



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400  
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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 23, 2013**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>3124 Baker Street</b> Cross Street(s): <b>Francisco St. &amp; Richardson Ave.</b> Block /Lot No.: <b>0931 / 020</b> Zoning District(s): <b>RH-1 / 40-X</b> Area Plan: <b>N/A</b>	Case No.: <b>2013.1041V</b> Building Permit: <b>To be filed</b> Applicant (agent): <b>Natalie Forood</b> Telephone: <b>(650) 678-7844</b> E-Mail: <b><a href="mailto:natalie@foroodconstruction.com">natalie@foroodconstruction.com</a></b>

### PROJECT DESCRIPTION

The proposal is to construct an "L-shaped" horizontal addition on the second floor and a new one-story deck at the rear of the three-story, single-family dwelling. The proposed horizontal rear addition (to expand an existing bedroom) will extend approximately 6' wide by 21'-9" deep to the north side property line and will extend approximately 20' wide by 9'-6" deep to the west rear building walls to align with the ground and first floors below. The new rear deck (approximately 13' wide by 5' deep by 8' above grade) will be set back 3' from the north side property line and 10' from the south side property line. An infill addition (to accommodate a finished playroom) proposed on the ground floor is not the subject of this variance.

**SECTION 134 OF THE PLANNING CODE** requires a rear yard in an RH-1 Zoning District to be equivalent to 25 percent of the total lot depth at grade level and at each succeeding story of the building. The subject property, with a lot depth of approximately 87'-6", has a required rear yard of 21'-9". The subject property has an existing rear yard of approximately 19'. The proposed "L-shaped" horizontal addition on the second floor will extend approximately 3' into the required rear yard and the new one-story rear deck will extend entirely within the required rear yard; therefore, a variance is required.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: [sharon.m.young@sfgov.org](mailto:sharon.m.young@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1041V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



### BUILDING DATA:

Zoning District: RH1  
 Lot Dimensions: 26' wide x 87.6' deep  
 Lot Size: 2,278.6 sq ft  
 F.A.R.  $2,278.6 * 1.8 = 4,101.48$

	<u>EXISTING</u>	<u>PROPOSED</u>
GARAGE /		
BASEMENT	1,323 sf	1,342 sf
DECK @ 1ST FLOOR	0 sf	71 sf
FIRST	1,308 sf	1,308 sf
SECOND	970 sf	1,287 sf
<b>TOTAL</b>	<b>3,601 sf</b>	<b>4,008 sf</b>

