



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 26, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard) (Obstruction)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	49 Moss Street	Case No.:	2013.1068V
Cross Street(s):	Howard Street	Building Permit:	2013.08.09.3998
Block / Lot No.:	3731/119	Applicant/Agent:	Daniel Robinson
Zoning District(s):	RED / 45-X	Telephone:	415-487-2050
Area Plan:	N/A	E-Mail:	danielr@macarchs.com

PROJECT DESCRIPTION

The proposed project seeks a rear yard variance for the conversion of an existing industrial building, with full lot coverage at the ground floor, to a residential dwelling unit; and a variance for a projection of the front facade. The proposal is a two-story, single-family residential unit. A roof deck is proposed at the second level, and the second story is set back 32 feet from the rear property line.

PER SECTION 134 OF THE PLANNING CODE the property is required to maintain a rear yard equivalent to 25% of lot depth. The existing building has full lot coverage at the ground floor; therefore, the proposed dwelling unit requires a rear yard variance.

PER SECTION 136(c)1 OF THE PLANNING CODE the property is required to comply with prescribed projection dimensions. The proposal is for a panel extending 10 inches from the front facade for a height of 9 feet 6 inches. The maximum height of an architectural feature as a horizontal projection is 2 feet 6 inches; therefore, the panel projection requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jeffrey Speirs**

Telephone: **415-575-9106** E-Mail: **Jeffrey.speirs@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2013.1068V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

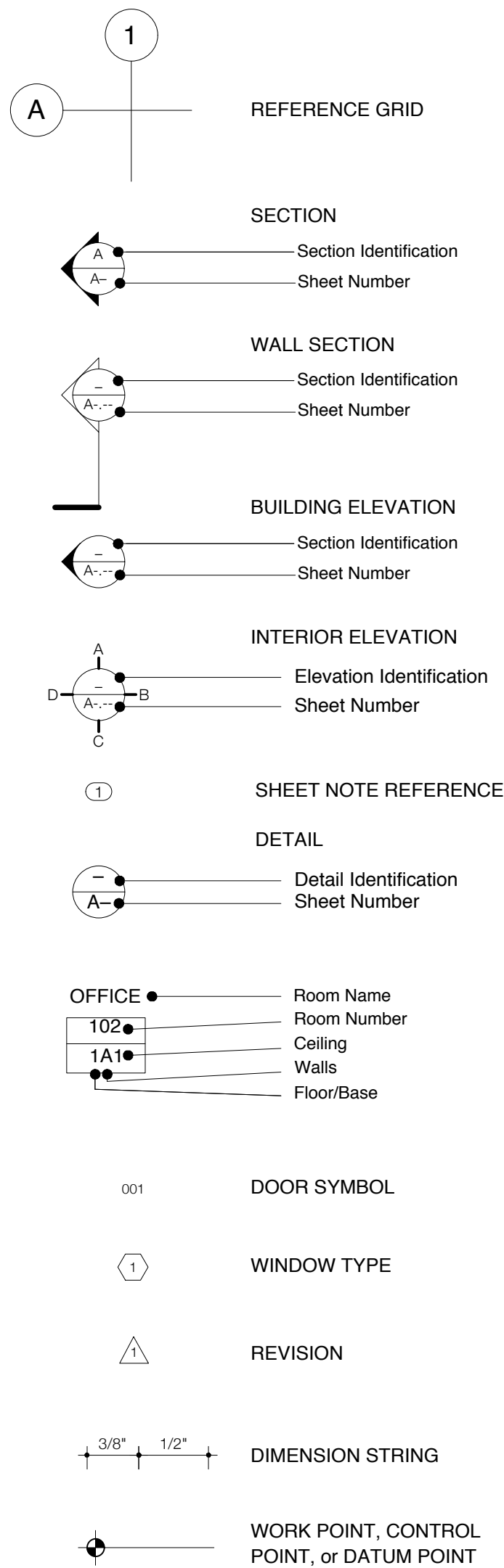
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

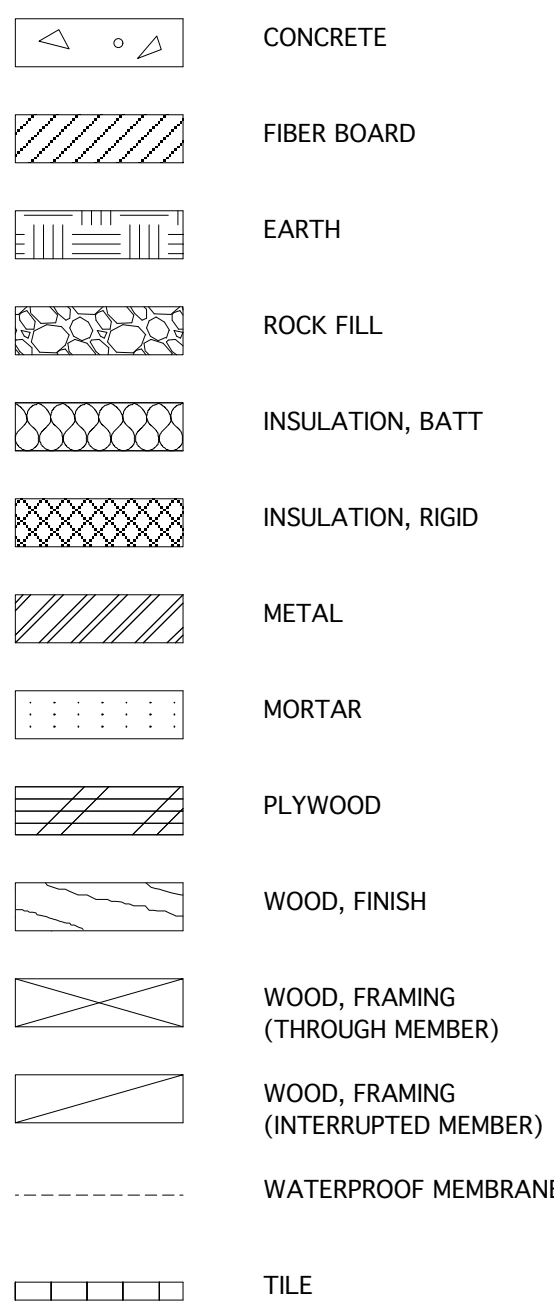
ABBREVIATIONS

⊥	Perpendicular	N M	Intermediate
d	penny	I.D.	Inside Diameter
□	Channel	NSUL	Insulation
▬	Plate / prop line	N	Interior
∠	And		
L	Angle	J	Joint
@	At		
⊕	Centerline	LAM	Laminate
○	Diameter or Round	LAV	Lavatory
#	Pound or Number	L	Light
(E)	Existing		
ABV	Above	M B	Machine Bolt
A.F.F.	Above Finish Floor	MAX	Maximum
A/C	Air Conditioning	MECH	Mechanical
ADD	Addendum	MEMB	Membrane
AL	Alternate	ME	Metal
A B	Anchor Bolt	MFR	Manufacturer
ACOUS	Acoustical	M N	Minimum
ADJ	Adjustable, Adjacent	M SC	Miscellaneous
APPROX.	Approximate	M D	Mounted
ARCH	Architectural	N	North
BSM	Basement	N C	Not in Contract
BE	Between	NO or #	Number
BD	Board	NOM	Nominal
BITUM.	Bituminous	N S	Not To Scale
BLDG.	Building	O.A.	Overall
BLK	Block	O C	On Center
BLKG.	Blocking	O D	Outside Diameter
BM	Beam	OPNG	Opening
		OPP	Opposite
CAB	Cabinet	PL	Plate
CLG	Ceiling	P LAM	Plastic Laminate
CLKG	Caulking	PLAS	Plaster
CLR	Clear	PLYWD.	Plywood
COL	Column	PR	Pair
CONC	Concrete	PT.	Point
CONN	Connection		
CONS R	Construction	Q	Quarry tile
CON	Continuous		
CTSK.	Countersunk		
CN R	Counter	R D.	Roof Drain
C R	Center	REFR	Refrigerator
		RG R	Register
DBL	Double	RE NF	Reinforced
DEPT.	Department	REQ	Required
DE	Detail	RES L	Resilient
D A	Diameter	RM	Room
D M	Dimension	R O	Rough Opening
DN	Down	RWD	Redwood
DR	Door	R W L	Rain Water Leader
DWR	Drawer		
DS	Downspout	S	South
DWG	Drawing	S C	Solid Core
		SH	Sheet
E	East	S M	Similar
EA	Each	SPEC.	Specification
EL	Elevation	SQ	Square
ELEC	Electrical	S S	Stainless Steel
ENCL.	Enclosure	S D	Standard
E P	Electrical Panel	S L	Steel
EQ	Equal	S OR	Storage
EXS	Existing	S RL	Structural
EX	Exterior	SYM	Symmetrical
EXH	Exhaust	SH H	Sheathing
		SSD	See Struct Drawgs
F B	Flat Bar		
FDN	Foundation	C	Top of Curb
F E	Fire Extinguisher	EL	Telephone
F N	Finish	&G	Groove & Groove
FL	Floor	HK	Hick
FLASHG	Flashing	V	Television
FLUOR.	Fluorescent	W	Top of Wall
F O C	Face of Concrete	YP	Typical
F O F	Face of Finish	S	Top of Slab
F O S	Face of Studs		
F S	Full Size	UNF	Unfinished
FT.	Foot or Feet	U O N	Unless Otherwise Noted
F G	Footing		
FURR	Furring	VERT.	Vertical
		VES	Vestibule
		V.G.	Vertical Grain
G C	General Contractor		
GA	Gauge		
GALV.	Galvanized	W	West
GL	Glass	W/	With
GND	Ground	W C	Water Closet
GR	Grade	WD	Wood
GYP	Gypsum	W/O	Without
		WP	Waterproof
H B	Hose Bibb		
H.C.	Hollow Core		
HDWD.	Hardwood		
HORIZ.	Horizontal		
HR	Hour		
HG	Height		

