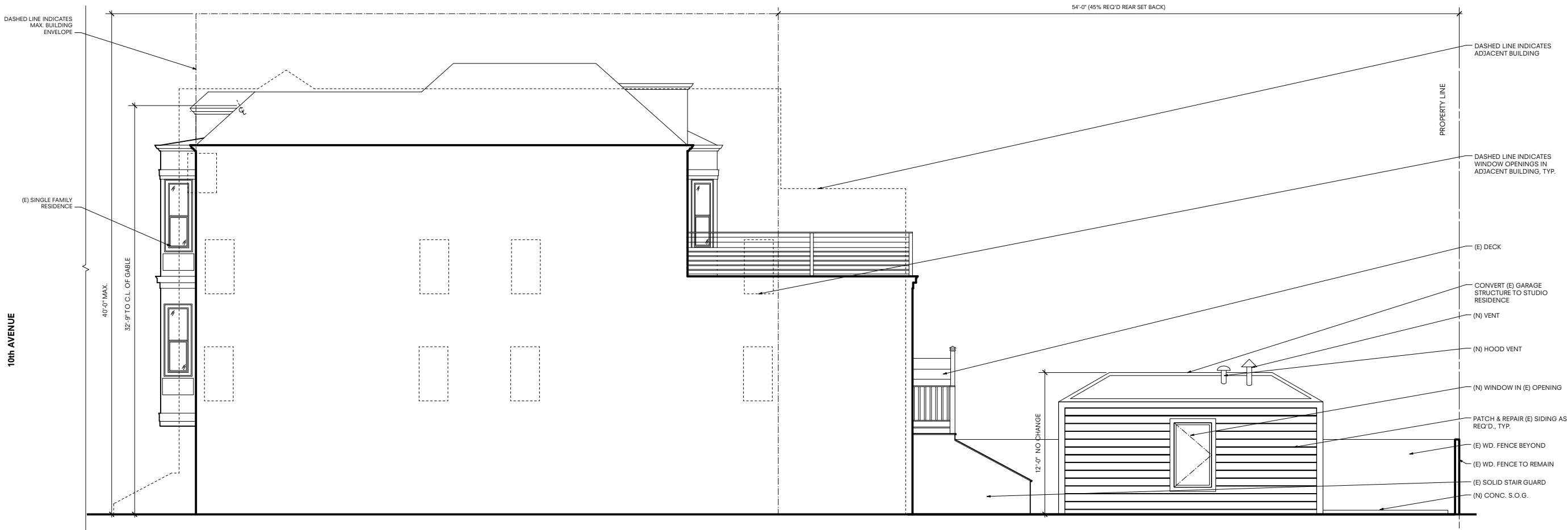
sheet description
ELEVATIONS

reference north sheet of



A2.01

scale
AS SHOWN



2 SIDE ELEVATION (NORTH) - EXISTING (NO CHANGE)
Scale: 1/8" = 1'-0"



1 REAR ELEVATION (WEST) - EXISTING (NO CHANGE)
Scale: 1/8" = 1'-0"

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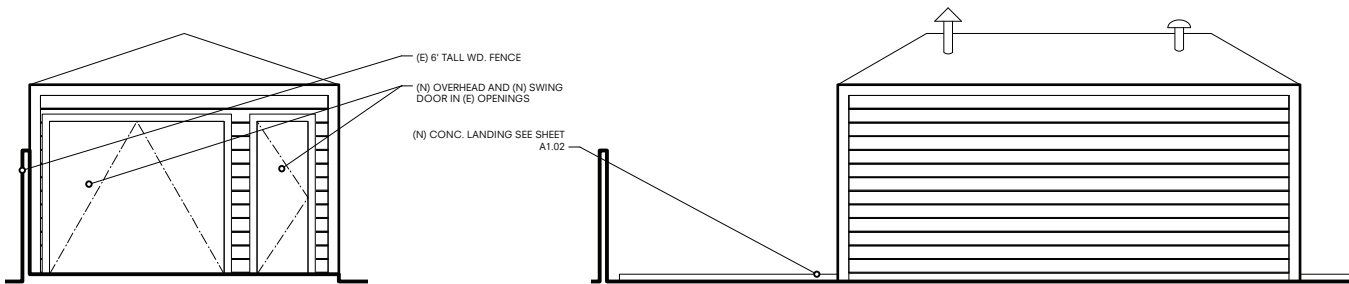
sheet description
ELEVATIONS