BASEMENT	529 sf
FIRST	1,308 sf
SECOND	1,287 sf
TOTAL	3,124 sf

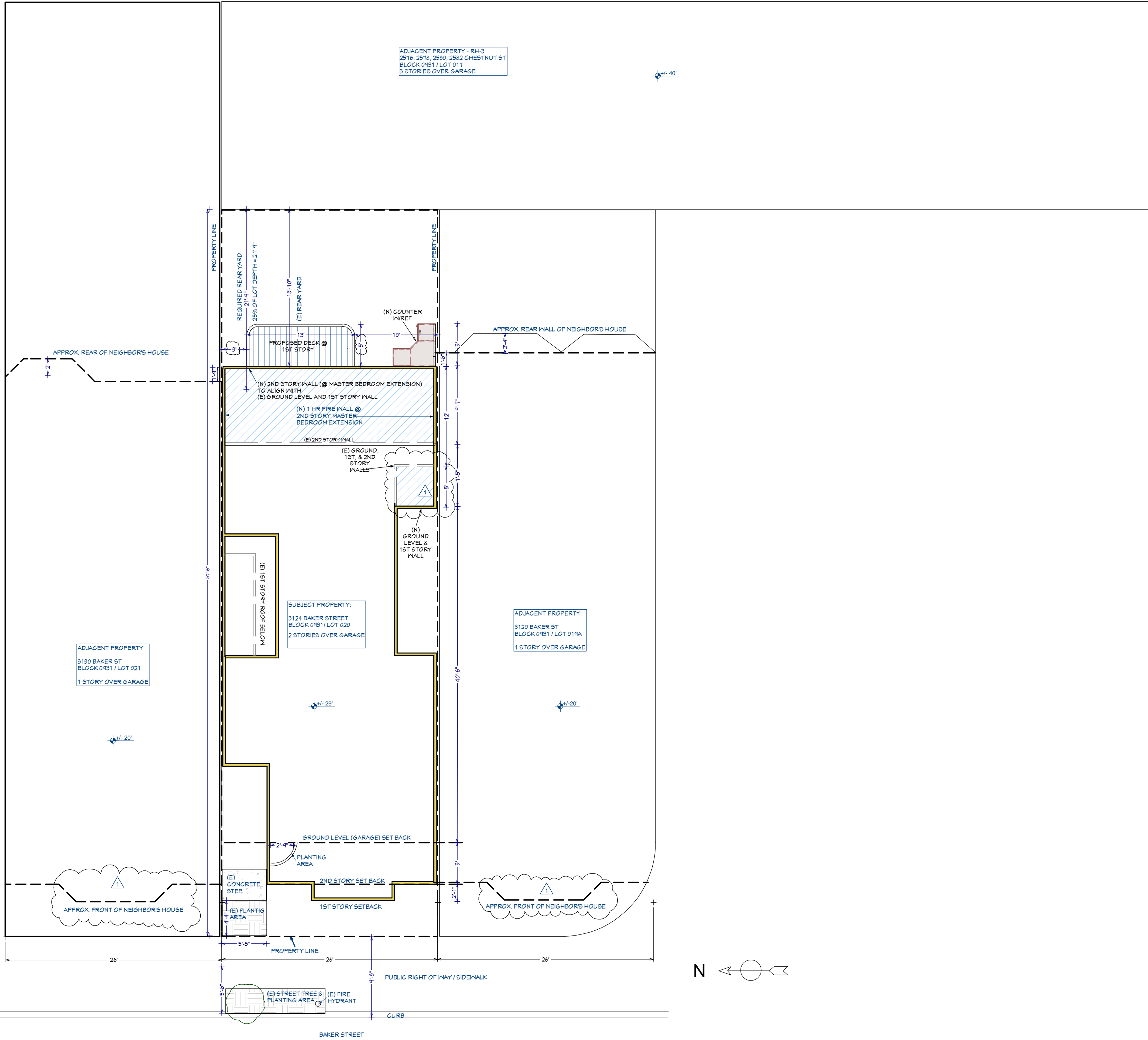
	<u>EXISTING</u>	<u>PROPOSED</u>
2 CAR GARAGE	850 sf	796 sf
DECK @ 1ST FLOOR	0 sf	123 sf

This work consists of interior renovations, seismic upgrades, extending the master bedroom, master closet, and kitchen pantry, and play room back door walls. The work includes adding a deck off the rear of the 1st story. Removing the second egress stair case and adding it in the play room.

All work to comply with current local and state codes including, but not limited to: the 2010 Edition of the California Building Code, the California Historic Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc.,

All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed.

Outdoor lighting to be high efficacy or motion sensor with photocontrol. All exterior lights to be high efficacy or to be controlled by a motion sensor with photo cell per CEC 150(k)6



