



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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415.558.6378

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415.558.6409

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Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 22, 2014**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Rear and Side Yard, and Non-Complying Structure Variances**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2798 Broadway Street	Case No.:	2013.1159V
Cross Street(s):	Broderick and Vallejo St	Building Permit:	N/A
Block /Lot No.:	0958/001	Applicant:	Jeremy Paul
Zoning District(s):	RH-1(D)/40-X	Telephone:	(415) 552-1888
Area Plan:	N/A	E-Mail:	jeremy@quickdrawsf.com
PROJECT DESCRIPTION			
<p>The proposal is to excavate and reconstruct walls to add space below the existing building footprint, which is located within the required rear and side yards of this 3-story single-family home.</p> <p>PER SECTION 133 OF THE PLANNING CODE the subject property requires two side yards of three feet. The existing building encroaches entirely within the side yards and the project proposes to rebuild the existing non-complying structure (including additional excavation at the lowest levels) within the existing footprint and lower the west side roof line.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 34 feet, where 14 feet is currently provided. The proposed reconstruction and excavation at the rear in the existing building footprint is located within the required rear yard.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2013.1159V.pdf</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
Planner: Sharon Lai		Telephone: (415) 575-9087	E-Mail: sharon.w.lai@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

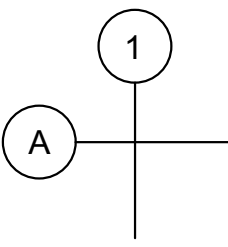
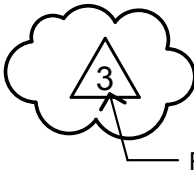
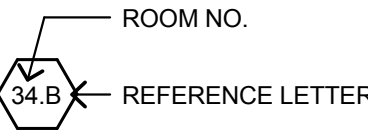
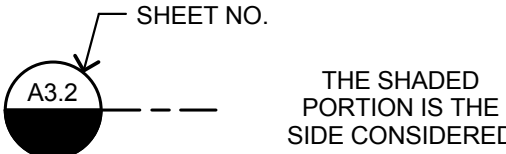
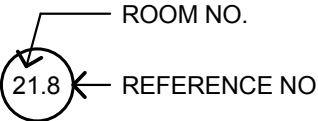
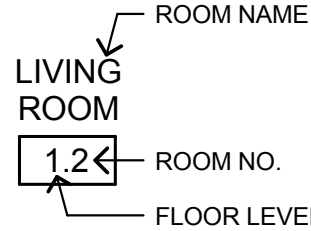
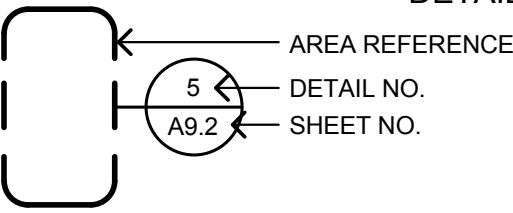
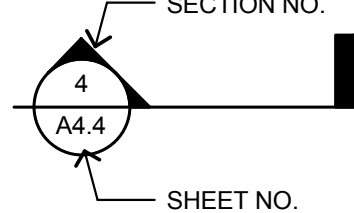
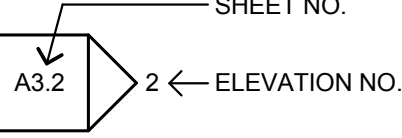
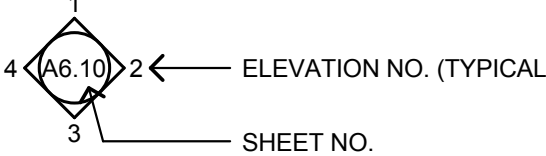
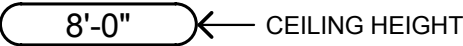

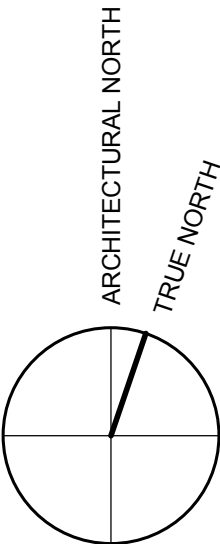
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

