



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 22, 2014**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1457 - 1467 Fulton Street	Case No.:	2013.1158V
Cross Street(s):	Baker St. / Broderick St.	Building Permit:	2013.07.30.3097
Block /Lot No.:	1183 / 028	Applicant:	William Pashelinsky
Zoning District(s):	RM-1 / 40-X	Telephone:	(415) 397-3676
Area Plan:	N/A	E-Mail:	billpash@gmail.com

PROJECT DESCRIPTION

The proposal is to legalize the construction of a one-story deck and stairs built without permit at the rear of the three-story, six-unit residential building. The rear deck (approximately 43' wide by 9'-6" deep by 5'-6" above grade) extends from the main building wall with stairs to grade extending into the required rear yard. The rear deck, which has 9-foot high fire-rated side walls, is set back 3'-6" from the side property lines and 38'-6" from the rear property line.

SECTION 134 OF THE PLANNING CODE requires a rear yard of approximately 62' for the subject property; however, the deck and stairs are located entirely within the required rear yard.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1158V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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GENERAL NOTES:

INTENT OF DOCUMENTS:

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

San Francisco Building 2010 Edition
San Francisco Fire Code 2010 Edition
San Francisco Plumbing Code 2010 Edition
San Francisco Electrical Code 2010 Edition
San Francisco Mechanical Code 2010 Edition

Verify all existing conditions and dimensions at the project site.
Notify the Architect and/or Engineer of any discrepancies before beginning construction.

B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.

C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequacy of the contractors safety measures.

D. Unless otherwise shown or noted, all typical details shall used where applicable.

E. All details shall be construed typical at similar conditions.

F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.

G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local building departments, on these plans shall be done by an independent inspection company.

H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.

I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be responsible to inform the owner or Architect of potential existing conditions that need to be addressed and or modified in order to complete the work as herein described in these Drawings.

J. The General Contractor shall be responsible for all means and methods of construction including but not limited to leveling, shimming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

PROJECT INFORMATION:

BLOCK: 1183
LOT: 028

OCCUPANCY: R-2
BUILDING TYPE 5 NON RATED
6 FAMILY RESIDENCE

ZONING: RM-1





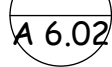

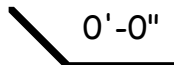
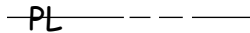

SCOPE OF WORK:

LEGALIZE EXISTING DECKS AT REAR YARD

ABBREVIATIONS:

@	AT	HGT./HT.	HEIGHT
Ⓢ	CENTERLINE		
Ø	DIAMETER OR ROUND	INSUL.	INSULATION
(E)	EXISTING		
(N)	NEW		
(R)	REPLACE	MFG.	MANUFACTURING
		MAX.	MAXIMUM
		MTL.	METAL
		MIN.	MINIMUM
AFF	ABOVE FINISH FLOOR		
		O.C.	ON CENTER
BM.	BEAM		
BLDG.	BUILDING	PR.	PAIR
		PKT.	POCKET
CBC	CALIFORNIA BUILDING CODE	P.T.	PRESSURE TREATED
CLR.	CLEAR		
CLOS.	CLOSET	REF.	REFRIGERATOR
CONC.	CONCRETE	REQ'D	REQUIRED
		REQ'T	REQUIREMENT
DECK'G	DECKING	RTG.	RETAINING
DET.	DETAIL	R & S	ROD AND SHELF
DIA.	DIAMETER	RM.	ROOM
DISP.	DISPOSAL		
DW.	DISHWASHER	SIM.	SIMILAR
DR.	DOOR	S.C.	SOLID CORE
DBL.	DOUBLE	SQ. FT.	SQUARE FOOT/FEET
DN.	DOWN	STOR.	STORAGE
DRWGS.	DRAWINGS	STRUCT.	STRUCTURAL
D	DRYER		
		TEMP.	TEMPERED
EA.	EACH	TRANS.	TRANSPARENT
		TYP.	TYPICAL
F	FAHRENHEIT		
FIN.	FINISH	U.O.N.	UNLESS OTHERWISE NOTED
F.R.	FIRE RATED		
FLR.	FLOOR		
FT.	FOOT OR FEET	V.I.F.	VERIFY IN FIELD
FR.	FRENCH		
FURN.	FURNISH	W	WASHER
FURR.	FURRING	WH.	WATER HEATER
		WP	WATERPROOF
		WDO.	WINDOW
GA.	GAUGE	W/	WITH
GL.	GLAZING	WD.	WOOD
GYP.	GYP SUM		
GYP.BD.	GYP SUM BOARD		