SYMBOLS



MATERIALS INDICATION



GENERAL NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT AT ONCE OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
- ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE TO GRID LINE, OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
- ARCHITECTURAL DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO NOTIFY ARCHITECT WHEN DISCREPANCIES BETWEEN THE DRAWINGS ARE FOUND, PRIOR TO STARTING WORK.
- ALL WORK TO BE PERFORMED IN COMPLETE ACCORDANCE TO STATE AND LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL PAY FOR ALL PERMITS NECESSARY FOR COMPLETION OF WORK AND SHALL NOTIFY ALL AUTHORITIES IN ADVANCE OF ALL CONSTRUCTION PROCESSES INVOLVING UTILITY SHUTDOWN OR WORK AT PUBLIC STREETS AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF PUBLIC SAFETY AT ALL TIMES AND SHALL BE SOLELY RESPONSIBLE FOR PROTECTION AGAINST VANDALISM AND THEFT DURING CONSTRUCTION.
- EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF BID OR PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR SPECIFICATIONS IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING TO THE ARCHITECT'S DESIGN INTENT.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS FOR TIMELY STORAGE AND INSTALLATION OF THEIR PRODUCT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS, AND ALL OTHER ITEMS REQUIRING SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF WORK AT HIS OWN EXPENSE FOR WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2010 CBC, CMC, CPC, CFC AND CEC, AS AMENDED BY LOCAL JURISDICTION REQUIREMENTS.
- FIREBLOCKING IS REQUIRED IN THE FOLLOWING LOCATIONS (12 - 17):
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, @ THE CEILING & FLOOR LEVELS.
- IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES @ 10 FT. INTERVALS ALONG THE LENGTH OF THE WALL.
- @ ALL INTERCONNECTIONS BTWN. CONCEALED VERT. & HORIZ. SPACES SUCH AS OCCUR @ SOFFITS, DROP CEILINGS & COVER CEILINGS.
- IN CONCEALED SPACES BTWN. STAIR STRINGERS @ THE TOP & BOTTOM OF THE RUN & BTWN. STUDS ALONG & IN LINE W/ THE RUN OF THE STAIRS IF UNDER THE STAIR IS UNFINISHED.
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE @ CEILING & FLOOR LEVELS, W/ NONCOMBUSTIBLE MATERIALS.
- @ OPENINGS BTWN. ATTIC SPACES & CHIMNEY CHASES FOR FACTORY BUILT CHIMNEYS.
- A WRITTEN SPECIFICATION MANUAL IS PART OF THIS CONSTRUCTION SET.
- INTERIOR WALL OR CEILING FINISHES, OTHER THAN TEXTILES, SHALL BE PERMITTED TO BE TESTED IN ACCORDANCE WITH NFPA 286. FINISHES TESTED IN ACCORDANCE WITH NFPA 286 SHALL COMPLY WITH CBC SECTION 903.2.1.
- TEXTILE WALL AND CEILING COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 AND BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC SECTION 903.3.1.1 OR 903.3.1.2.

CODE DATA

- CODES ENFORCED:
 - The 2010 Edition of the California Building Code (CBC), Part 2 of Title 24
 - The 2010 Edition of the California Mechanical Code (CMC), Part 3 of Title 24
 - The 2010 Edition of the California Plumbing Code (CPC), Part 4 of Title 24
 - The 2010 Edition of the California Electrical Code (CEC), Part 5 of Title 24
 - The 2010 Edition of the California Energy Code
 - The 2010 Edition of the California Fire Code (CFC).

DEFERRED SUBMITTALS

- DESIGN/BUILD MEP
- SPRINKLER SUBMITTAL

DRAWING INDEX

ARCHITECTURAL

A 0.0	INDEX SHEET
A 0.3	DEMOLITION PLANS
A 1.0	PROPOSED FLOOR PLANS
A 1.1	PROPOSED FLOOR PLANS
A 1.2	PROPOSED ROOF PLAN
A 1.3	PROPOSED LANDSCAPE PLAN
A 2.0	EXISTING ELEVATIONS
A 2.1	PROPOSED ELEVATIONS
A 3.0	SECTIONS
A 5.0	DETAILS

CONTACT INFORMATION

ARCHITECT: STEPHEN MACCRACKEN
MACCRACKEN ARCHITECTS
479 NINTH STREET
SAN FRANCISCO, CA 94103
(415) 487-2050

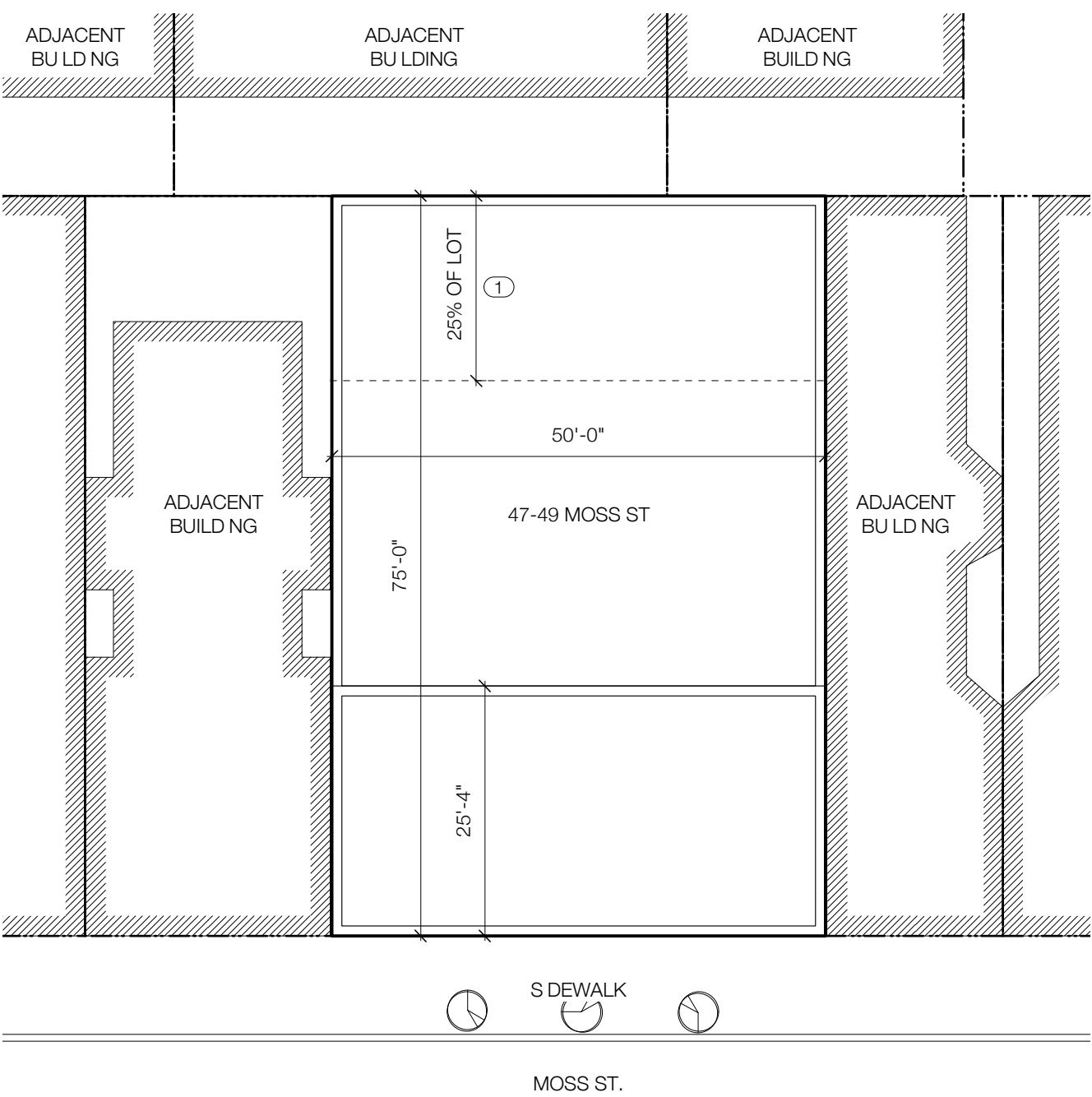
OWNER: LLOYD & DANA TAYLOR
49 MOSS STREET
SAN FRANCISCO, CA 94103