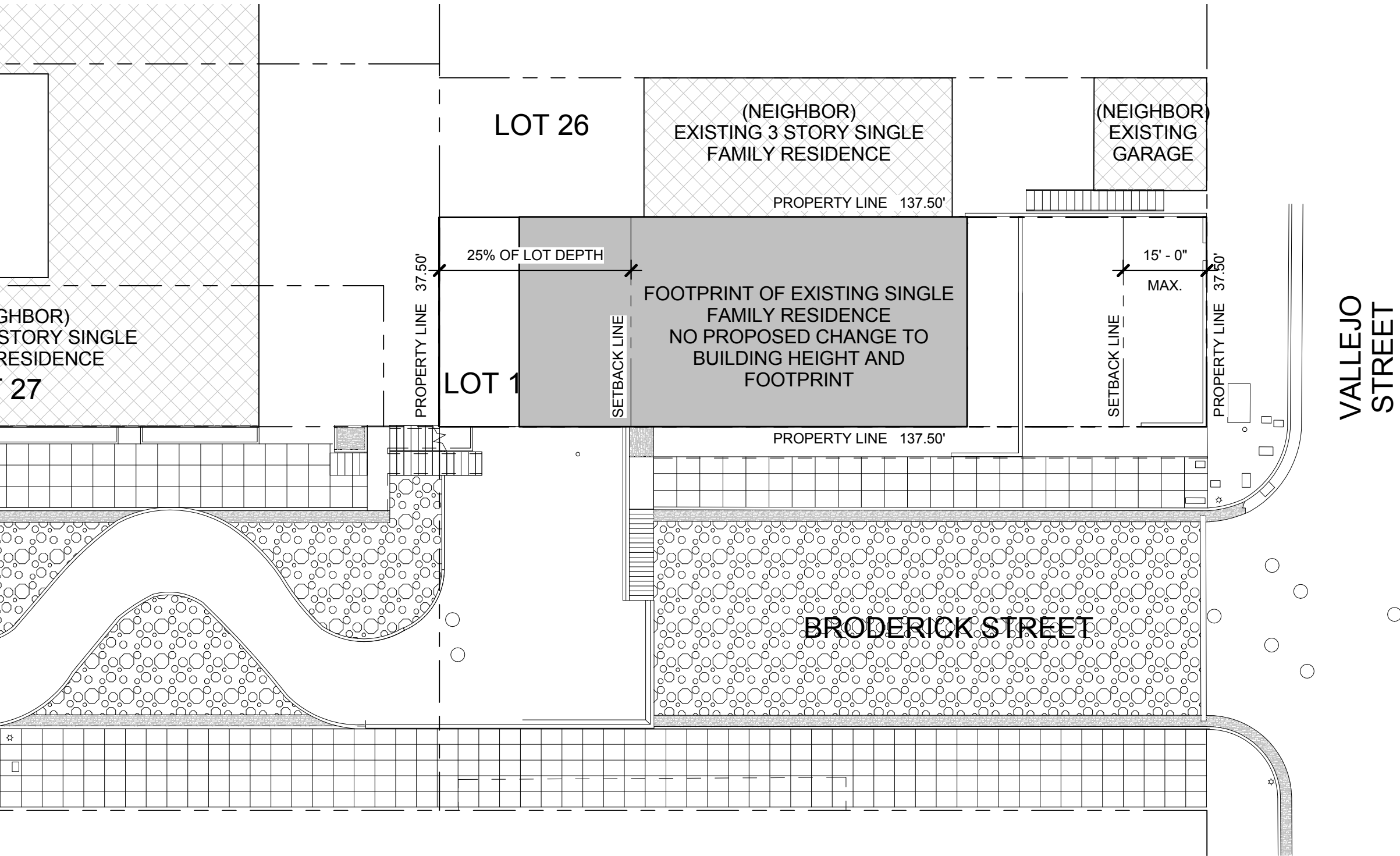
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

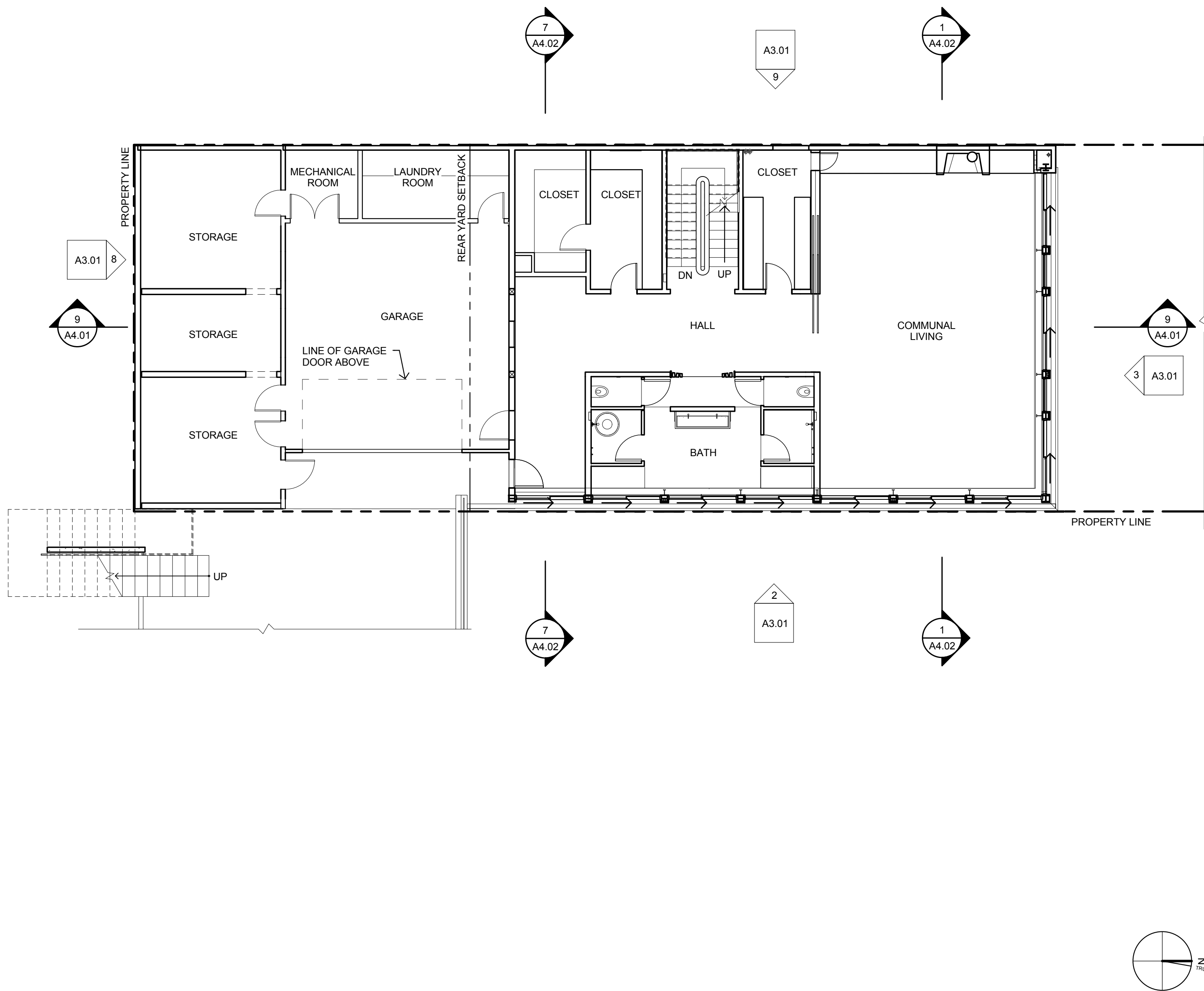
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 <div>BUILDING GRID LINES</div>	 <div>REVISION CLOUD</div>
 <div>WINDOW SYMBOL</div>	 <div>MATCH LINE</div>
 <div>DOOR SYMBOL</div>	 <div>ROOM LABEL</div>
 <div>DETAIL</div>	 <div>SECTION</div>
 <div>EXTERIOR ELEVATION</div>	 <div>INTERIOR ELEVATION</div>
 <div>CEILING HEIGHT</div>	<div>DIMENSION STRING</div>
 <div>WORK POINT OR CONTROL POINT</div>	<div>NORTH ARROW</div>
	