DRAWING SYMBOLS

	DOOR NUMBER
	WINDOW NUMBER
	SKYLIGHT NUMBER
	DRAWING REVISION
	DETAIL NUMBER AND DRAWING REFERENCE
	ITEM NUMBER
	GRADE
	PROPERTY LINE
	ELEV NO. DRAWING REFERENCE

DRAWING INDEX:

A 1.01 GENERAL NOTES, SITE PLAN,
AND DRAWING INDEX

A 1.02 SITE PLAN

A 2.01 FLOOR PLANS

A 3.01 EXTERIOR ELEVATIONS

A 3.02 EXTERIOR ELEVATIONS

1937 HAYES STREET
SAN FRANCISCO, CA.94117
415 379 3676

1457-1467 FULTON STREET
SAN FRANCISCO, CA.

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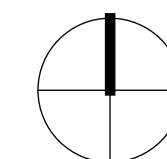
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PROJECT NO. 2013.09
SHEET

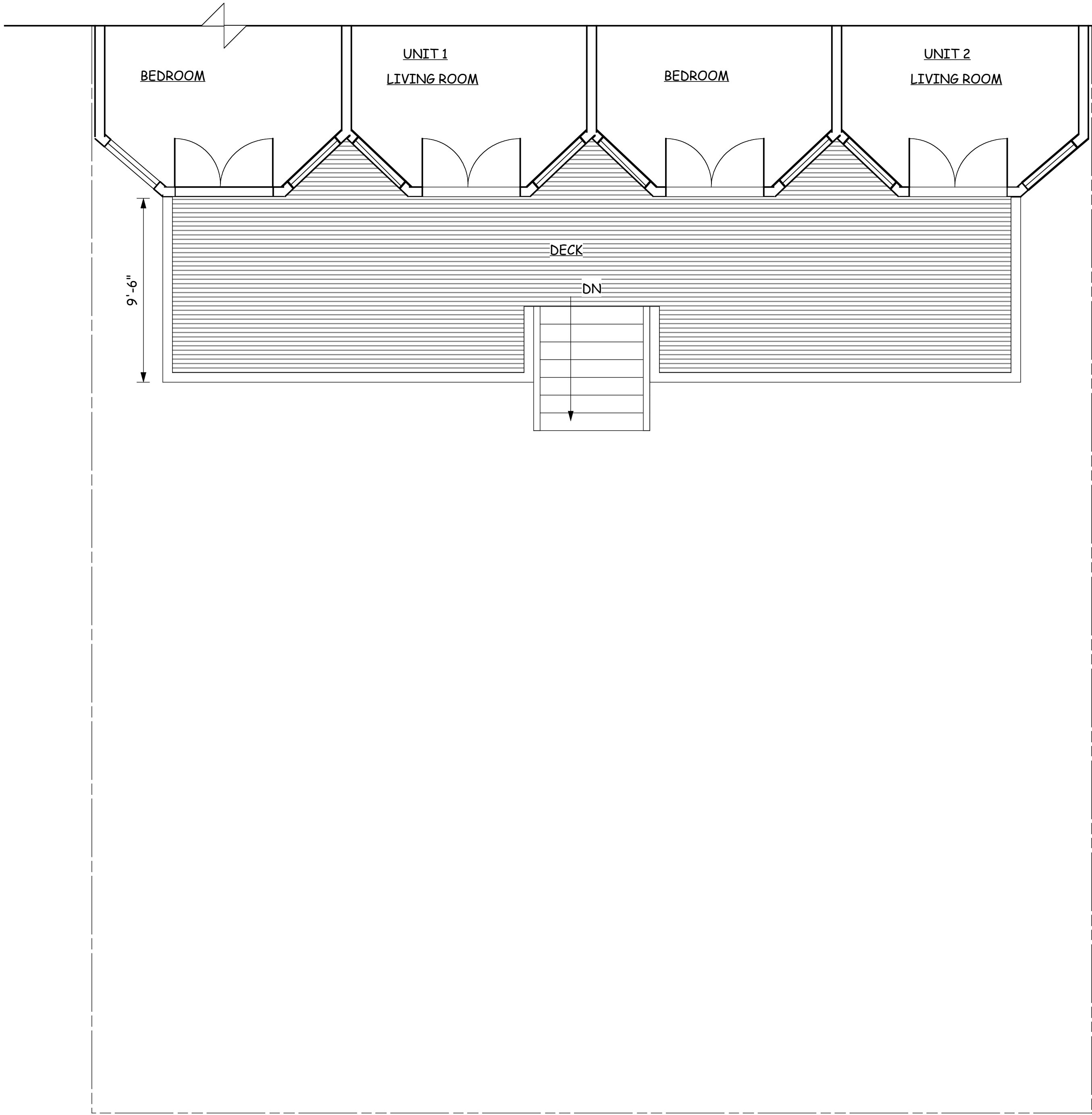
SIDEWALK

Architectural site plan showing building setbacks and deck areas. The plan includes the following dimensions and labels:

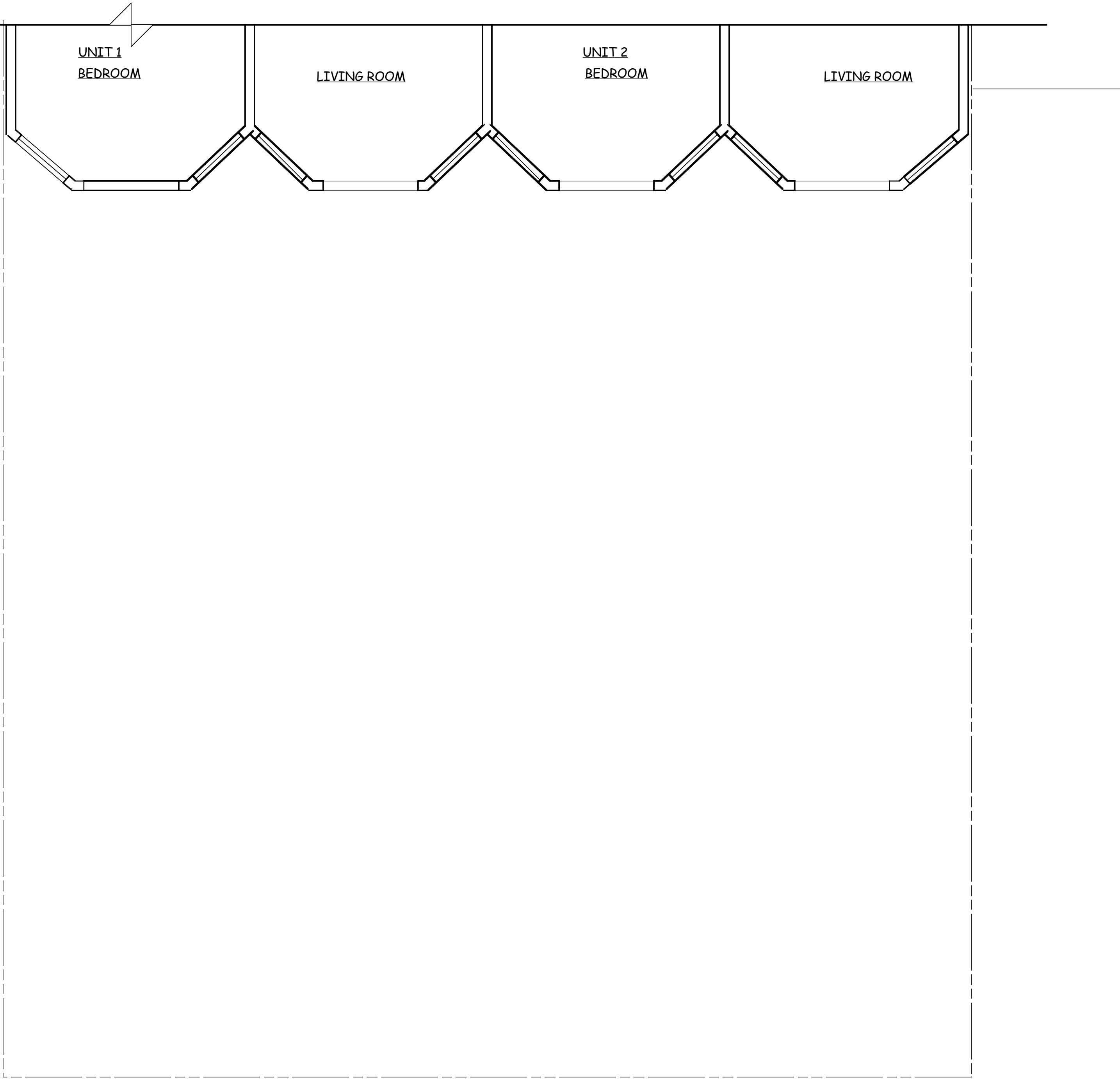
- Overall Dimensions:** 50'-0" wide by 137'-5" deep.
- Setbacks (Left Side):**
 - 61'-10" (Total)
 - 45% REAR SETBACK
 - 34'-4"
 - 25% REAR SETBACK
- Building Footprint:**
 - Top section: 137'-5" deep.
 - Bottom section: 48'-0" deep.
 - Central section: 38'-6" deep.
 - Left side setbacks: 3'-6" (left of bottom section), 43'-0" (between bottom and central sections), 3'-6" (right of bottom section).
- Deck Areas:**
 - Bottom section: Labeled "DECK", 9'-6" wide.
 - Central section: Labeled "DN", 6'-0" wide.
 - Right side: Labeled "ROOF DECK" and "DECK", 2'-6" wide.
- Firewall and Deck Extension:**
 - (N) 1 HR FIREWALL 3'-6" HIGH (indicated on the left and right sides of the bottom section).
 - (N) 1 STORY DECK (indicated on the right side of the bottom section).
 - ALLOWABLE 1 STORY (LESS THAN 10 FT) EXTENSION (indicated on the right side of the bottom section).
- Right Side Dimensions:** 12'-0" wide by 137'-5" deep.

