



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 26, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	562 - 564 Fell St	Case No.:	2013.1160V
Cross Street(s):	Buchanan & Laguna Street	Building Permit:	201303283325
Block / Lot No.:	0819/011	Applicant/Agent:	Reza Khoshnevisan
Zoning District(s):	RTO / 40-X	Telephone:	922.0200x108
Area Plan:	n/a	E-Mail:	reza@siaconsult.com

PROJECT DESCRIPTION

The project proposes a one-story vertical addition and alterations to the rear portion of the existing three-story, two-unit building to result in a four-story, three-unit building.

Planning Code Section 134 requires a rear yard equal to 25 percent of the lot depth for the subject property, which is equivalent to 19 feet. The existing building is constructed approximately 17 feet into the required rear yard. The proposed vertical addition would project approximately 11 feet into the required rear yard, but within the existing building footprint. Alterations to the northeast corner of the existing building and construction of the last 11 feet of the vertical addition would require a rear yard variance.

Planning Code Section 135 specifies specific dimensions for usable open space. As the existing decks at the rear façade are proposed to be removed, and new decks are proposed within a smaller footprint, the proposed decks do not meet specific dimensions for useable open space provisions of Section 135.

Planning Code Section 140 requires each dwelling unit to face onto a street or a Code-complying rear yard. The proposed new unit at the vertical addition does not meet the dwelling unit exposure requirements.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **glenn cabreros**

Telephone: **415-558-6169** Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1160V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

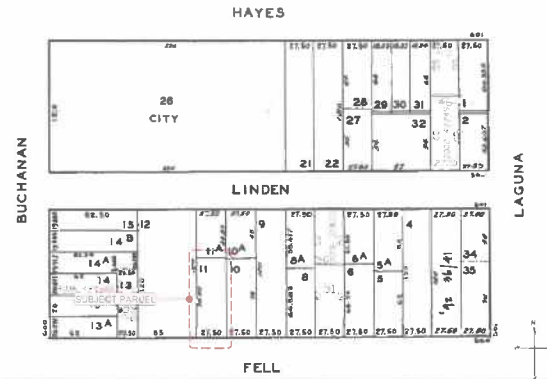
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

SCOPE OF WORK

1. PROPOSED VERTICAL ADDITION TO ACCOMMODATE ONE ADDITIONAL UNIT AT NEW FOURTH FLOOR.
2. PROPOSED IN FILL OF EXISTING RIGHT (EAST) SIDE LIGHT WELL
3. PROPOSED CONVERSION OF (E) STORAGE TO CONDITION LIVING SPACE, & STAIR CONNECTION TO SECOND FLOOR.
4. PROPOSED INTERIOR REMODELING AT SECOND FLOOR & THIRD FLOOR.



DRAWING INDEX

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A-2.3	THIRD FLOOR PLANS
A-2.4	FOURTH FLOOR & ROOF PLANS
A-3.1	BUILDING ELEVATIONS
A-3.2	BUILDING ELEVATIONS
A-3.3	BUILDING ELEVATIONS
A-4.1	BUILDING SECTIONS

PROJECT NAME
562-564 Fell St.
SAN FRANCISCO, CA



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GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL CITY AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTIES ARISING OUT OF VIOLATION HEREOF.
1. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER. DRAWINGS SHOWS ONLY THE SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS, DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, OMISSIONS AND/OR CONFLICTS MUST BE REPORTED TO THE ARCHITECT/ENGINEERS AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE BEGINNING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINER CONDITIONS WHETHER DEPICED IN DRAWINGS OR NOT WITH THE SAME DISCIPLINES.
5. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES. ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB AND SQUARE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHOWING AND PROTECTION DURING CONSTRUCTION, ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED. ALL MATERIALS SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
7. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. PROPOSED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
8. ALL WORK SHALL BE DONE "UNDER PERMIT". PLANS AND CALCULATIONS IF REQUIRED SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
9. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION PLUMBING AND COMMUNICATIONS ARE SEPARATE BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENTION. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTORS/RECONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL, BUILDING AND FIRE CODES.
11. DO NOT SCALE DRAWINGS, VERIFY DIMENSIONS GIVEN.
12. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
13. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF OR INSTALLATION OF ANY ITEM OF WORK.
14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOFFIT BRACING AND BACKING AS REQUIRED FOR ALL HANGING OF INTERIOR TRIM AND FINISHES, AND SHALL CORROBORATE AND PROVIDE ALL FLOOR, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF MATERIAL INDICATED ON THE DRAWINGS, PROVIDE BRACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CLOSETTS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
15. INSTALLED FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ELECTRICAL, MECHANICAL, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL, SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
16. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC 715.
17. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
18. ALL NEW SKIM COATS/STRETCHERS TO 3/8" HARD WIRE