SYMBOLS NOT TO SCALE	
10	
<div>ARCHITECT: Marmol Radziner + Associates 12210 Nebraska Avenue Los Angeles, CA 90025 310.826.6222 TEL 310.826.6226 FAX www.marmol-radziner.com</div> <div>LOW VOLTAGE: Engineered Environments 680 8th Street San Francisco, CA 94103 510.521.7500 TEL 415.272.6842 FAX</div> <div>GENERAL CONTRACTOR: Ryan Associates, General Contractors 333 12th Street San Francisco, CA 94103 415.575.3853 TEL 415.990.9438 FAX</div> <div>SURVEYOR: BGT Land Surveying 1920 Leslie Street San Mateo, CA 94403 650.212.1030 TEL 650.212.1031 FAX</div> <div>LIGHTING DESIGNER: Sean O'Connor Lighting 8820 Wilshire Blvd. Suite 320 Beverly Hills, CA 90211 310.659.5900 TEL 310.659.5915 FAX</div> <div>LANDSCAPE DESIGN: Marmol Radziner + Associates 12210 Nebraska Avenue Los Angeles, CA 90025 310.826.6222 TEL 310.826.6226 FAX www.marmol-radziner.com</div> <div>SOILS ENGINEER: GeoForensics 561 Pilgrim Dr., Suite 0 Foster City, California 94404 650.349.3369 TEL 650.571.1878 FAX</div> <div>INTERIOR DESIGNER: Charles de Lisle Workshop 249 Hickory St. San Francisco, CA 94102 415.565.6767 TEL 415.8675200 FAX</div> <div>HISTORICAL SURVEY: Tim Kelley Consulting, LLC Historical Resources 2912 Diamond Street #330 San Francisco, CA 94131 415.337.5824 TEL</div> <div>MECHANICAL DESIGN: ATLAS Heating and Ventilating Co., Ltd. 340 Roebing Road South San Francisco, CA 94080 650.873.7000 TEL 650.266.8079 FAX</div> <div>PERMIT CONSULTANT: Quickdraw Permit Consulting 1325 California Street San Francisco, CA 94109 415.552.1888 TEL</div> <div>STRUCTURAL ENGINEER Strandberg Engineering 98 Jack London Alley San Francisco, California 94107 415.310.6154 TEL 415.310.6154</div>	
PROJECT DIRECTORY NO SCALE	
12	

PROJECT ADDRESS:	2798 BROADWAY STREET SAN FRANCISCO, CA 94123
LOT:	LOT1
TRACT:	-
CENSUS TRACT:	013200
MAP REFERENCE:	-
DISTRICT MAP:	DISTRICT 2
ASSESSOR'S PARCEL NUMBER:	0958 001
ZONE:	RH-1(D)
OCCUPANCY:	R3
FIRE ZONE:	-
HEIGHT LIMIT:	40 FEET
LOT TYPE:	CORNER LOT
LOT SIZE:	5,156 SF.
CONSTRUCTION TYPE:	TYPE V- B
BUILDING FOOTPRINT:	2,960 SF.
EXISTING BUILDING SQUARE FOOTAGE:	6,921 SF.
TOTAL BUILDING SQUARE FOOTAGE:	7,049 S.F.
LOT COVERAGE:	7,049/5,156 = 136% COVERAGE
BUILDING HEIGHT:	EXISTING NO PROPOSED CHANGE
LEGAL DESCRIPTION:	-
PROJECT DESCRIPTION:	
EXISTING ENCROACHMENT IN THE REAR YARD: NO EXTERIOR ALTERATIONS TO THE FACADE PROPOSED. EXTERIOR MATERIALS TO BE REMOVED AN REPLACED IN KIND. 575 SQUARE FEET OF EXISTING BRICK DECK TO BE REMOVED AND REPLACED WITH GARDEN ROOF. RENOVATION TO EXISTING INTERIOR NON-BEARING PARTITION WALLS BELOW GRADE. REMOVAL AND REPLACEMENT OF INTERIOR MATERIALS IN KIND.	
ROOF: 760 SQUARE FEET OF EXISTING FLAT PORTION OF ROOF TO BE REMOVED AND REPLACED WITH SLOPED ROOF TO MATCH EXISTING SLOPED ROOF ON NORTH, EAST AND SOUTH. EXISTING BUILT-UP ROOFING TO BE REMOVED AND REPLACED WITH METAL ROOFING.	
PROJECT INFORMATION NO SCALE	
8	