SCOPE OF WORK

- CHANGE OF USE TO RESIDENTIAL
- INTERIOR & EXTERIOR REMODEL OF EXISTING BUILDING INCLUDING APPROX 24" INCREASE IN HEIGHT AND HORIZONTAL REAR EXTENSION DUE TO SOLAR UM
- VARIANCE REQUIRED DUE TO FULL LOT COVERAGE OF EXISTING BUILDING
- SPRINKLER SYSTEM PER CBC 903.3.1



2 LOCATION MAP



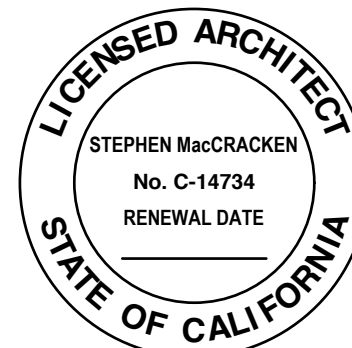
1 SITE PLAN

PROJECT DATA

PROJECT ADDRESS:	47 - 49 MOSS STREET
BLOCK & LOT	3731 119
PROJECT USE:	RESIDENTIAL
CURRENT OCCUPANCY:	F-2 (INDUSTRIAL)
PROPOSED OCCUPANCY:	R-3 (RESIDENTIAL)
(E) BUILDING SQUARE FOOTAGE:	4,983 SQFT
PROPOSED SQUARE FOOTAGE	5,393 SQFT
STORIES:	2 NO BASEMENT
SITE SQUARE FOOTAGE:	3,750 SQUARE FEET
BUILDING TYPE:	TYPE V B NOT SPRINKLERED
ZONING:	RED (SOUTH OF MARKET RESIDENTIAL ENCLAVE)

SHEET NOTES:

- REQUIRED SETBACK IN R.E.D. ZONING PER PLANNING SECTION 134



Copyright © 2013 by MacCracken Architects. All rights reserved. All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of MacCracken Architects.

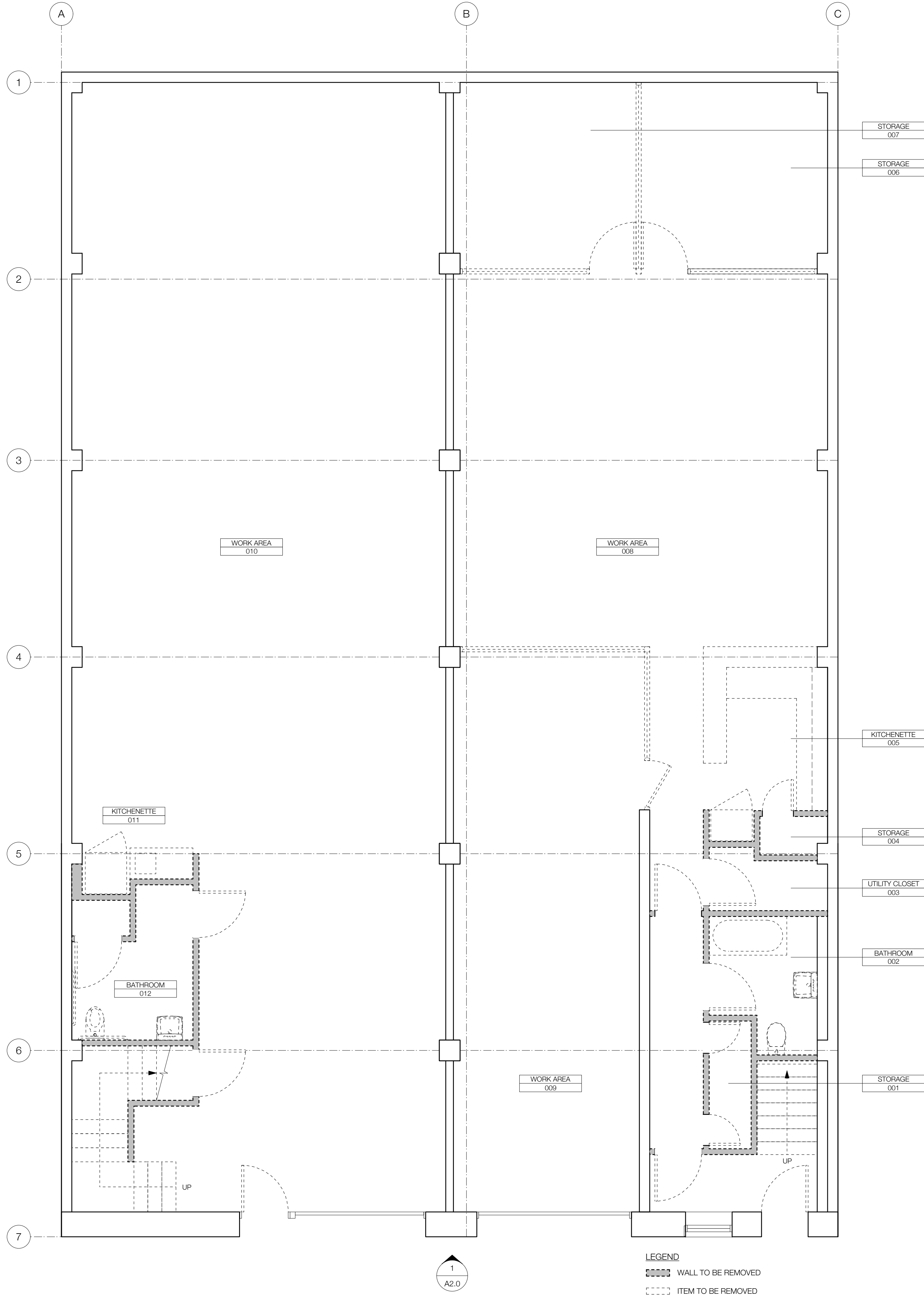
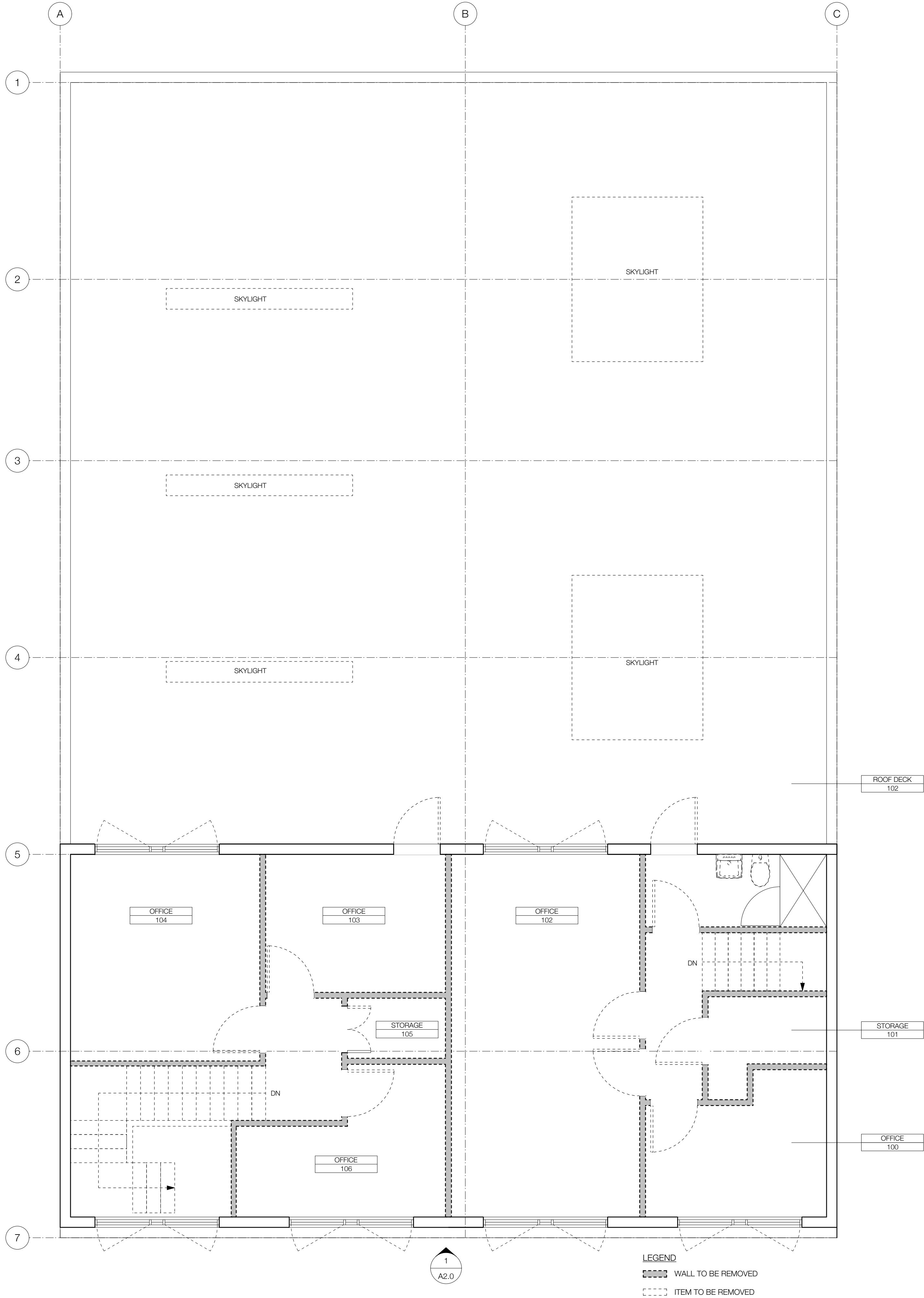
47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