ABBREVIATION

#	POUND OR NUMBER	H.C.	HANDICAPPED
&	AND	HI	HIGH
@	AT	HM	HOLLOW METAL
ABV	ABOVE	HP	HIGH POINT
ACT	ACUSTIC CEILING TILE	HR	HOUR
AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR-CONDITIONING
AF	ALUMINUM FINISHED FLOOR	IGWB	IMPACT RESISTANT GYPSUM WALLBOARD
ALUM	ALUMINUM	ILO	IN LIEU OF
APPROX	APPROXIMATE	INSUL	INSULATED
AND	AND	INT	INTERIOR
ASPH	ASPHALT	IO	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BDOO	BUILDING	MEMBR	MEMBRANE
BLKG	BLOCKING	MINUM	MINIMUM
BOT	BOTTOM	MCON	MASONRY OPENING
BSMT	BASEMENT	MTL	METAL
BST	BOTTOM OF STAIRS	(N)	NEW
BTND	BEYOND	NIG	NOT IN CONTACT
QIF	GAS FIT IN PLACE	NO	NUMBER
CHNL	CHANNEL	NOM	NOMINAL
CJ	CONJOINT JOINT	N.T.S.	NOT TO SCALE
CLG	CEILING	O.C.	ON CENTER
CLO	CLOSET	OFF	OFF
CLR	CLEAR	OH	OPPOSITE HAND
CNTY	COUNTY	OZ	OUNCE
COL	COLUMN	PCC	PRE-CAST CONCRETE
COMPR	COMPRESSIBLE	P L	PROPERTY LINE
CONC	CONCRETE	PLUMB	PLUMBING
CONT	CONTINUOUS	PVD	PLYWOOD
CCRR	CORRIDOR	PT	PRESSURE TREATED
CR	CURB	PHT	PAINT PAINTED
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
CTR	CENTER	RBR	RUBBER
CTYD	COURTYARD	RCF	REFLECTED CEILING PLAN
DBL	DOUBLE	RD	REDWOOD
DEMO	DEMOLISH	REGD	REGIONS
DET	DETAIL	RM	ROOM
D.F.	DRINKING FOUNTAIN	S.F.	SQUARE FOOT
DIA	DIAMETER	SM	SIMILAR
DIMS	DIMENSIONS	SPEC	SPECIFIED OR SPECIFICATION
DN	DOWN	SPK	SPRINKLER
DR	DR	STSL	STAINLESS STEEL
DRAWG	DRAWING	STC	SOUND TRANSMISSION COEFFICIENT
(E)	EXISTING	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR/ELEVATION	STR	STRUCTURAL
EQ	EQUAL	SQ	SQUARE
EXT	EXTENSION	T&G	TONGUE AND GROOVE
EXP JT	EXPANSION JOINT	TC	TOP OF CURB
EXR	EXTERIOR	TELE	TELEPHONE
F.D.	FIRE DRINKING CABINET	TLT	TOILET
REC	RE-EXTINGUISHING CABINET	TOP	TOP OF CONCRETE
FIXT	FIXTURE	TOS	TOP OF STEEL
FLR	FLOOR	TP	TOILET FILLER DISPENSER
FLUOR	FLUORESCENT	T/O	TELEPHONE DATA
FM	FINISHED METAL	TST	TOP OF STAIRS
FND	FIND	TYF	TYPICAL
FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE
F.O.F	FACE OF FINISH	US	UNDERSIDE
FURB	FURNISHING	V.I.F.	VERIFY IN FIELD
GA	GALVE	VP	VISION PANEL
GALV	GALVANIZED	W	WATER
GB	GRASS BAR	WD	WOOD
GND	GROUND	W.H.	WITH HEATER
GRP	GROUP		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

PROJECT DATA

LOT AREA:	7,496 ± S.F.
(E) # OF COVER PARKING SPACES:	2
(E) NUMBER OF UNITS:	2
(N) NUMBER OF UNITS:	3
(E) OCCUPANCY GROUP:	R-3
(N) OCCUPANCY GROUP:	R-2
(E) NUMBER OF STORIES:	3
(N) NUMBER OF STORIES:	4
BUILDING HEIGHT:	40'-0"
CONSTRUCTION TYPE:	V-B
BLOCK & LOT:	0819-011
ZONING:	RTO
APPLICABLE CODES:	2010 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS

GROSS FLOOR AREA:

(E) FIRST FLOOR GROSS AREA (GARAGE & STORAGE):	1,586 ± S.F.
(E) SECOND FLOOR GROSS AREA:	1,616 ± S.F.
(E) THIRD FLOOR GROSS AREA:	1,704 ± S.F.
(E) TOTAL BLDG. GROSS AREA (INCL GARAGE):	4,906 ± S.F.
(N) FIRST FLOOR GROSS AREA (INCL. GARAGE):	1,669 ± S.F.
(N) SECOND FLOOR GROSS AREA:	1,667 ± S.F.
(N) THIRD FLOOR GROSS AREA:	1,748 ± S.F.
(N) FOURTH FLOOR GROSS AREA:	1,313 ± S.F.
(N) TOTAL BLDG. GROSS AREA (INCL GARAGE):	6,397 ± S.F.

HABITABLE FLOOR AREA:

(E) 562 FELL (SECOND FLR.) HABITABLE FLOOR AREA:	1,441 ± S.F.
(E) 564 FELL (THIRD FLR.) HABITABLE FLOOR AREA:	1,594 ± S.F.
(E) TOTAL BLDG. HABITABLE FLOOR AREA:	3,035 ± S.F.
(N) 562 FELL (FIRST & SECOND FLR.) HABITABLE AREA:	2,011 ± S.F.
(N) 564 FELL (THIRD FLR.) HABITABLE AREA:	1,460 ± S.F.
(N) 564A FELL (FOURTH FLR.) HABITABLE AREA:	1,120 ± S.F.
(N) TOTAL BLDG. HABITABLE FLOOR AREA:	4,591 ± S.F.