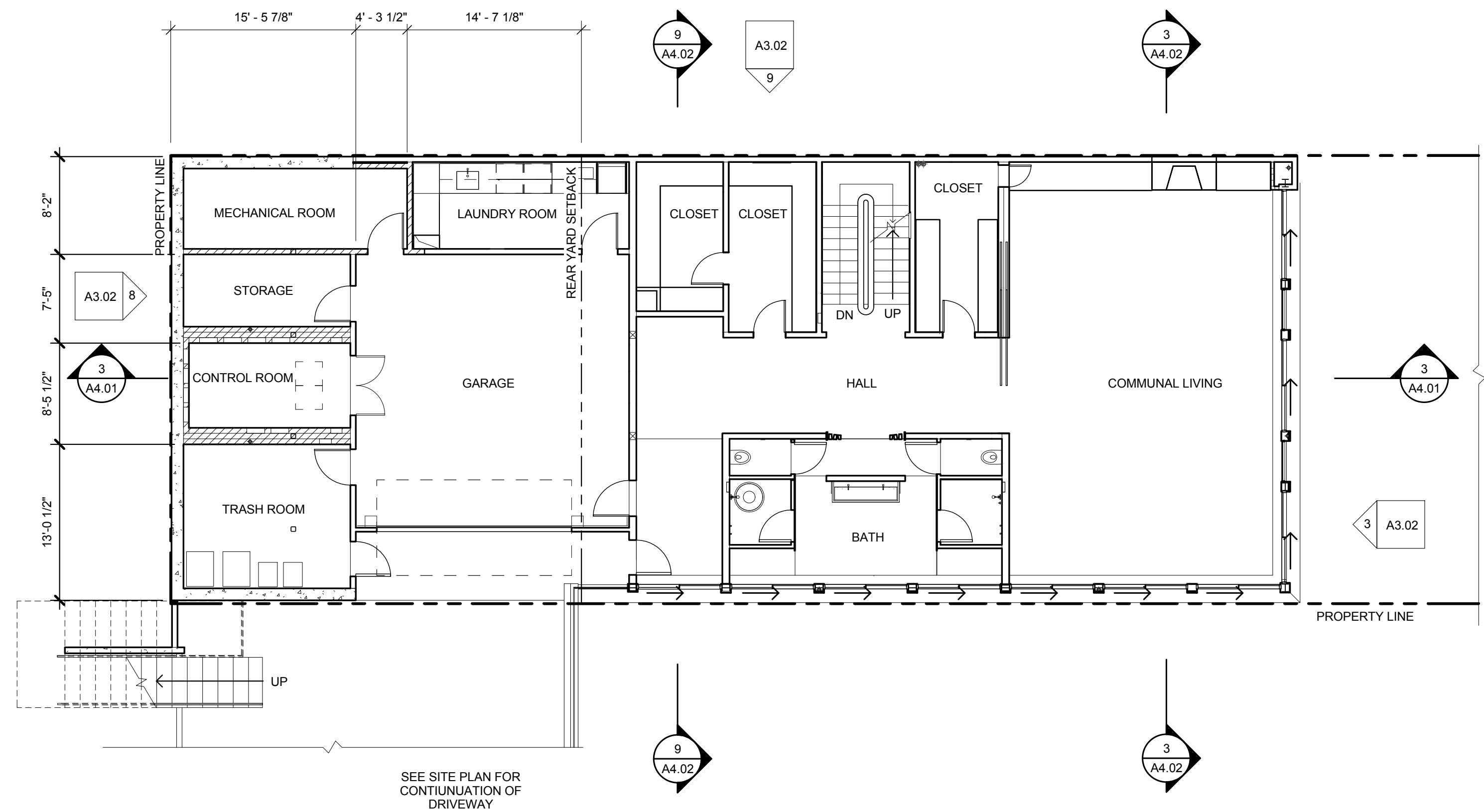
SHEET LIST	
Sheet Number	Sheet Name
ARCHITECTURAL	
A0.01	TITLE SHEET
ARCHITECTURAL	
A1.01	SITE PLAN
A2.03	EXISTING AND PROPOSED FLOOR PLAN LEVEL- 2
A2.05	EXISTING AND PROPOSED ROOF PLAN
A3.01	EXISTING EXTERIOR ELEVATIONS
A3.02	PROPOSED EXTERIOR ELEVATIONS
PROJECT INFORMATION NO SCALE	
8	
SHEET INDEX NO SCALE	
1	
	
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PROJECT DIRECTORY NO SCALE	
12	
SHEET INDEX NO SCALE	
1	
SITE PLAN 1" = 20'-0"	
3	

MARMOL RADZINER AIA	
12210 Nebraska Avenue Los Angeles California 90025 info@marmol-radziner.com www.marmol-radziner.com	
310.826.6222 phone 310.826.6226 fax	
architecture construction interiors landscape	
JACKSON HOUSE 2798 BROADWAY STREET SAN FRANCISCO, CA 94123	
TITLE SHEET	
12/30/13	
2012052	
A0.01	



EXISTING FLOOR PLAN LEVEL- 2
1/8" = 1'-0"

5



PROPOSED FLOOR PLAN LEVEL- 2
1/8" = 1'-0"