$$1/8'' = 1' - 0''$$
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PROJECT NO. 2013.09
SHEET



PARTIAL 1ST FLOOR PLAN (N)
1/4"=1'-0"



PARTIAL 1ST FLOOR PLAN (E)
1/4"=1'-0"

WILLIAM PASHELINSKY
ARCHITECT

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LEGALIZE DECK

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NO.	DATE	DESCRIPTION

PROJECT NO. 2013.09

SHEET

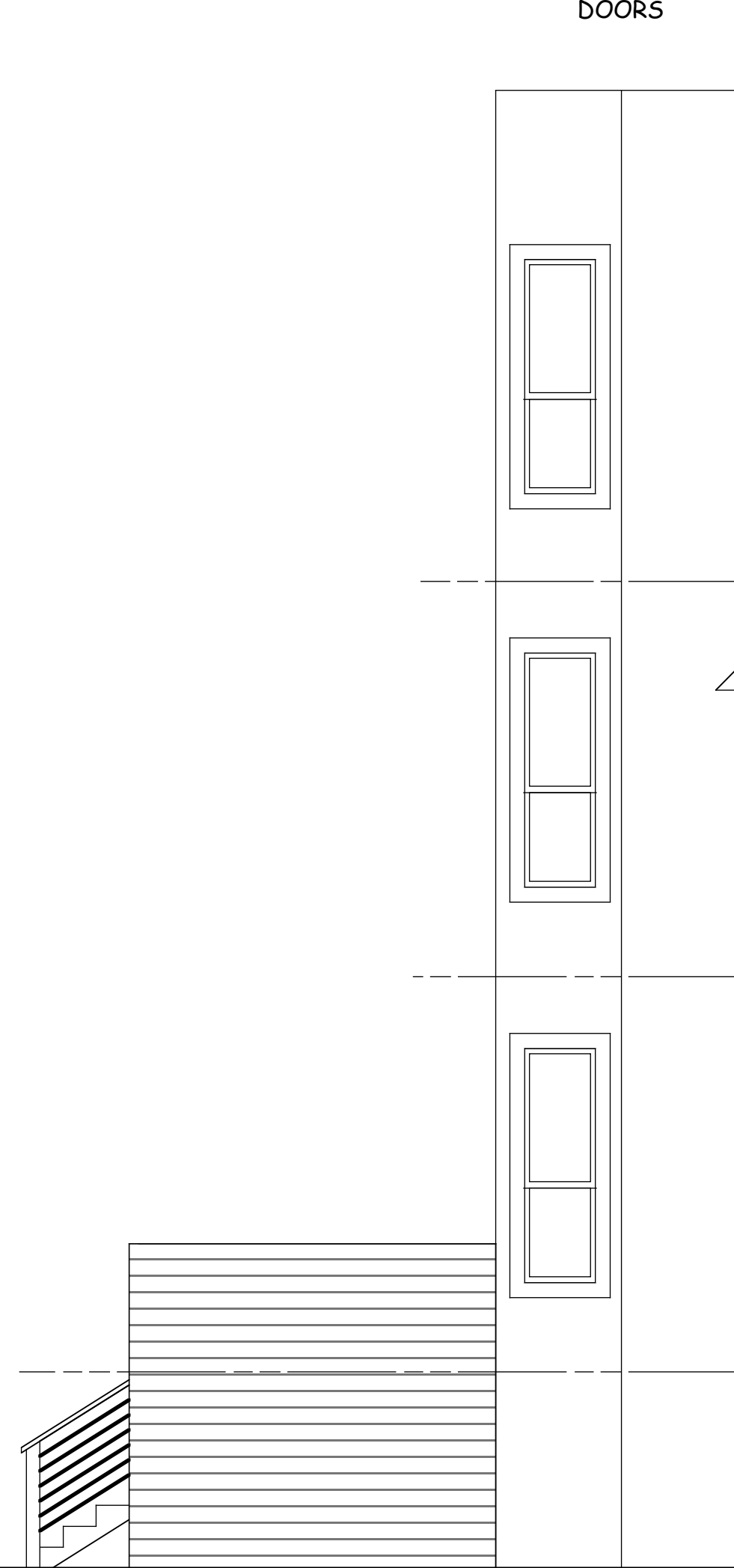
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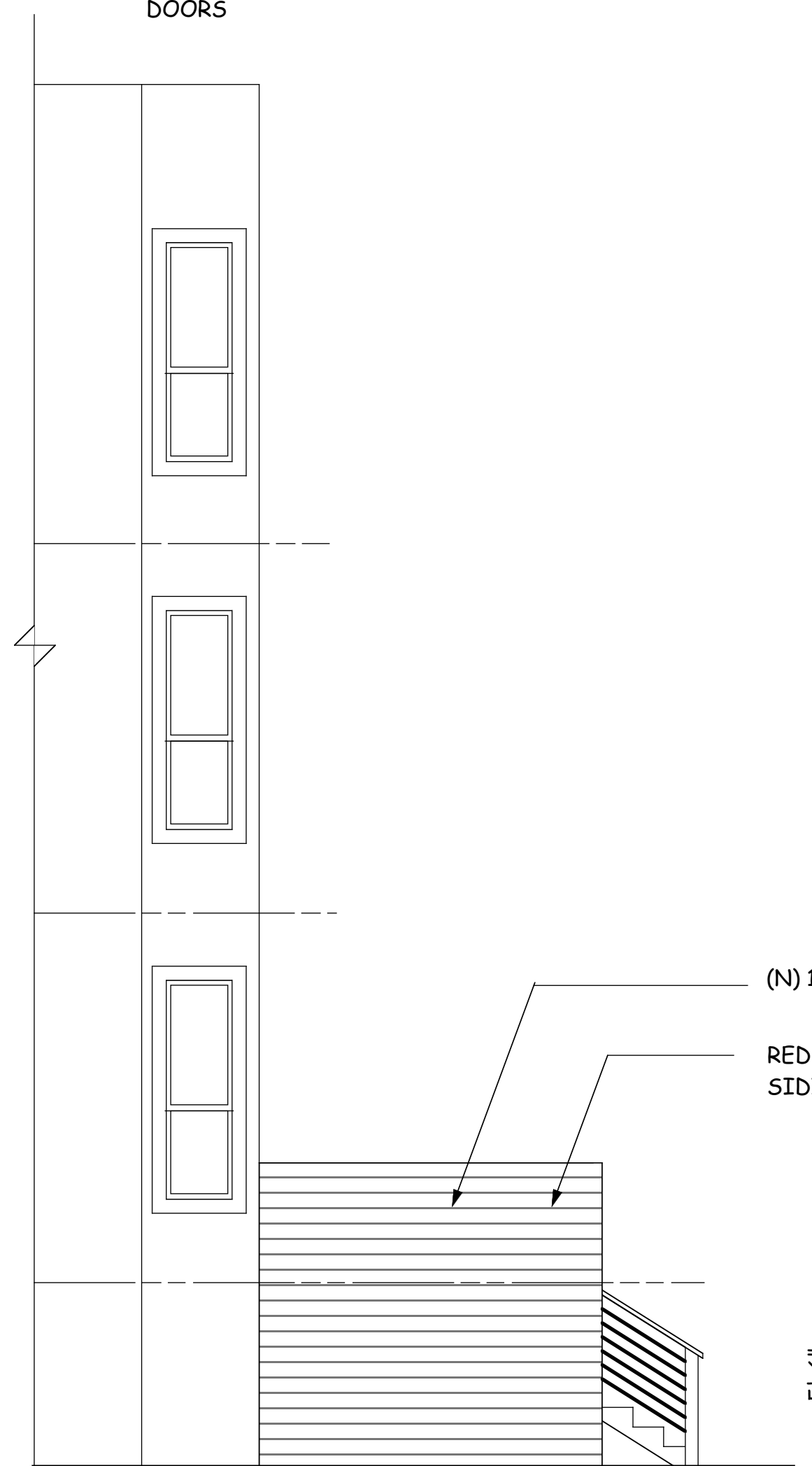
SOUTH ELEVATION (N)
1/4"=1'-0"