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

SHEET TITLE

Cover Sheet

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ISSUES / REVISIONS

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DATE	01/24/2013
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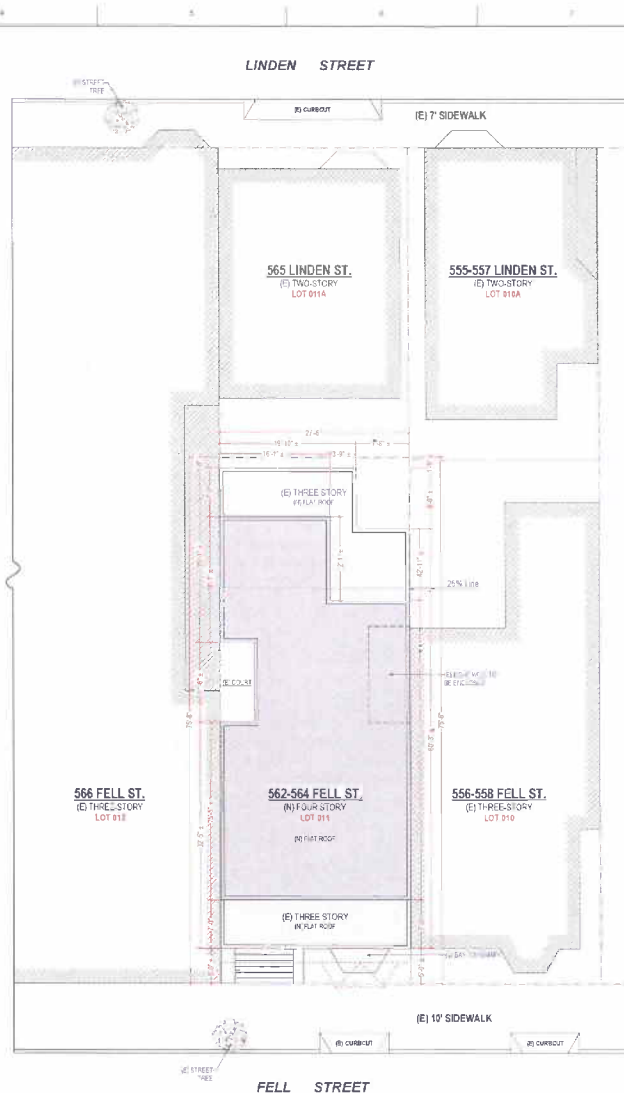
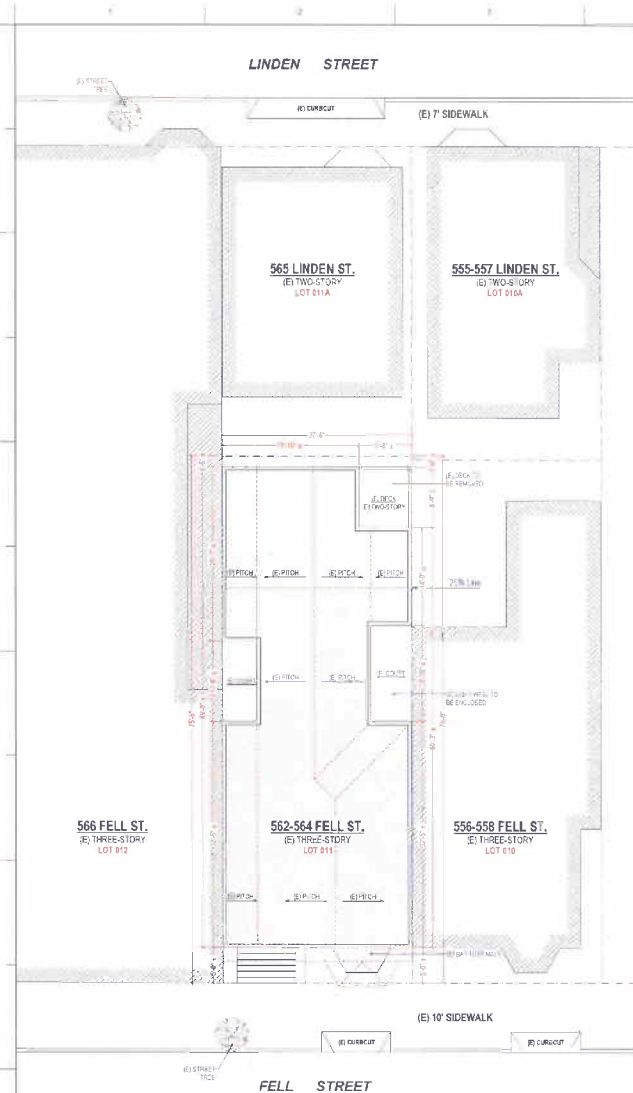
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ELECTRICAL NOTES:

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY COMBUSTIBLE MATERIALS SUCH AS CLOTHES CLOSETS. PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

CEILING PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS:
(A) GARAGE
(B) UNFINISHED BASEMENT, CRAWL, AND STORAGE SPACES
(C) WITHIN 6' OF SINK OR BASIN
(D) EXTERIOR (WATERPROOF)

RECEPTACLE OUTLETS AT THE FOLLOWING LOCATIONS:

(A) 12' O.C. MAX. AND INTERV. @ THE END OF WALLS
(B) ANY WALL SPACE 2' OR MORE FEET WIDE
(C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE UNDER 12' 50" THAT NO POINT IN ANY HALLWAY IS 12' OR MORE IN LENGTH

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, DRYER, DISHWASHER, TRASH COMPACTORS, MICROWAVE OVENS, ETC. SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTABLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE.

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".

ENERGY NOTES:

PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES UP TO 50% OF WATTAGE, AS DETERMINED IN SECTION 13001 OF PERMANENTLY INSTALLED LUMINAIRES BY KITCHENS MAY BE ALL LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPARATE FROM THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES.

EACH ROOM CONTAINING A WATER CLOSET SHALL HAVE AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT FOR 15 WATT OR SMALLER, 40 LUMENS PER WATT FOR 16 WATT, 40 WATT, & 60 LUMENS PER WATT FOR 40 WATT OR HIGHER. IF THERE IS MORE THAN ONE LUMINAIRE IN THE ROOM THE HEIGHT EFFICACY LUMINAIRE SHALL BE SWITCHED AT AN ENTRANCE TO THE ROOM.

LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (C.I.) BY UNDERWRITERS LABORATORIES OR OTHER APPROVED LABORATORIES.

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

(A) CLOSABLE METAL OR GLASS DOORS
(B) COMBUSTION AIR INTAKE AS REQUIRED IN MINIMUM TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL (C) FLUE DAMPER WITH AN ADJUSTABLE ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG HOLDER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE CLOSED OFF IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

PLUMBING AND MECHANICAL NOTES:

AIR DUCTS SHALL BE NO. 26 GALV. SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE.

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CO. COSETS: MAXIMUM ALLOWABLE 1.5 GALLONS PER FILLUP.

SHOWER & TUB SHOWERS SHALL BE PROVIDED WITH PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MINIMUM SETTING OF 120 DEGREES F. THE WATER-HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION (U.P.C. 4102).

DOORS & PANELS OF SHOWERS AND BATH TUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 18" ABOVE A FINISHED SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

SANITATION NOTES:

SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 20 INCHES ABOVE THE DRAIN INLET.