2

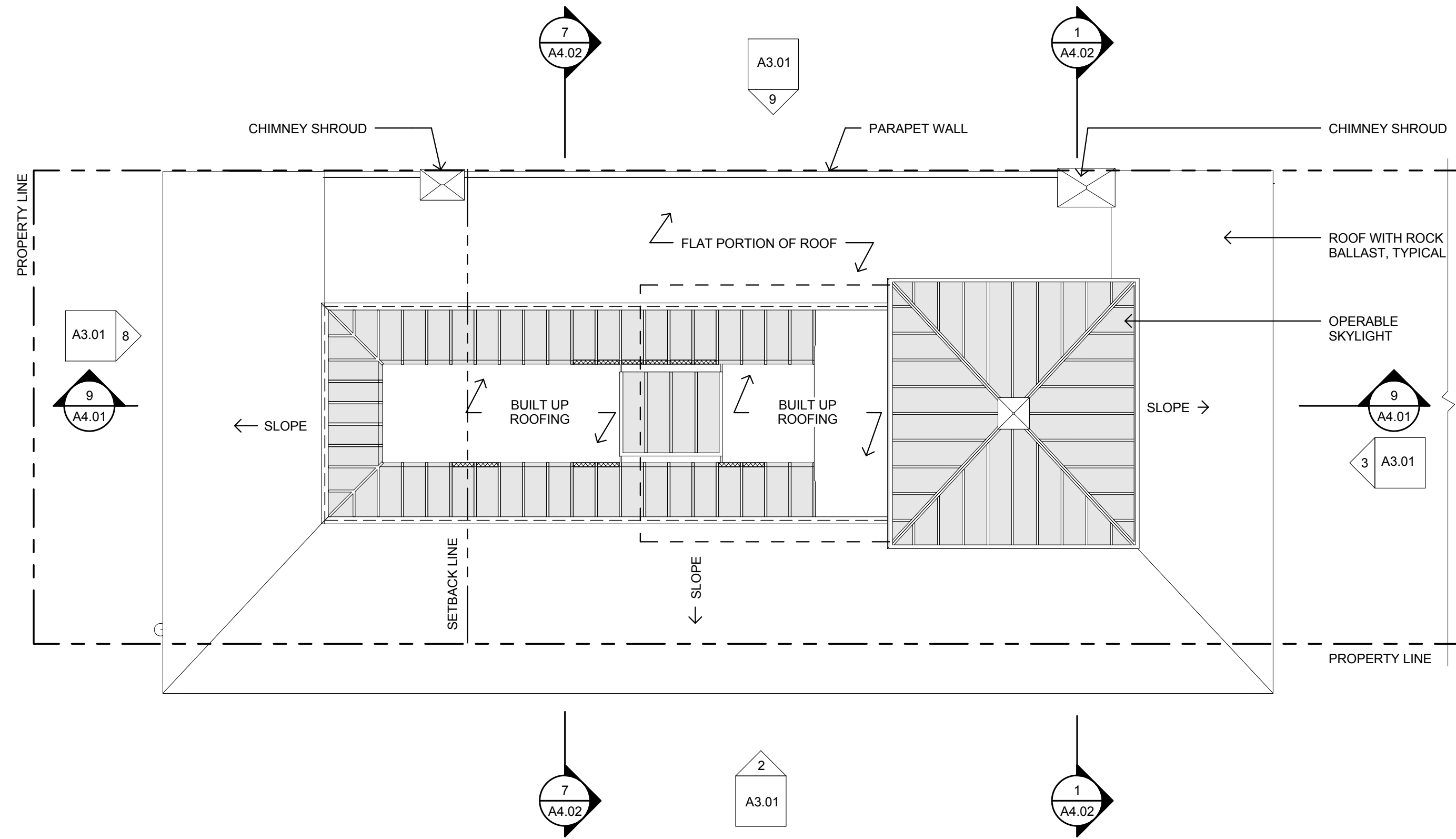
- EXISTING STRUCTURE
- 2X4 WOOD FRAMING
- 2X6 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- 1 HOUR ASSEMBLY
- 1 1/8" STEEL TUBE FRAMING