reference north sheet of

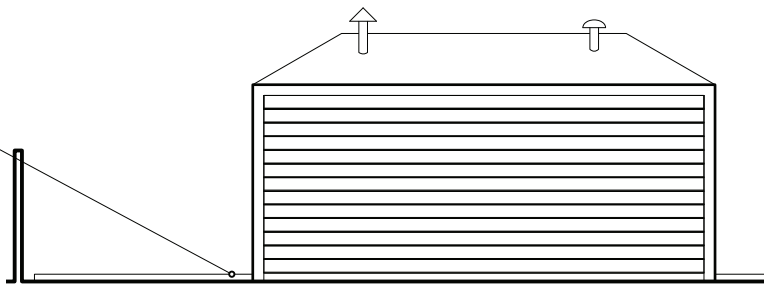


A2.02

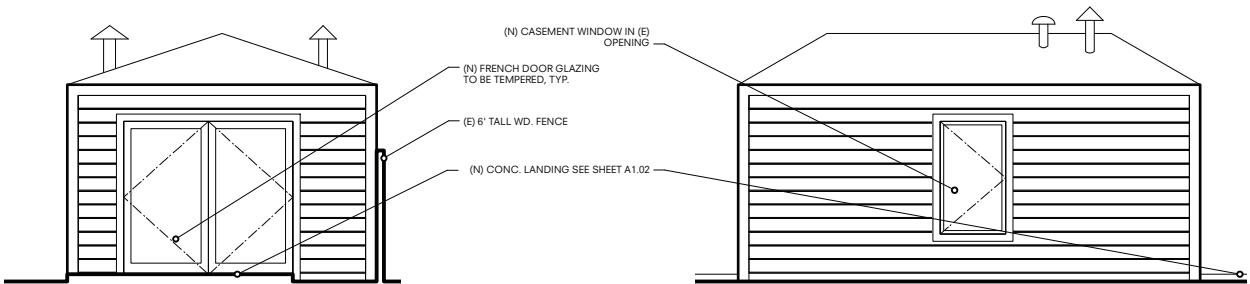
scale
AS SHOWN



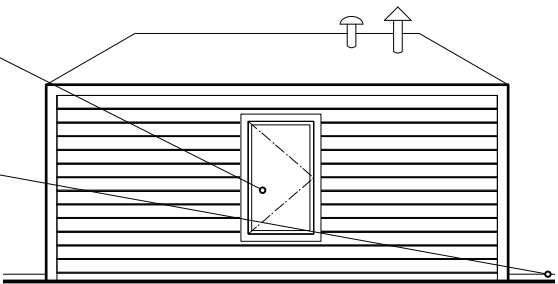
5 EAST ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



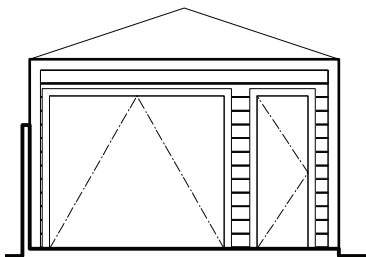
6 SOUTH ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



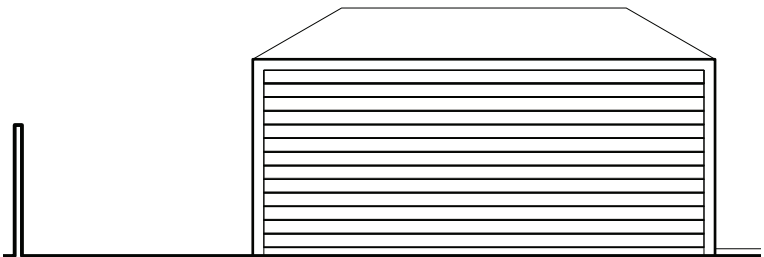
7 WEST ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



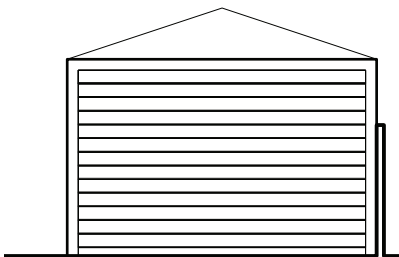
8 NORTH ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



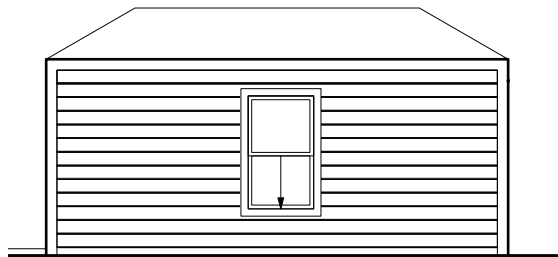
1 EAST ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



3 WEST ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



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2611 10TH AVENUE
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01 2013.07.02 ISSUED FOR SITE PERMIT
02 2013.09.25 SITE PERMIT REVISION 1

sheet description

ELEVATIONS

reference north sheet of

A2.03

scale AS SHOWN