MOISTURE-RESISTANT UNDERLAYMENT @ 6" WATER-RESISTANT DWP BD @ 1/2" A HEIGHT OF 10 INCHES ABOVE THE DRAIN INLET (U.B.C. 8007.1.3).

PROJECT NAME

**562-564 Fell St.
SAN FRANCISCO, CA**



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SHEET TITLE

Site Plans & Notes

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN R.L.

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DATE 01/24/2013

REVISED DATE 02/14/2013

JOB NO. 13-1561

SHEET NO.

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PROJECT NAME
562-564 Fell St.
 SAN FRANCISCO, CA



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First Floor Plans

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ISSUES / REVISIONS

NO	DATE	DESCRIPTION

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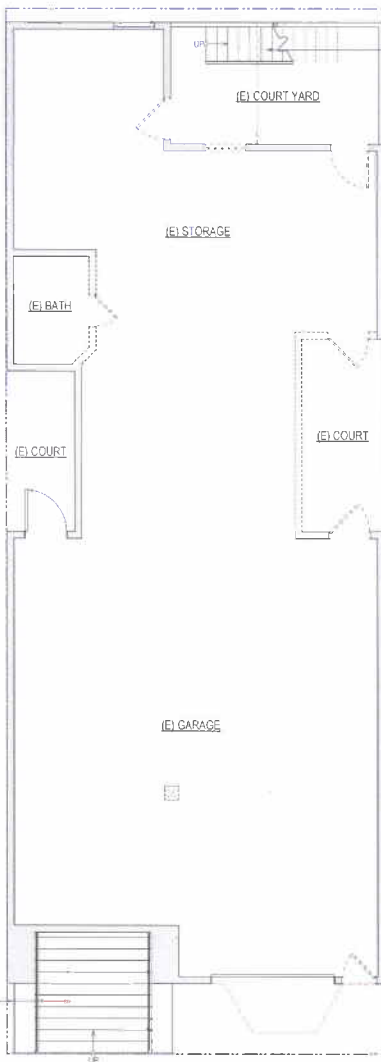
DATE 01/24/2013

REVISED DATE 03/14/2013

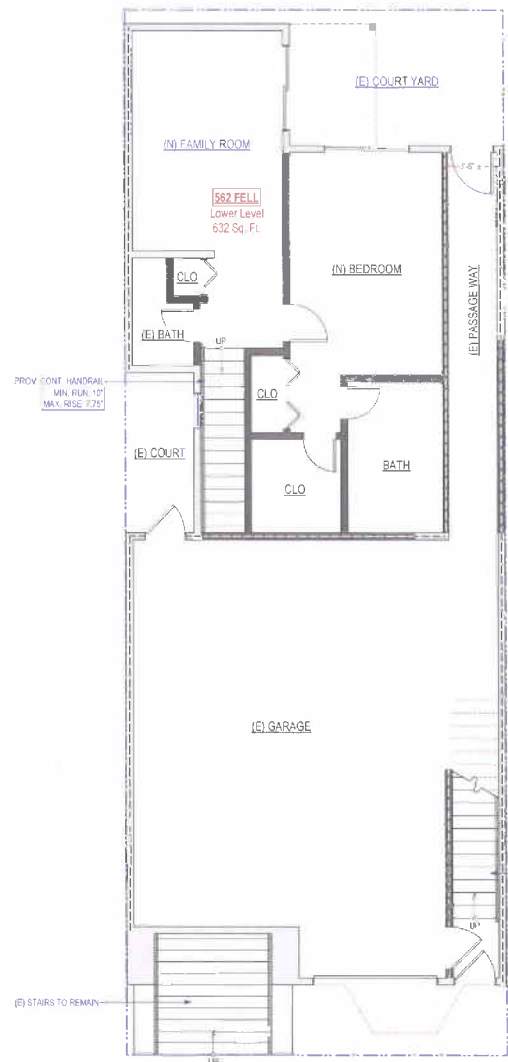
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Existing First Floor Plan
 1/4" = 1'-0"



Proposed First Floor Plan
 1/4" = 1'-0"

PROPERTY LINE
(E) WALL TO BE REMOVED
(E) WALL TO REMAIN
(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
(N) WALL TO BE CONSTRUCTED
(N) WALL TO BE 1-HR. FIRE RATED

PROJECT NAME

562-564 Fell St.
SAN FRANCISCO, CA



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SHEET TITLE

Second Floor Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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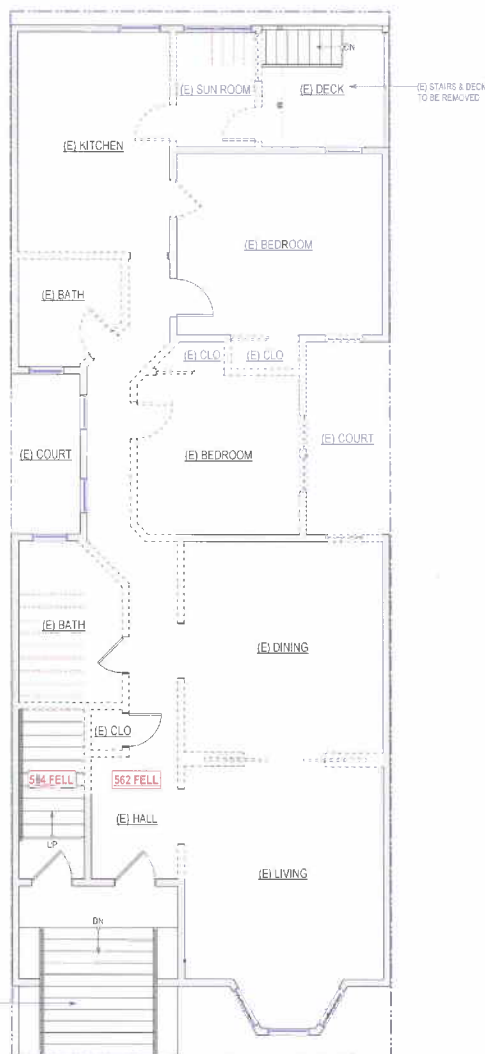
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REVISED DATE 03/14/2013