NOT USED
NO SCALE

6

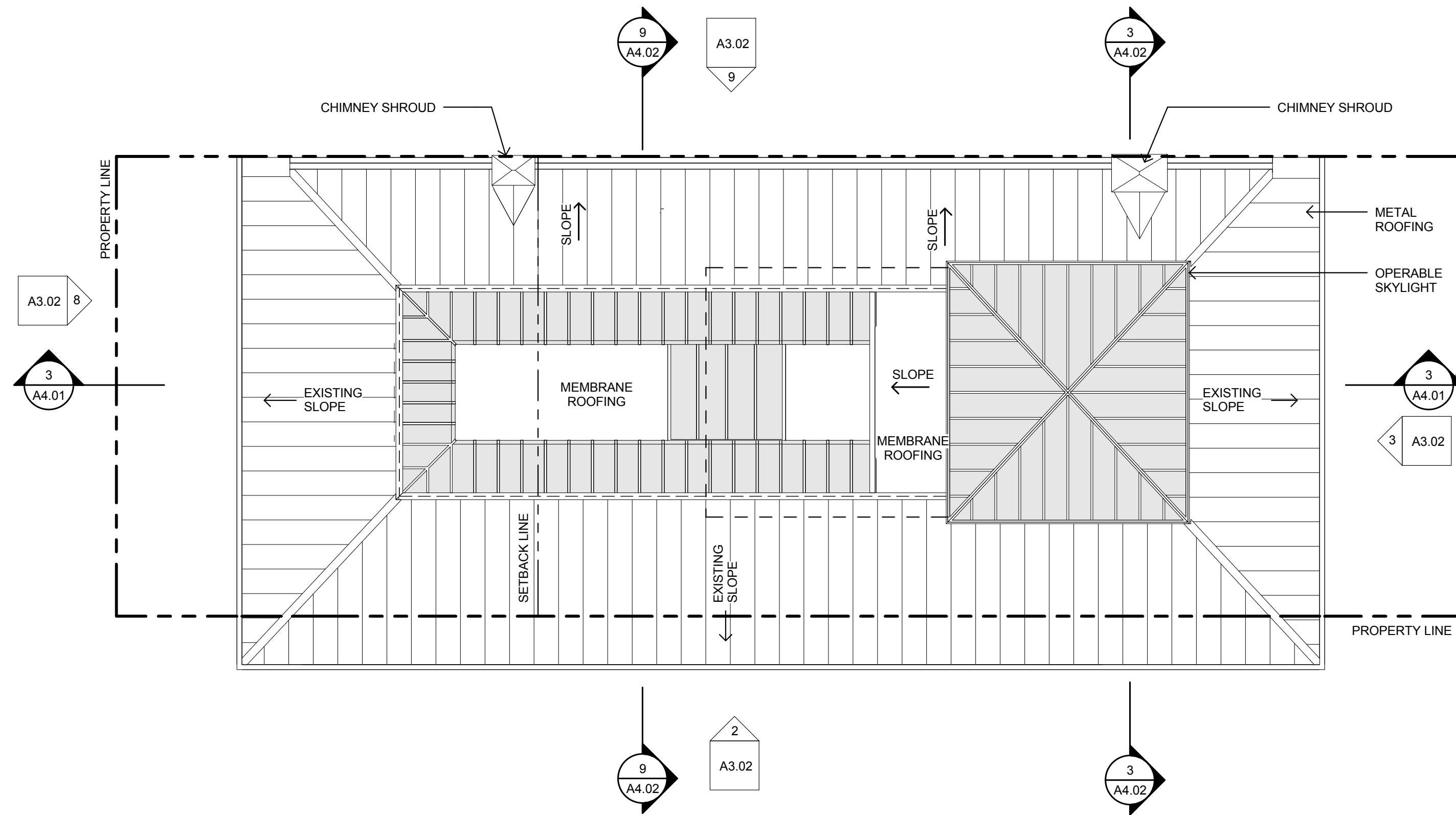
WALL LEGEND
NO SCALE

3



EXISTING ROOF PLAN
1/8" = 1'-0"

5



PROPOSED ROOF PLAN
1/8" = 1'-0"

2

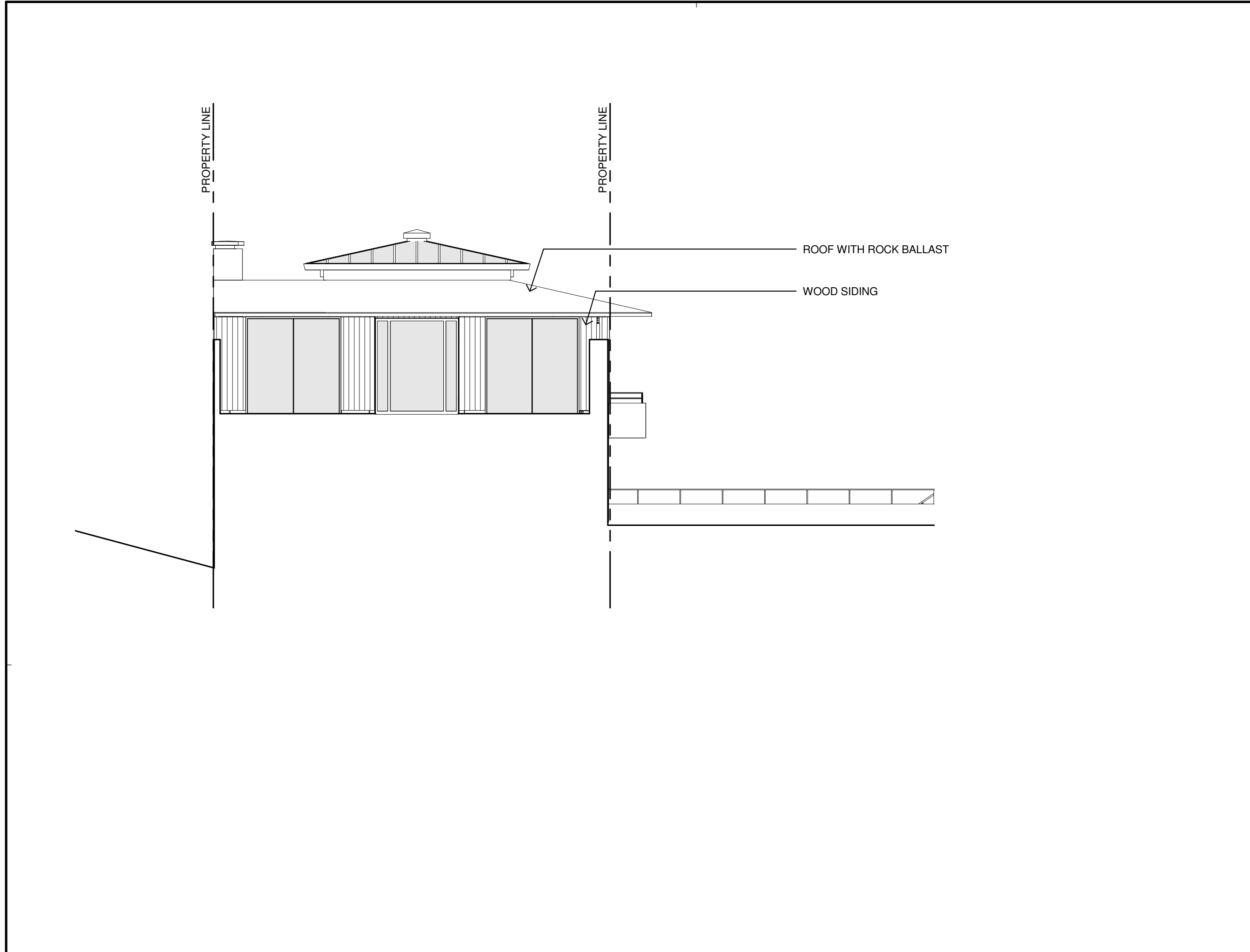
- EXISTING STRUCTURE
- 2X4 WOOD FRAMING
- 2X6 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- 1 HOUR ASSEMBLY
-