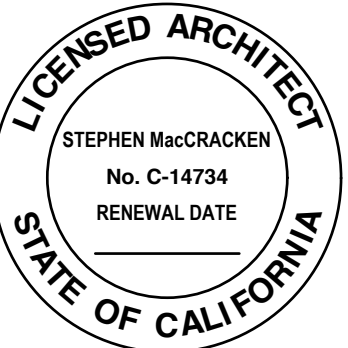
DATE: 08-08-13
SITE PERMIT SUBMITTAL

INDEX SHEET

A0.0



SHEET NOTES:



Copyright © 2013 by MacCracken Architects. All rights reserved. All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

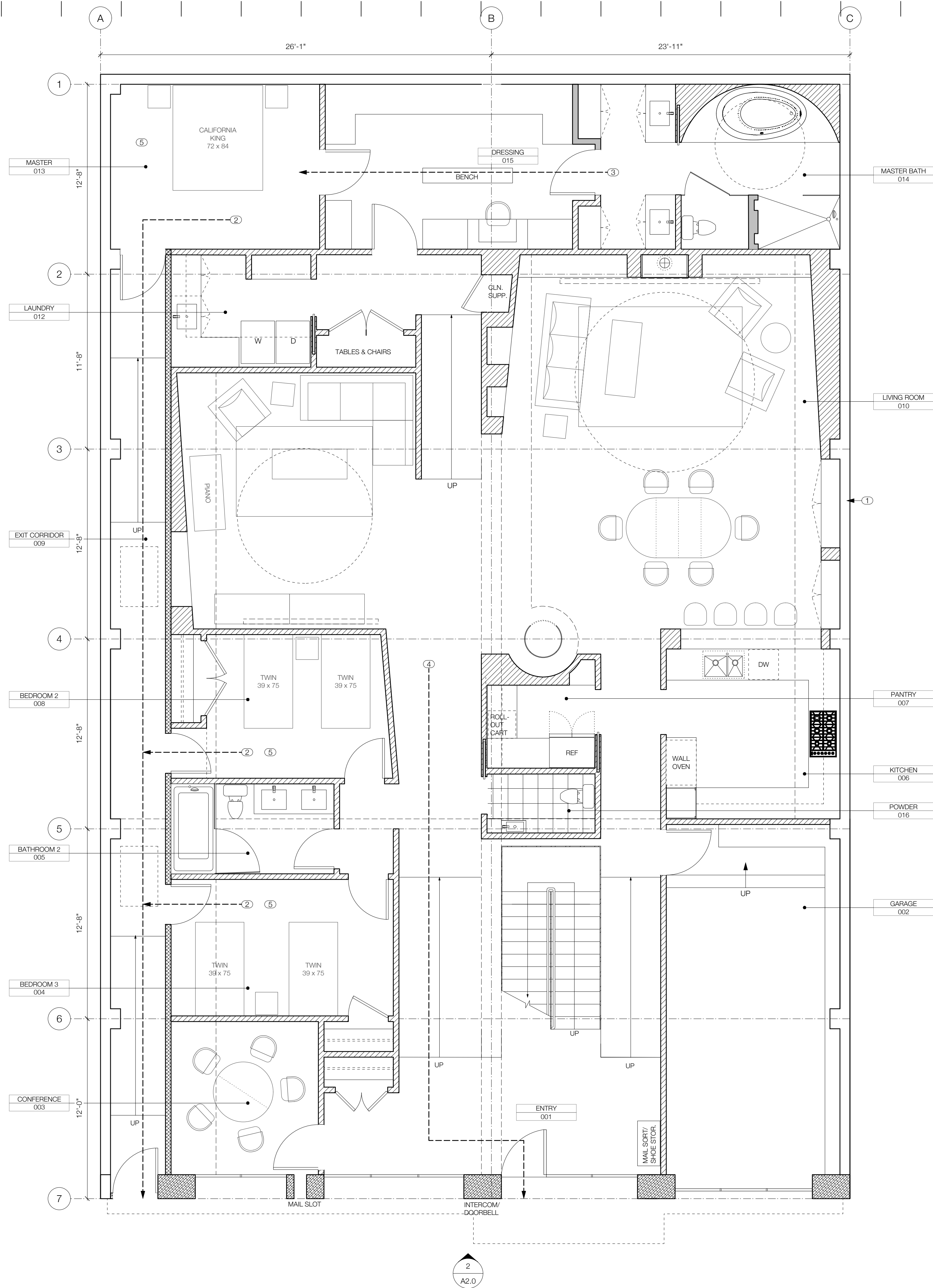
MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL

SCALE: 1/4" = 1'-0"

DEMOLITION PLANS

A0.3

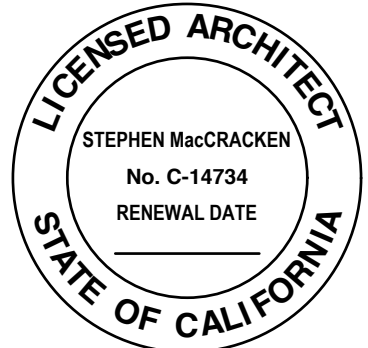


1 FIRST FLOOR PLAN

- SHEET NOTES:
- ① (E) 8" CMU PROPERTY LINE WALL
 - ② BEDROOM NOT REQ'D TO HAVE RESCUE WINDOW PER 1029.1 EXCEPTION #5: EMERGENCY ESCAPE & RESCUE OPENINGS NOT REQ'D FROM SLEEPING ROOMS THAT HAVE AN EXIT ACCESS DOOR THAT OPENS INTO A PUBLIC WAY
 - ③ EGRESS THROUGH INTERVENING ACCESSORY SPACE PER CBC 1014.2.1
 - ④ BUILDING TO BE FULLY SPRINKLERED. ONLY ONE EXIT REQ'D PER CBC 1015.1 - TWO PROVIDED
 - ⑤ EXIT ACCESS DISTANCE LESS THAN 250' IN A FULLY SPRINKLERED R-3 BUILDING