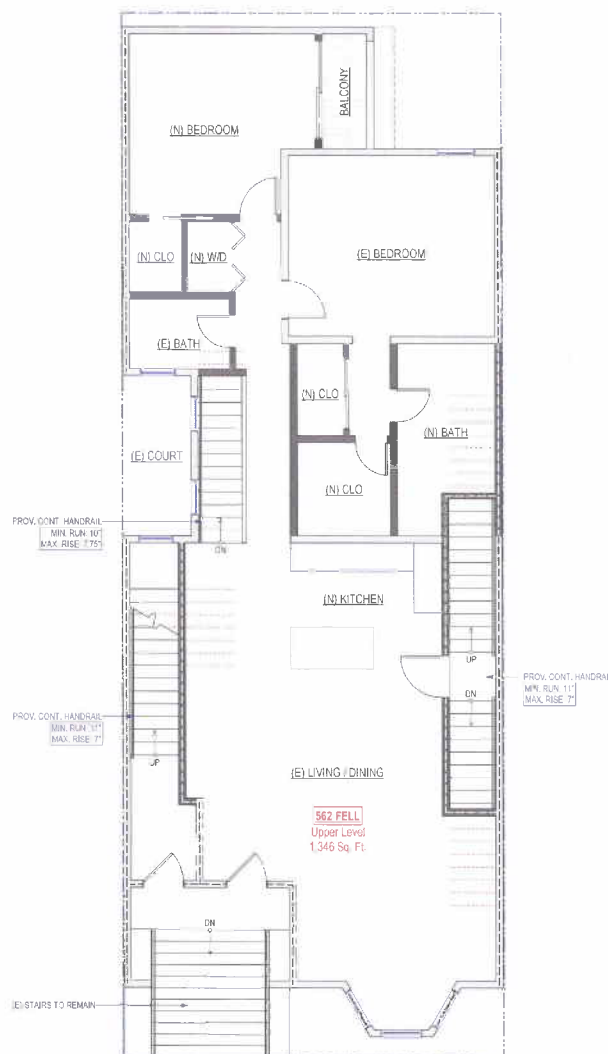
JOB NO. 13-1561

SHEET NO.

A-2.2



Existing Second Floor Plan
1/4" = 1'-0"



Proposed Second Floor Plan
1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

PROJECT NAME

562-564 Fell St.
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
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FAX: (415) 922.0293
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SHEET TITLE

Third Floor Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN R. L.

CHECKED R. K.

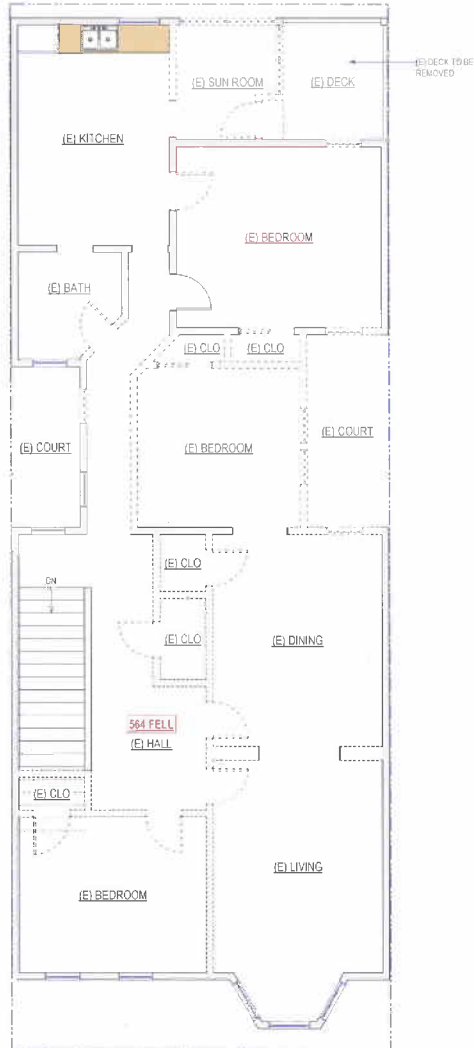
DATE 01/24/2013

REVISED DATE 03/14/2013

JOB NO. 13-1561

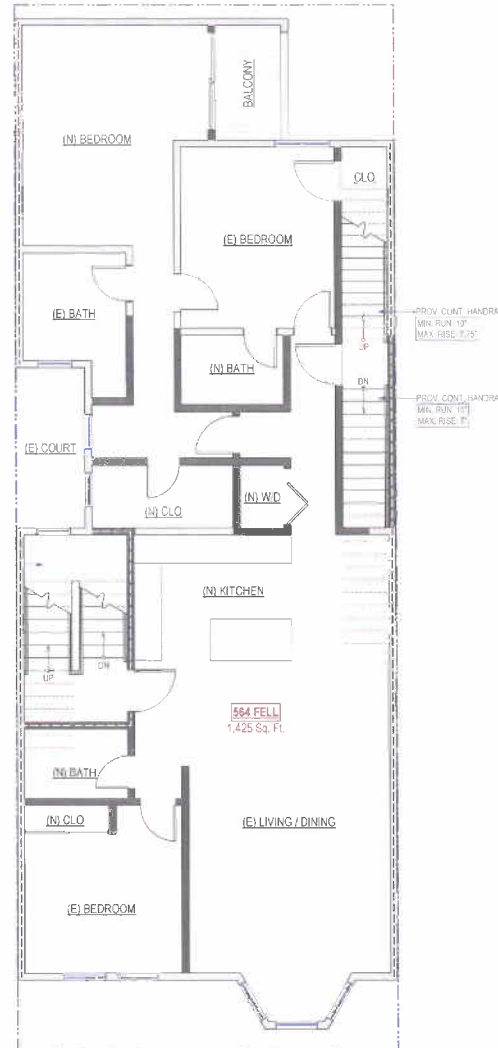
SHEET NO.