NOT USED
NO SCALE

6

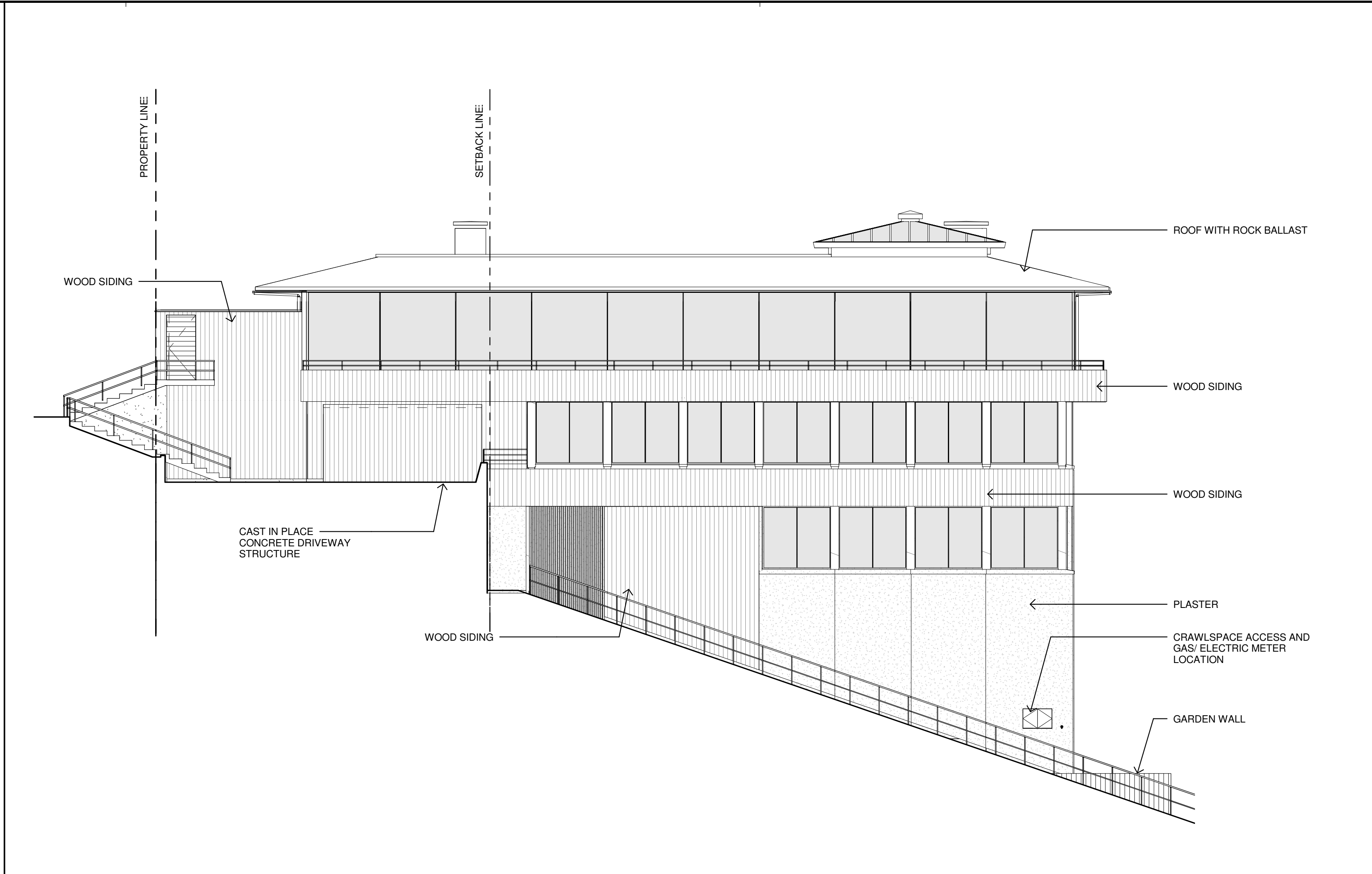
WALL LEGEND
NO SCALE

3



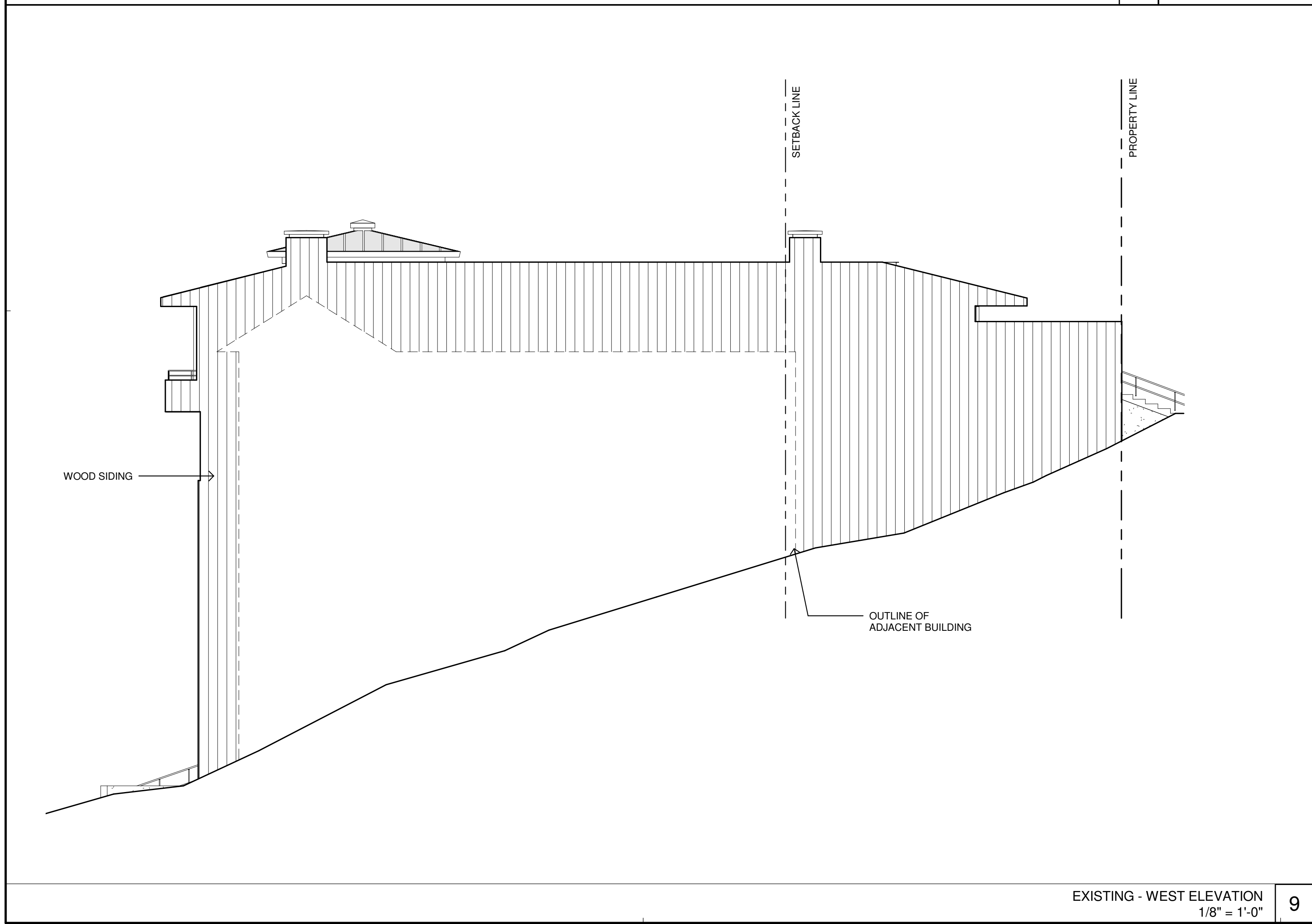
EXISTING - SOUTH ELEVATION
1/8" = 1'-0"