LEGEND

- (E) WALL TO REMAIN
- (N) NON LOAD-BEARING PARTITION - SEE DETAIL 1/A5.0
- (N) NON LOAD-BEARING 1 HR PARTITION - SEE DETAIL 2/A5.0



Copyright © 2013 by MacCracken Architects. All rights reserved. All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd Floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL
SCALE: 1/4" = 1'-0"

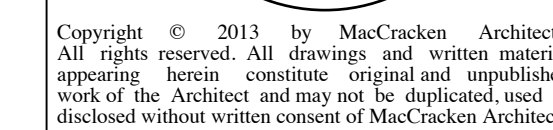
FIRST FLOOR PLAN
A1.0



A1.1



- ① OPEN SPACE EXCEEDS MIN 80 SOFT REQ'D BY PLANNING CODE 135 B
- ② ONE EXT PROV DEED FROM 2ND FLOOR PER CBC 1015.1 AS OCCUPANT LOAD IS LESS THAN 10
- ③ ROOF DECK CONSTRUCTION PER SBC 1505.1 & 1509.6
- ④ ROOF DECK EXIT PER 1021.1 - BUILDING FULLY SPRINKLERED
- ⑤ SKYLIGHT TO BELOW
- ⑥ SOLAR UM ROOF
- ⑦ PHOTOVOLTAIC ARRAY
- ⑧ PARAPET WALL
- ⑨ 1 HR PROPERTY LINE WALL W/ 30" MIN PARAPET
- ⑩ NEW "SCHEDULE A" STREET TREES



47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 2

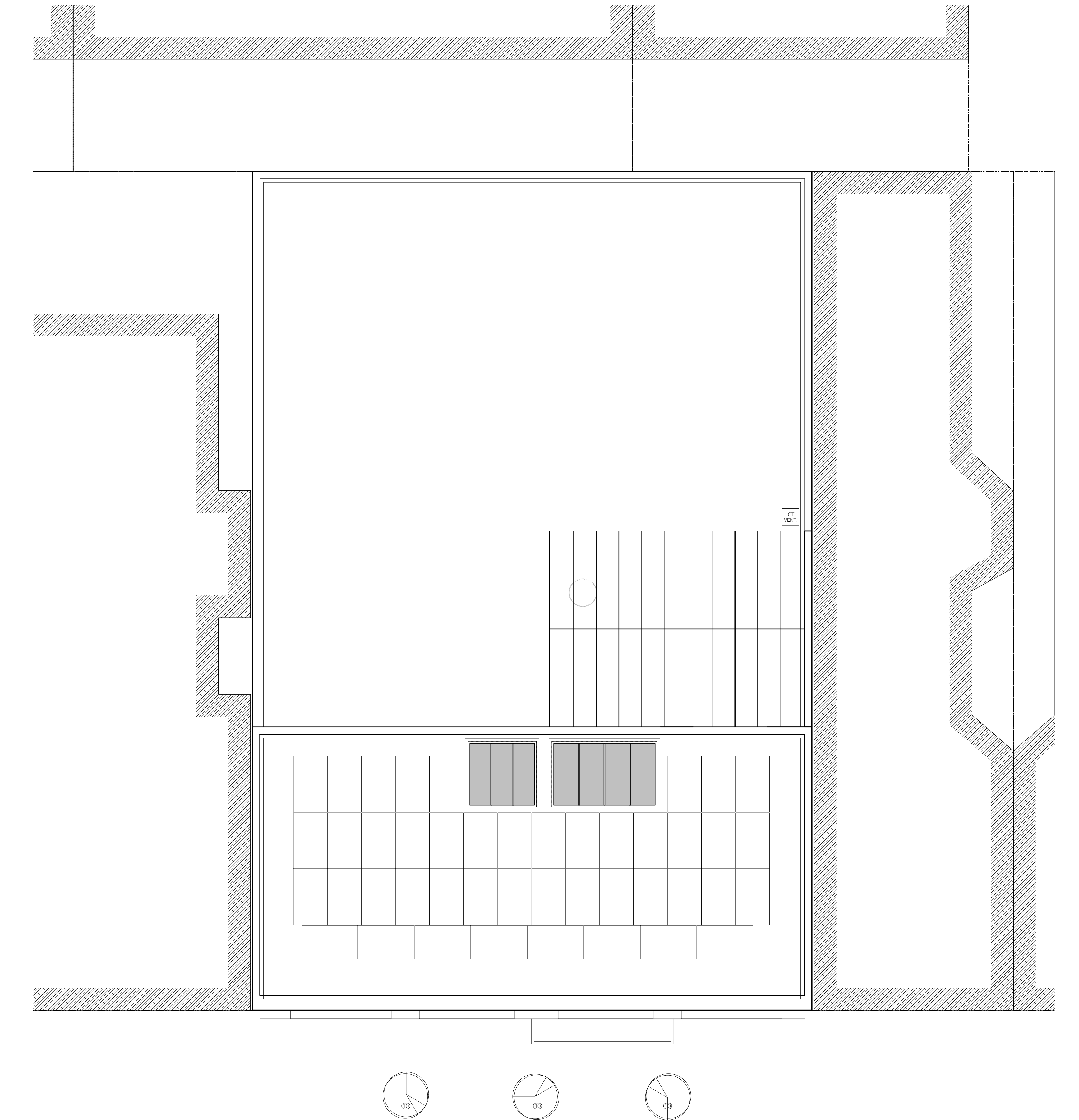
M A C C R A C K E
A R C H I T E C T
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.205
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL

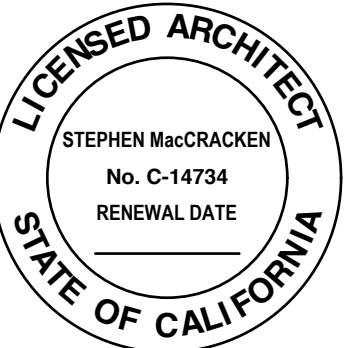
SCALE: 1/4" = 1'-0"

ROOF PLAN

A1.2



- SHEET NOTES:
- ① OPEN SPACE EXCEEDS MIN 80 SQFT
REQ'D BY PLANNING CODE 135 B
 - ② ONE EXIT PROVIDED FROM 2ND FLOOR
PER CBC 1015.1 AS OCCUPANT LOAD IS
LESS THAN 10
 - ③ ROOF DECK CONSTRUCTION PER SFGC
1505.1 & 1509.6
 - ④ ROOF DECK EXIT PER 1021.1 - BUILDING
FULLY SPRINKLERED
 - ⑤ SKYLIGHT TO BELOW
 - ⑥ SOLAR UM ROOF
 - ⑦ PHOTOVOLTAIC ARRAY
 - ⑧ PARAPET WALL
 - ⑨ 1 HR PROPERTY LINE WALL W/ 30" MIN
PARAPET
 - ⑩ NEW "SCHEDULE A" STREET TREES



Copyright © 2013 by MacCracken Architects.
All rights reserved. All drawings and written material
appearing herein constitute original and unpublished
work of the Architect and may not be duplicated, used or
disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd Floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL
SCALE: 3/16" = 1'-0"

1 PROPOSED LANDSCAPE PLAN - STREET TREES



ROOF PLAN
A1.3



5 EXISTING NORTH ELEVATION - PHOTO

NOT TO SCALE



4 EXISTING SOUTH ELEVATION - PHOTO

NOT TO SCALE



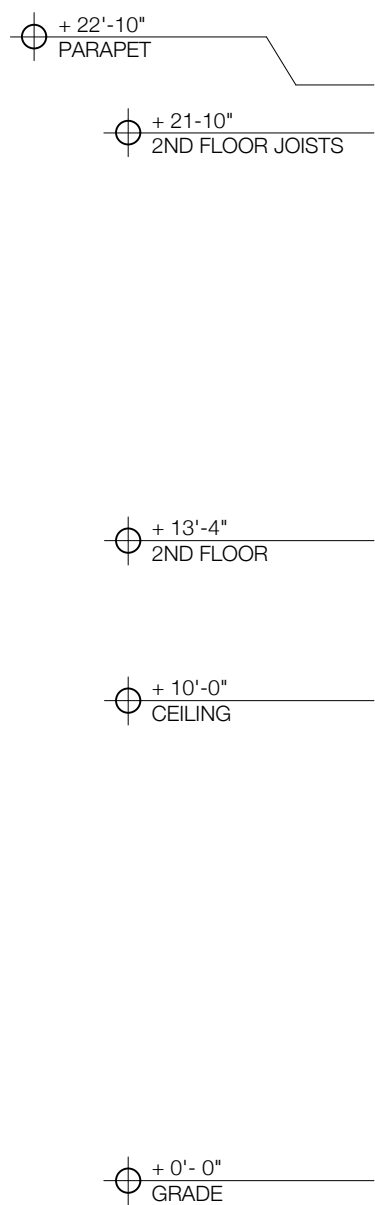
3 BUILDINGS ON FACING SIDE OF STREET - PHOTO