A-2.3



Existing Third Floor Plan
1/4" = 1'-0"

PROV. CONT. HANDRAIL
MIN. RUN: 11'
MAX. RISE: 7"



Proposed Third Floor Plan
1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

PROJECT NAME
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SHEET TITLE

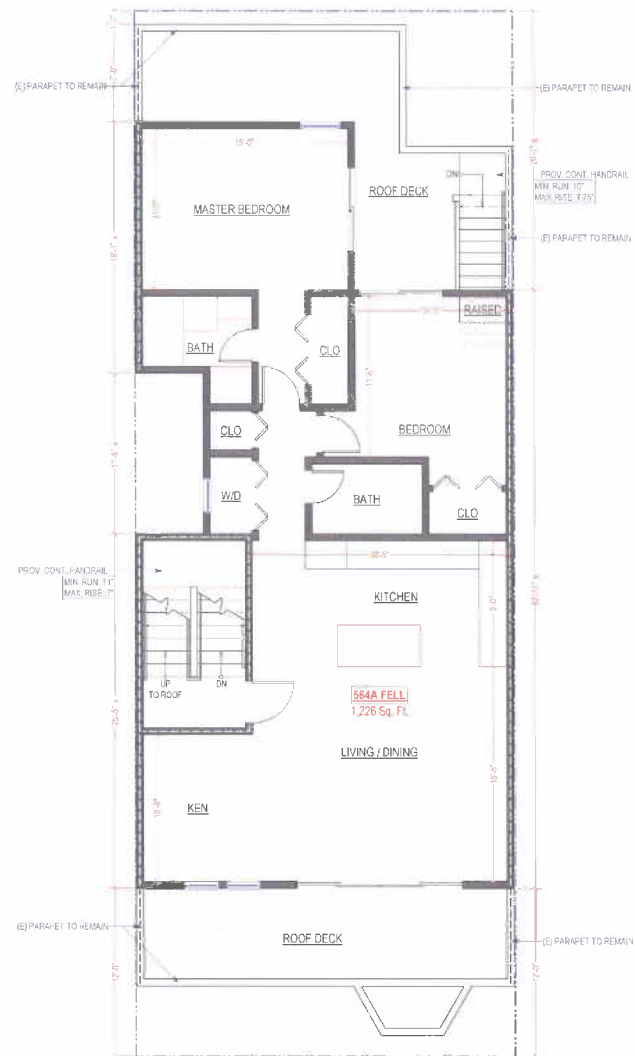
Fourth Floor & Roof Plans

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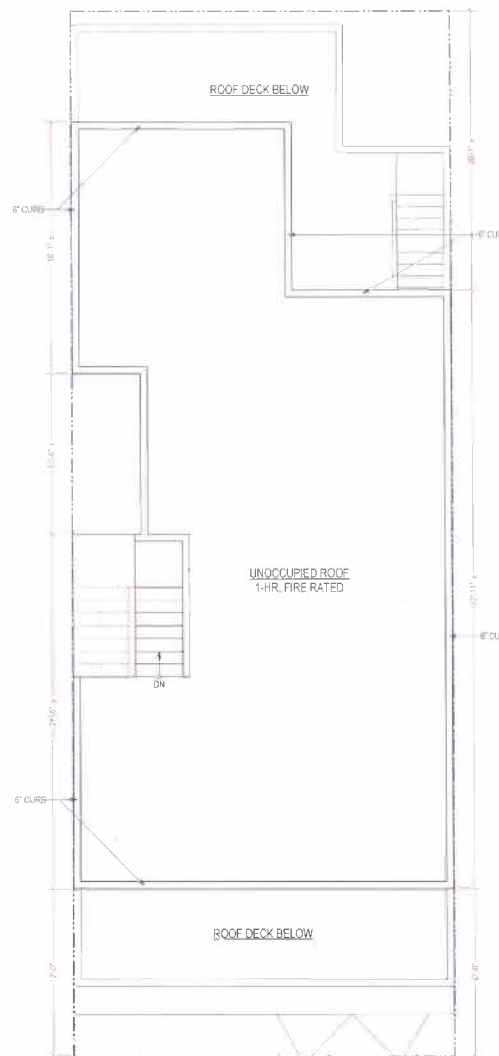
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	R.L.
CHECKED	R.K.
DATE	01/24/2013
REVISED DATE	03/14/2013
JOB NO.	13-1561
SHEET NO.	A-2.4



Proposed Fourth Floor Plan
 1/4" = 1'-0"



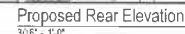
Proposed Roof Plan
 1/4" = 1'-0"

PROPERTY LINE
(E) WALL TO BE REMOVED
(E) WALL TO REMAIN
(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
(N) WALL TO BE CONSTRUCTED
(N) WALL TO BE 1-HR. FIRE RATED

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SAN FRANCISCO, CA



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A-3.1

PROJECT NAME

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SHEET TITLE

Building Elevations

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ISSUES / REVISIONS

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DRAWN	R.L.
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CHECKED	R.K.
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DATE	01/24/2013
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REVISED DATE	03/14/2013
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JOB NO.	13-1561
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SHEET NO.

A-3.3

Existing Right Elevation
1/8" = 1'-0"

Proposed Right Elevation
1/8" = 1'-0"

(E) DECK TO BE REMOVED

(E) DECK TO BE REMOVED

(E) STAIRS TO BE REMOVED

HALL BULKHEADS TO BE P.T.
PLYWG. TYP.

HORIZONTAL SIDING

(N) GLAZED PATIO DR.

(N) 42" HIGH GUARDRAILS,
OPENINGS NOT TO EXCEED
36"

PROJECT NAME

562-564 Fell St.
SAN FRANCISCO, CA



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SHEET TITLE

Building Section

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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DATE 01/24/2013

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JOB NO. 13-1561

SHEET NO.