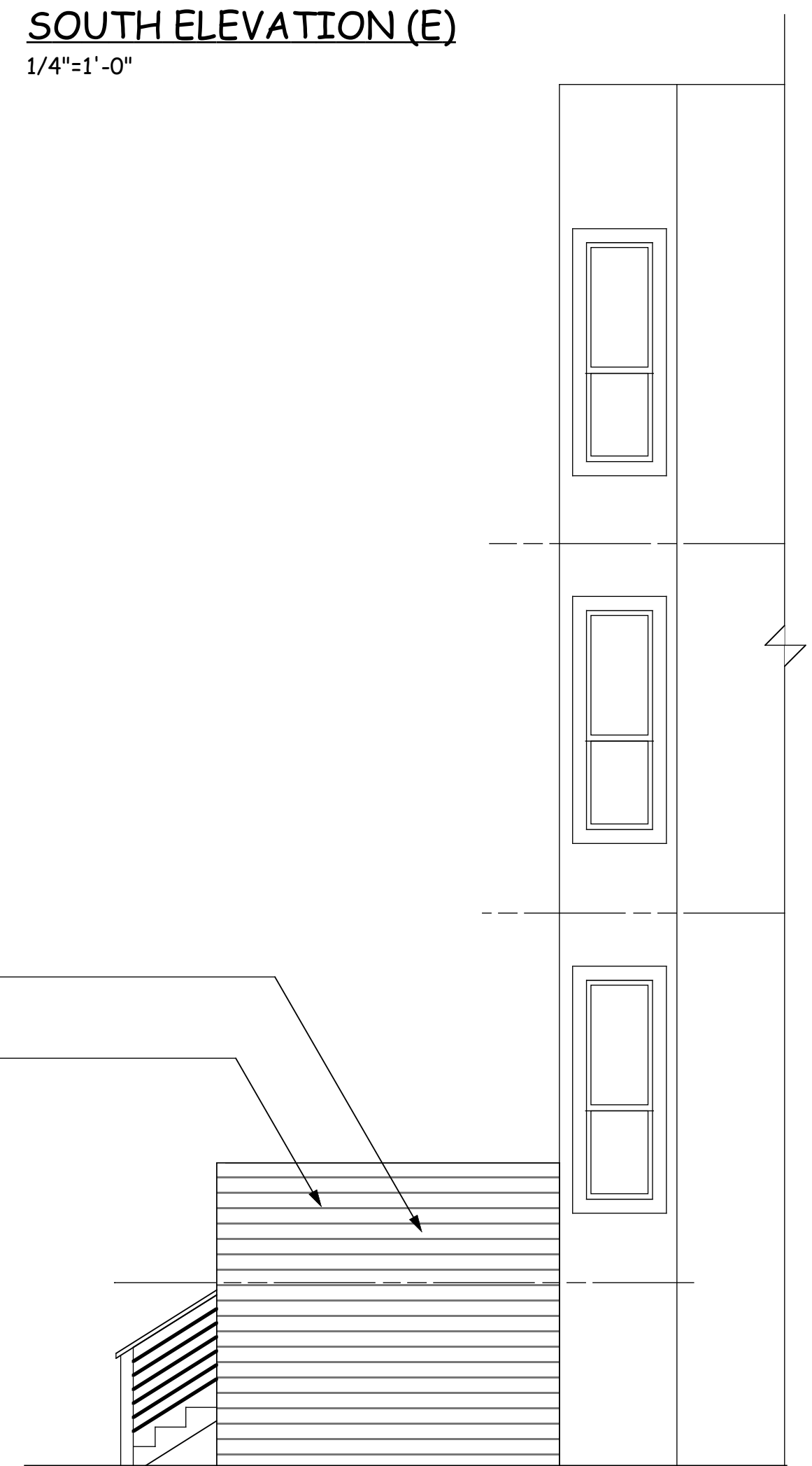
SOUTH ELEVATION (E)
1/4"=1'-0"