NOT TO SCALE



2 BUILDINGS ON SAME SIDE OF STREET - PHOTO

NOT TO SCALE



1 EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

- SHEET NOTES:
- ① PAINTED STL. ANGLE
 - ② PERFORATED PRODEEMA WOOD GRAN PANELS



Copyright © 2013 by MacCracken Architects.
All rights reserved. All drawings and written material
appearing herein constitute original and unpublished
work of the Architect and may not be duplicated, used or
disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL

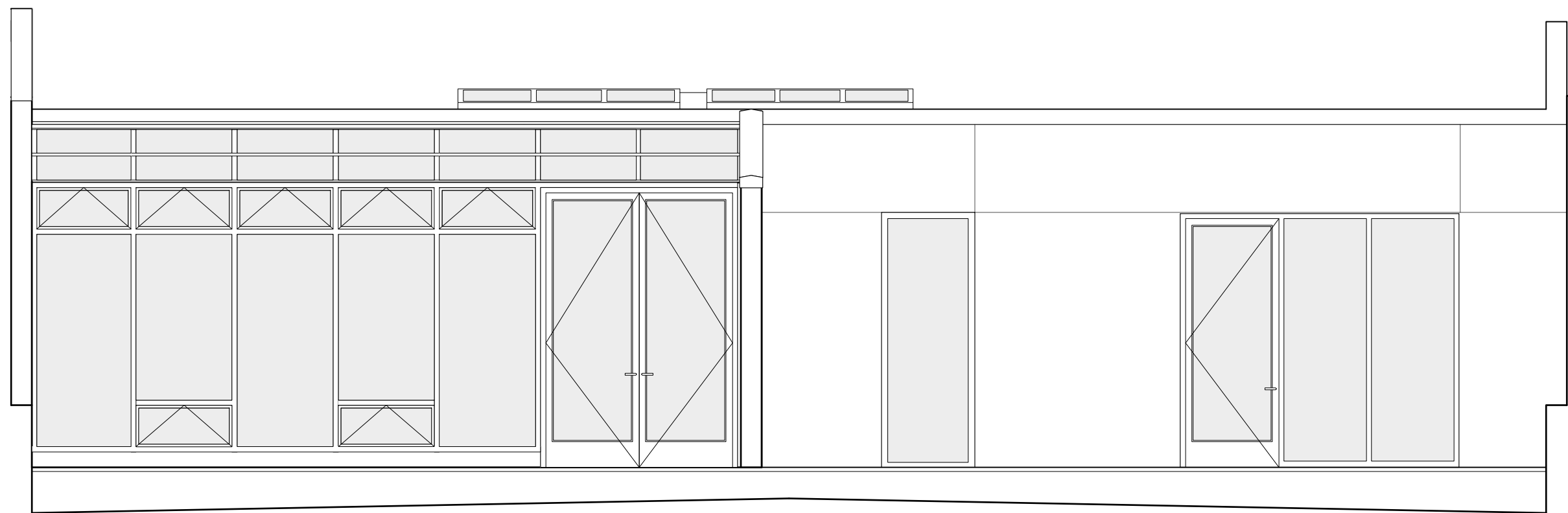
SCALE: AS NOTED

ELEVATIONS
A2.0



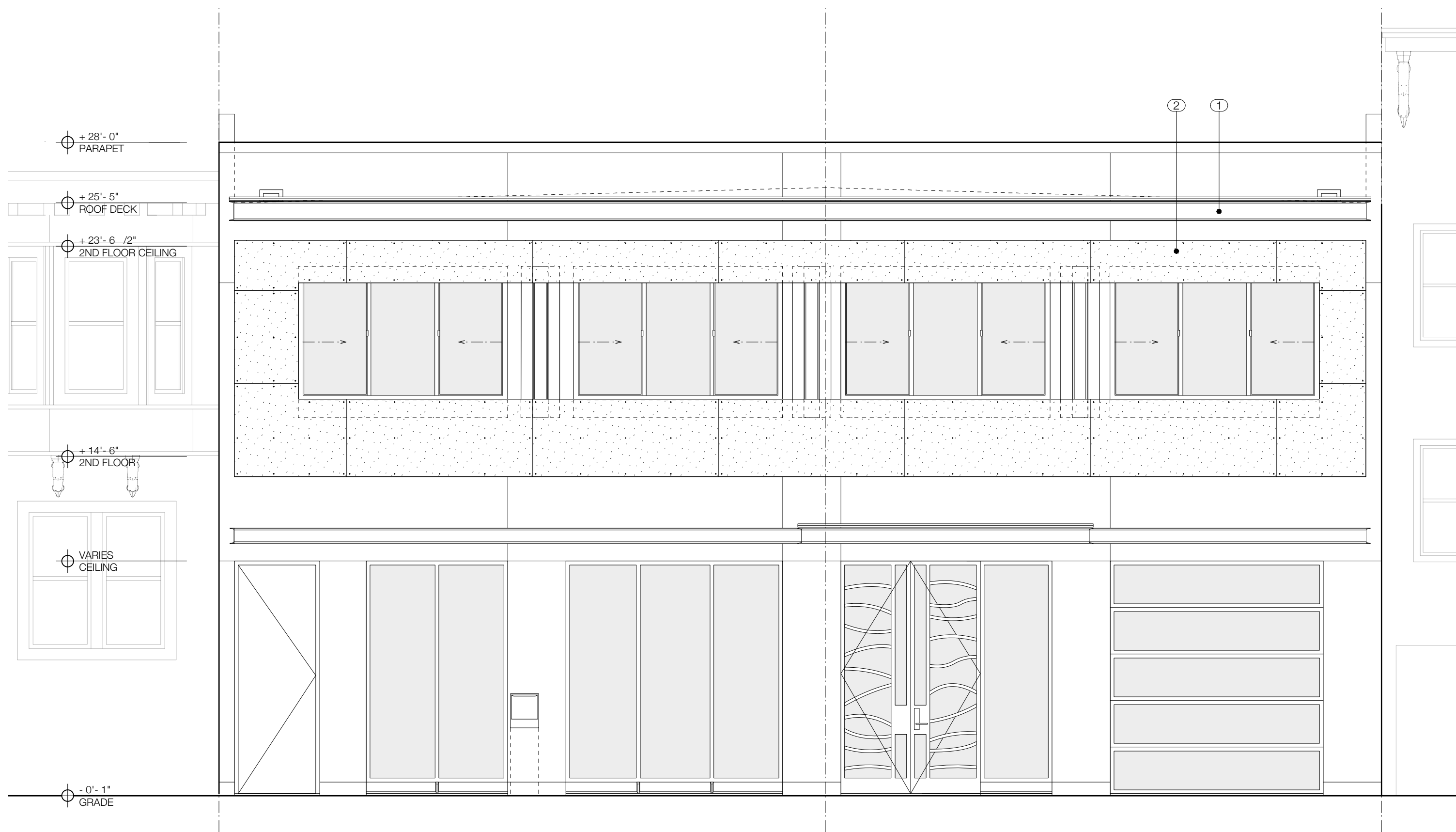
3 PROPOSED SOUTH ELEVATION - 3D

NOT TO SCALE



2 PROPOSED NORTH ELEVATION

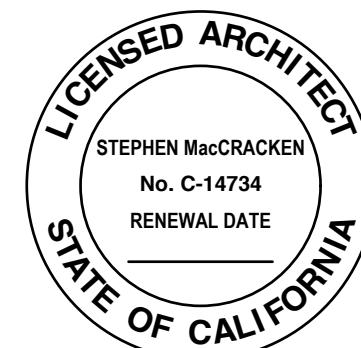
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SHEET NOTES:
① PAINTED STL. ANGLE
② PERFORATED PRODEMA WOOD GRAN PANELS



Copyright © 2013 by MacCracken Architects. All rights reserved. All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of MacCracken Architects.