A-4.1

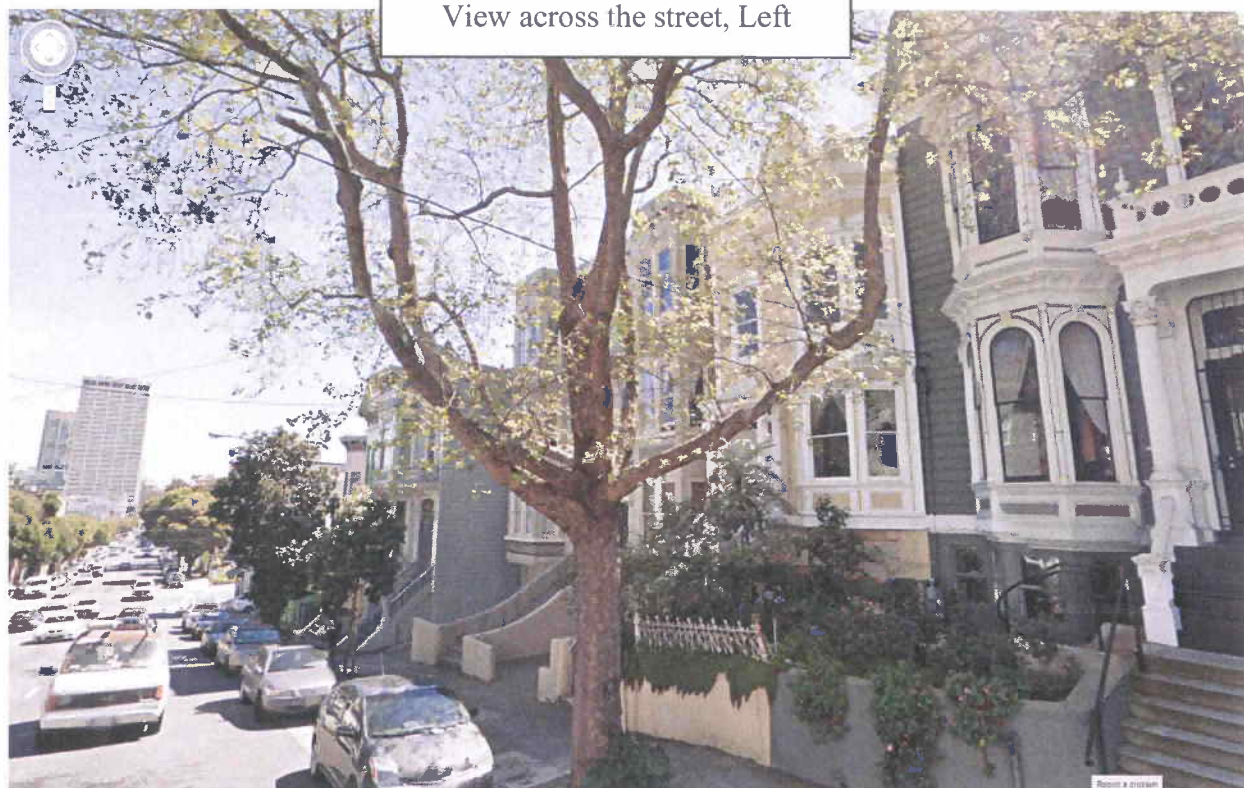
Existing Section A-A
1/8" = 1'-0"

Proposed Section A-A
1/8" = 1'-0"