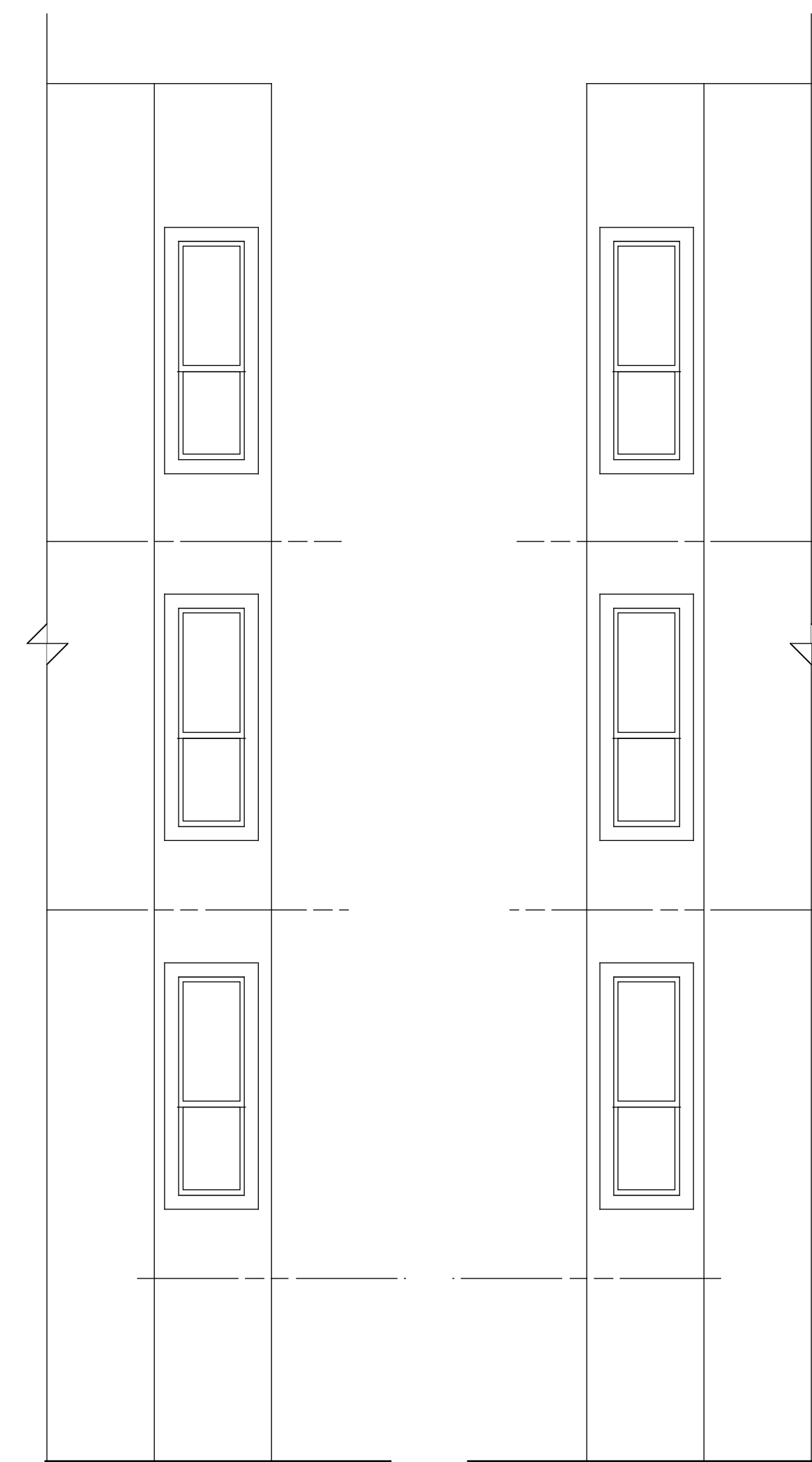
EAST ELEVATION (N)
1/4"=1'-0"