8



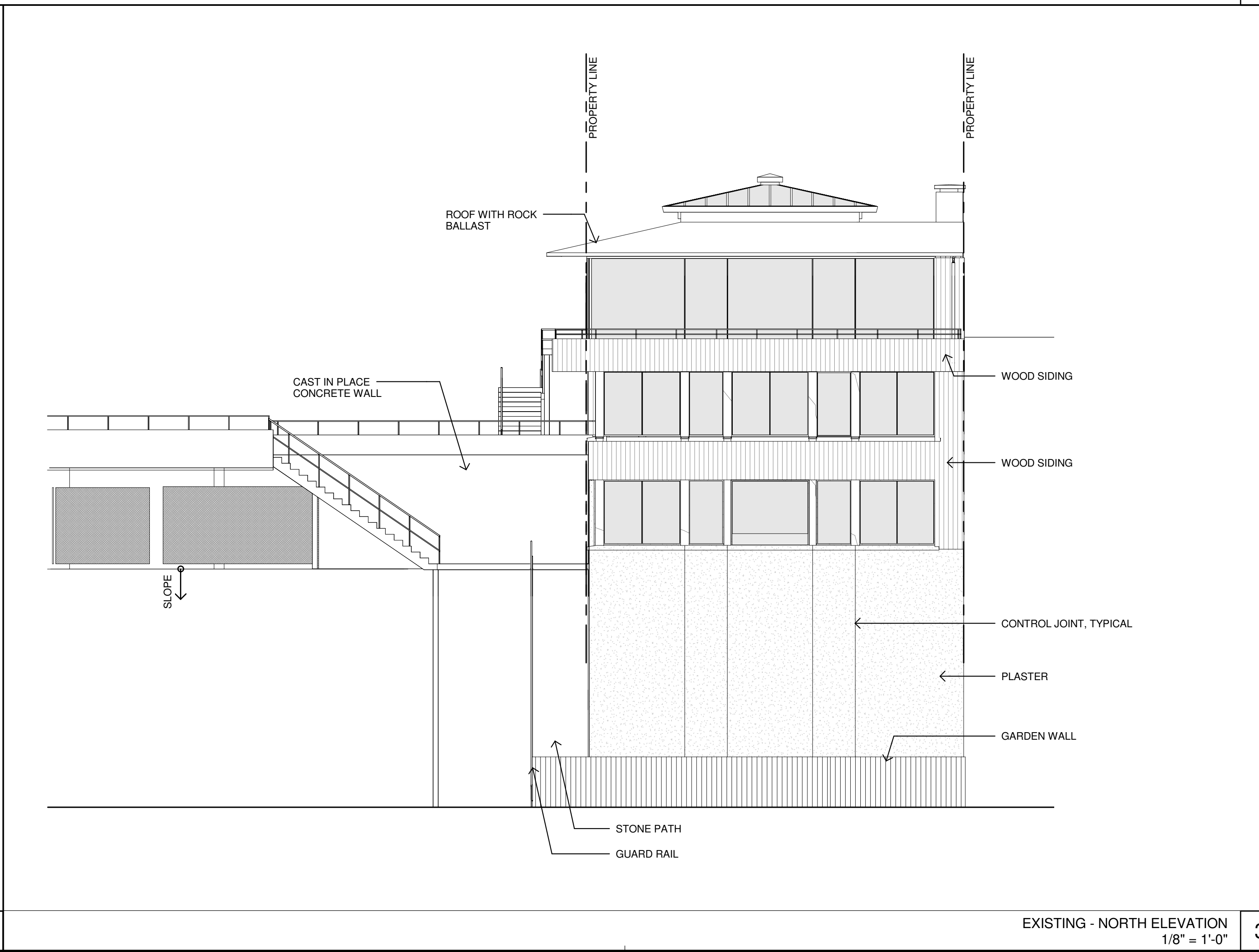
EXISTING - EAST ELEVATION
1/8" = 1'-0"

2



EXISTING - WEST ELEVATION
1/8" = 1'-0"

9



EXISTING - NORTH ELEVATION
1/8" = 1'-0"

3