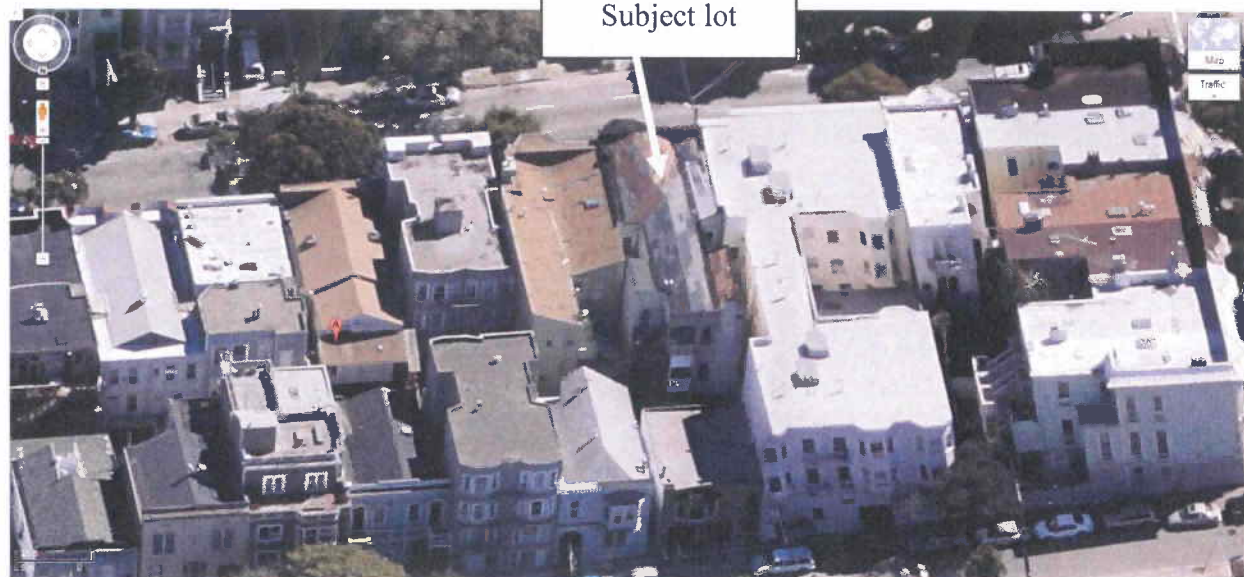


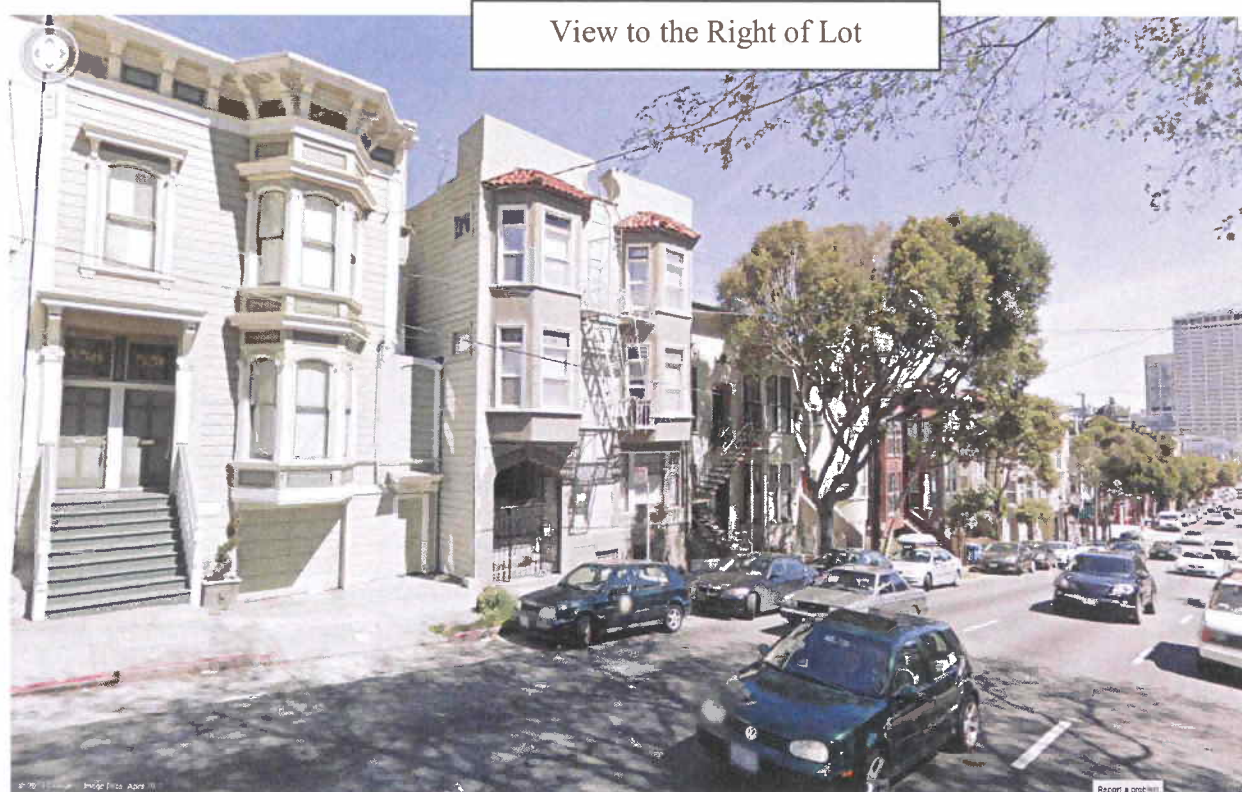


View across the street, Left

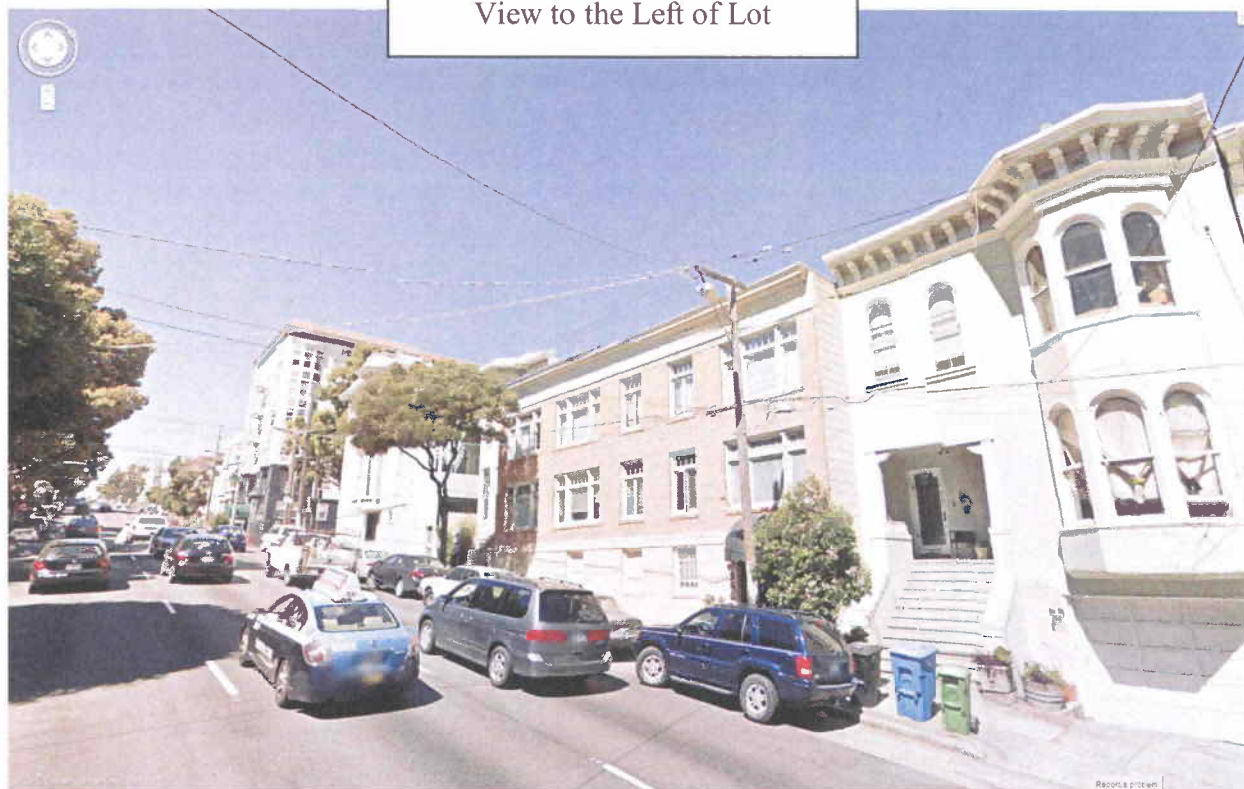


Subject lot





View to the Left of Lot



View across the street, right