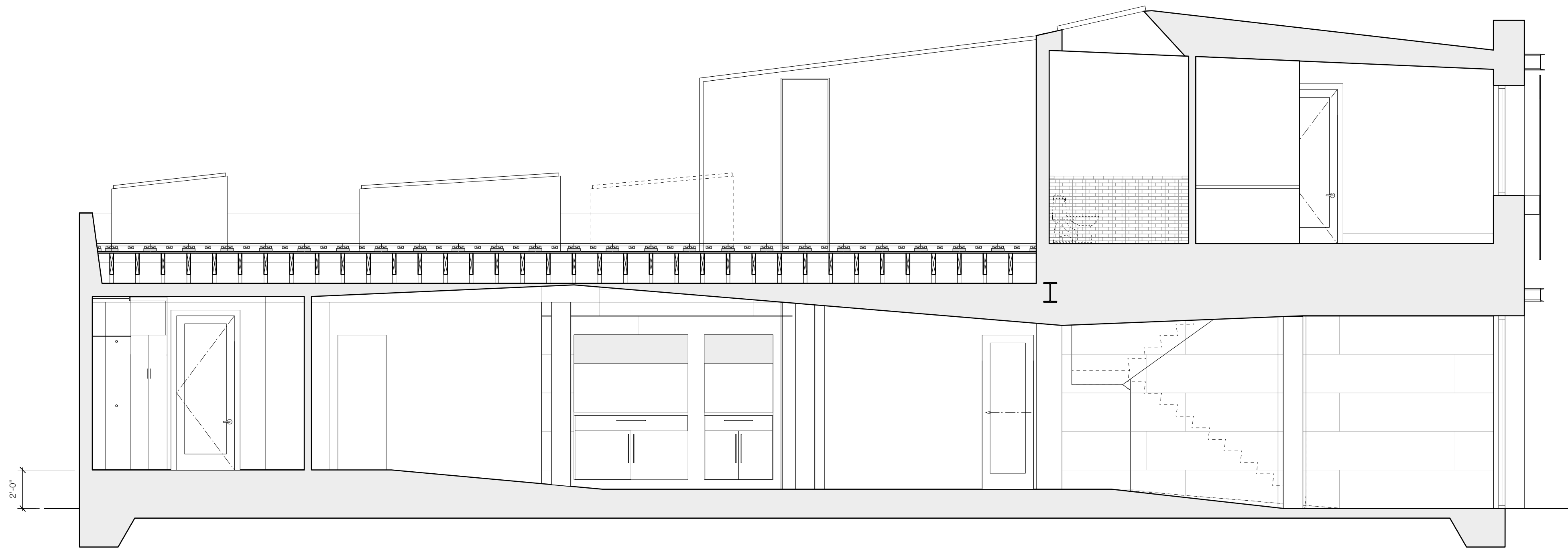
47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL
REV: 01-31-14

SCALE: AS NOTED

ELEVATIONS
A2.1

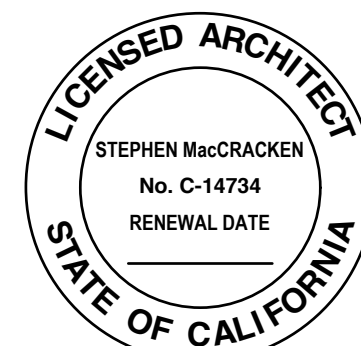


2 LONGITUDINAL SECTION - 2



1 LONGITUDINAL SECTION

SHEET NOTES:



Copyright © 2013 by MacCracken Architects.
All rights reserved. All drawings and written material
appearing herein constitute original and unpublished
work of the Architect and may not be duplicated, used or
disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA

9 4 1 0 3

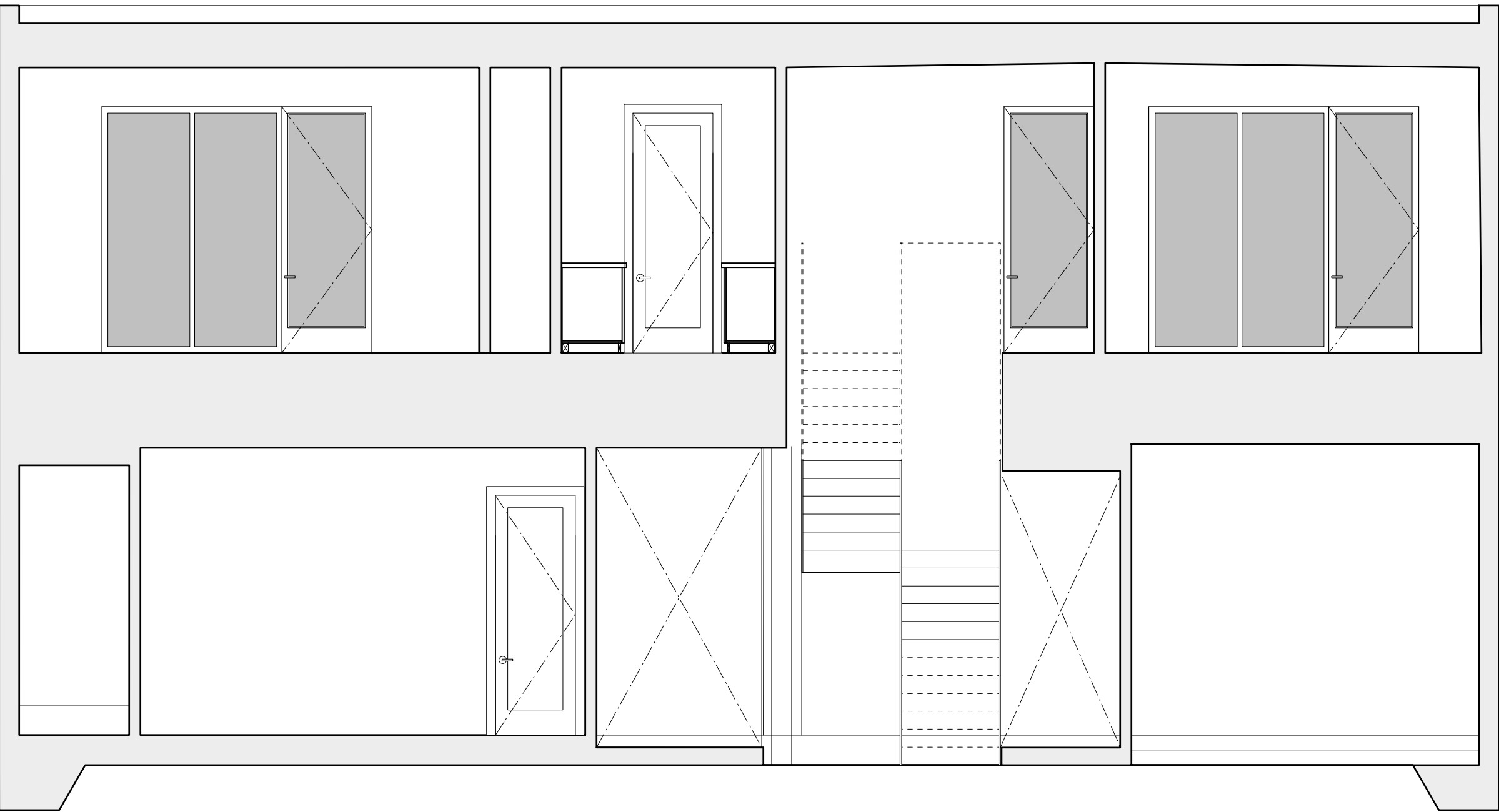
MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL

SCALE: 1/4" = 1'-0"

SECTIONS

A3.0



1 TRANSVERSE SECTION

SHEET NOTES:



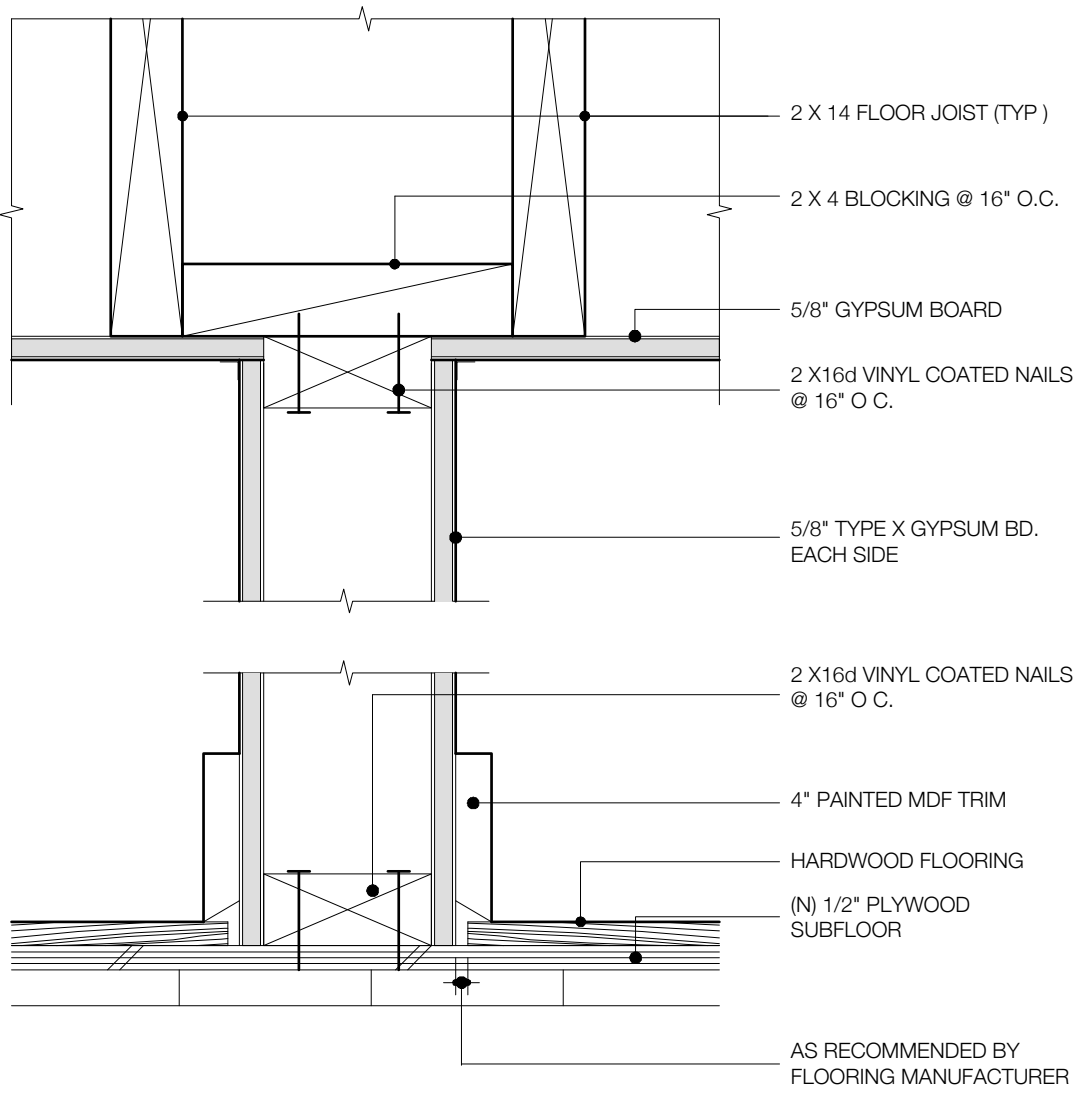
Copyright © 2013 by MacCracken Architects.
All rights reserved. All drawings and written material
appearing herein constitute original and unpublished
work of the Architect and may not be duplicated, used or
disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

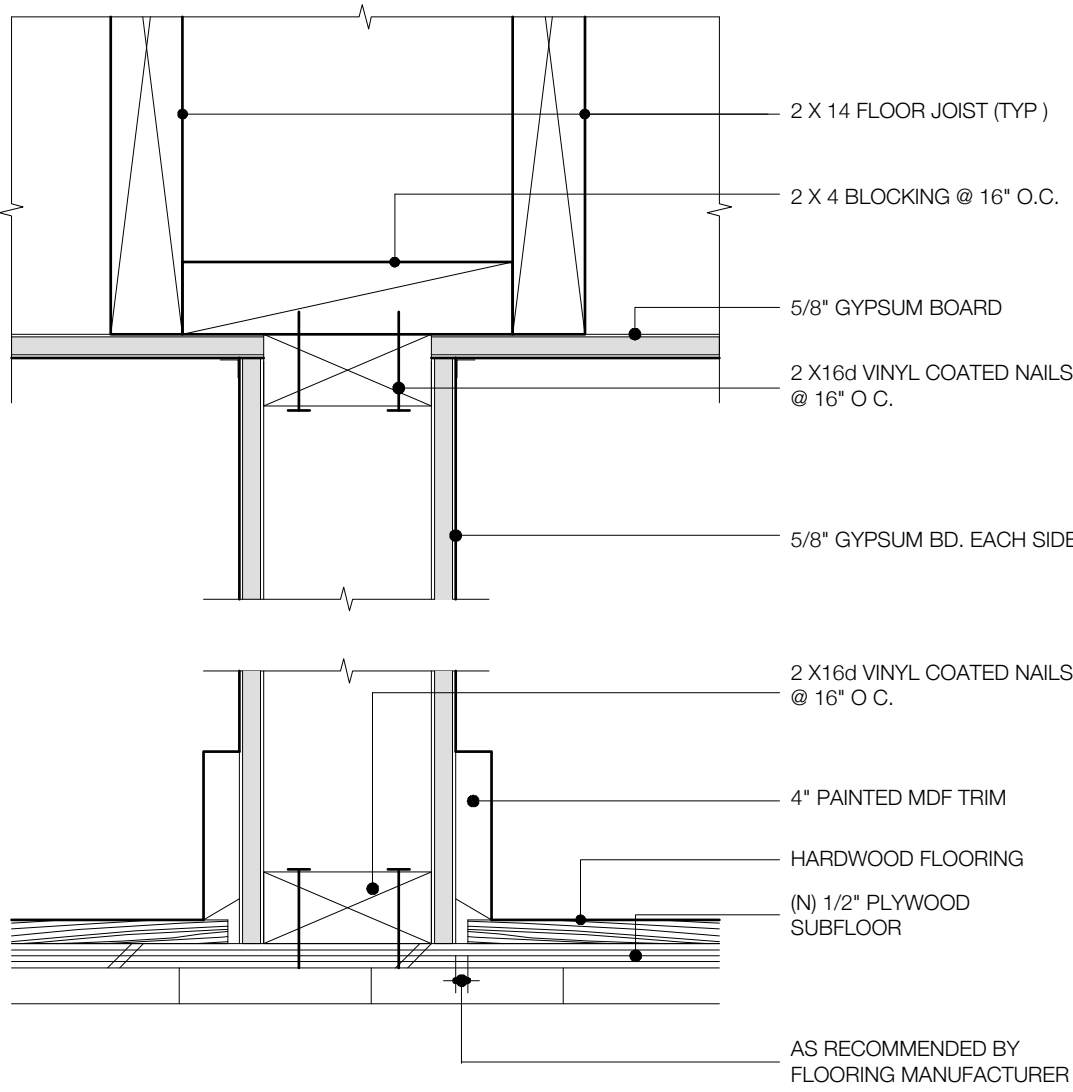
MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL
SCALE: 1/4" = 1'-0"

SECTIONS
A3.1

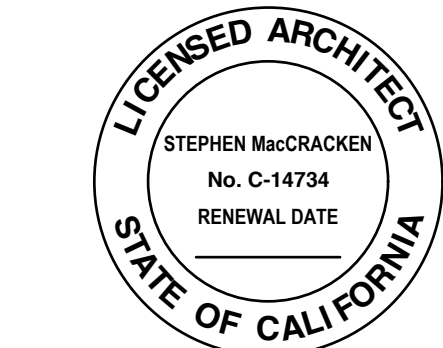


2 2x4 NON-BEARING 1 HR PARTITION - PERPENDICULAR TO JOISTS



1 2x4 NON-BEARING PARTITION - PERPENDICULAR TO JOISTS

SHEET NOTES:



Copyright © 2013 by MacCracken Architects. All rights reserved. All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of MacCracken Architects.

47 - 49 MOSS STREET
SAN FRANCISCO, CA
9 4 1 0 3

MACCRACKEN
ARCHITECTS
479 Ninth Street, 2nd floor
San Francisco, CA 94103
tel. 415.487.2050 fx. 415.487.2051
web: www.macarchs.com

DATE: 08-08-13
SITE PERMIT SUBMITTAL

SCALE: 3/8" = 1' - 0"

DETAILS

A5.0