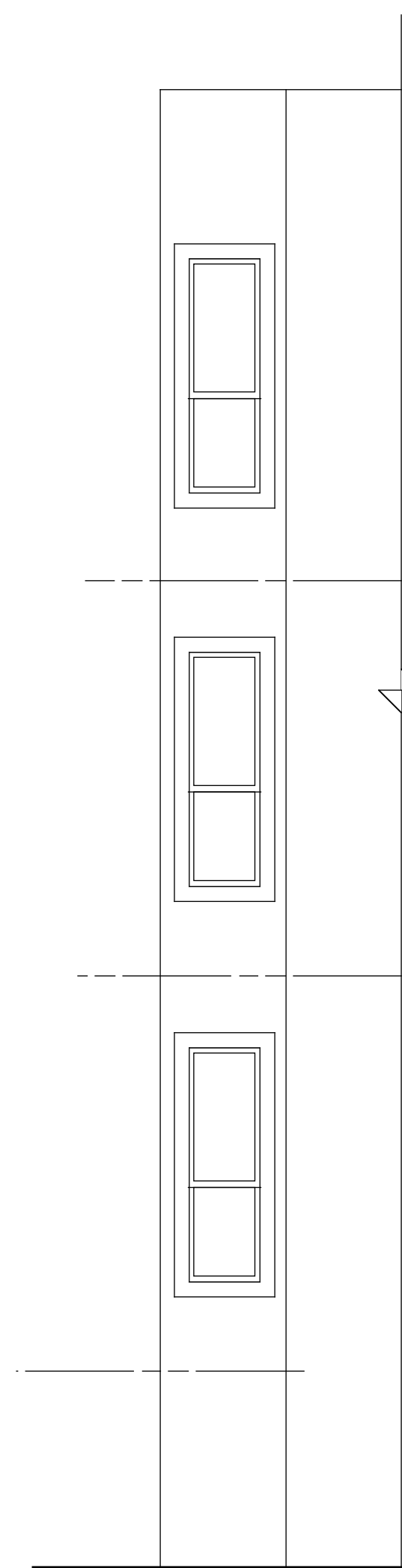
WEST ELEVATION (N)
1/4"=1'-0"



EAST ELEVATION (N)
1/4"=1'-0"



WEST ELEVATION (E)
1/4"=1'-0"



EAST ELEVATION (E)
1/4"=1'-0"

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[illegible]



SOUTH ELEVATION (N)
1/8"=1'-0"



SOUTH ELEVATION (E)
1/8"=1'-0"

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