Scale:  $1/8" = 1'$

3130 BAKER STREET  
(LEFT NEIGHBOR - FRONT)



3124 BAKER STREET  
(SUBJECT PROPERTY)



3120 BAKER STREET  
(RIGHT NEIGHBOR - FRONT)

3120 BAKER STREET  
(RIGHT NEIGHBOR - REAR)

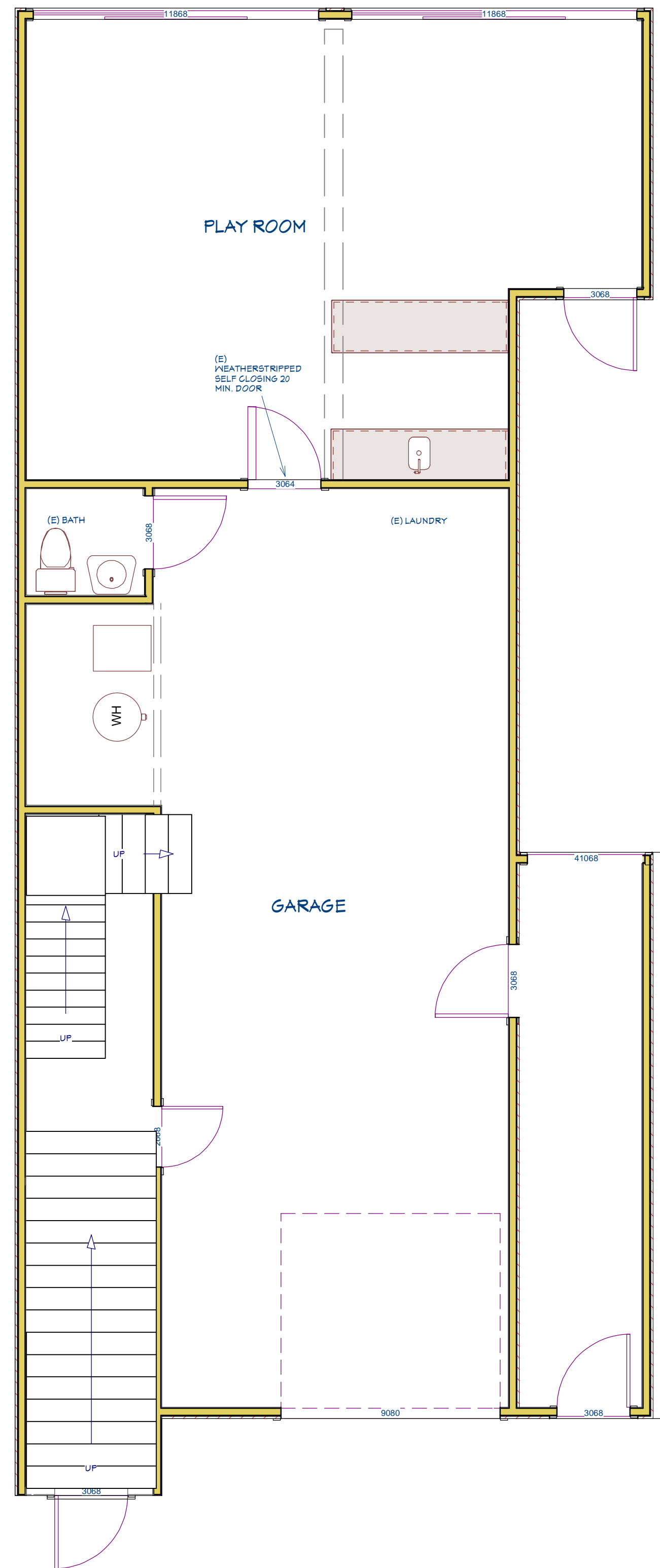


3124 BAKER STREET  
(SUBJECT PROPERTY)

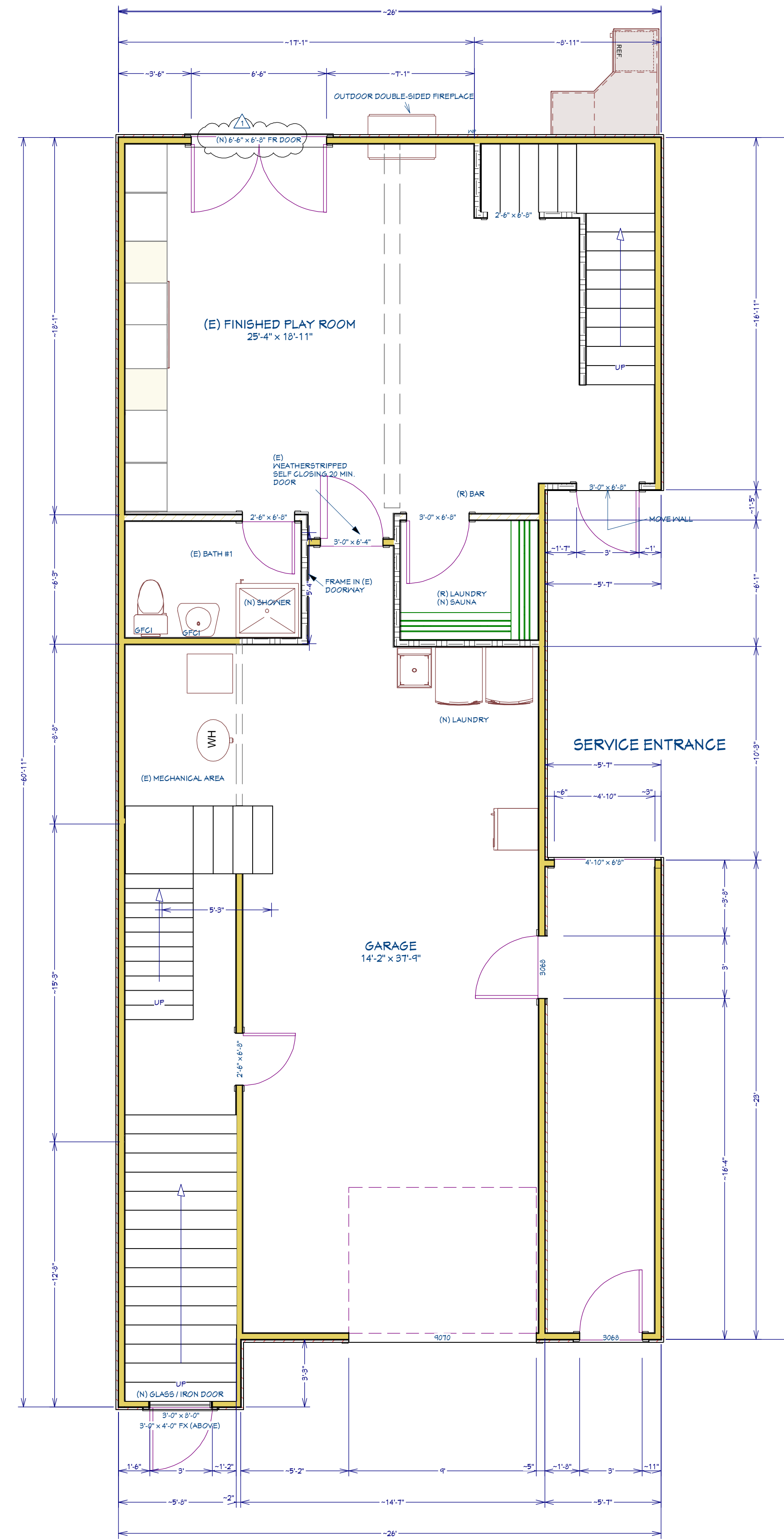
3130 BAKER STREET  
(LEFT NEIGHBOR - REAR)

DRAWINGS PROVIDED BY:		PROJECT DESCRIPTION:	
Forood Design and Construction, Inc. 12114 Vancouver Avenue Burlingame, CA 94010 650-678-7844		Home Remodel for Roman and Anna Polonsky 3124 Baker Street San Francisco, CA	
SHEET TITLE:		DATE:	
Site Plan		9/29/2013	
SCALE:		SHEET:	
AS NOTED		A-1	





EXISTING GARAGE LEVEL (GROUND FLOOR)



PROPOSED GARAGE LEVEL (GROUND FLOOR)

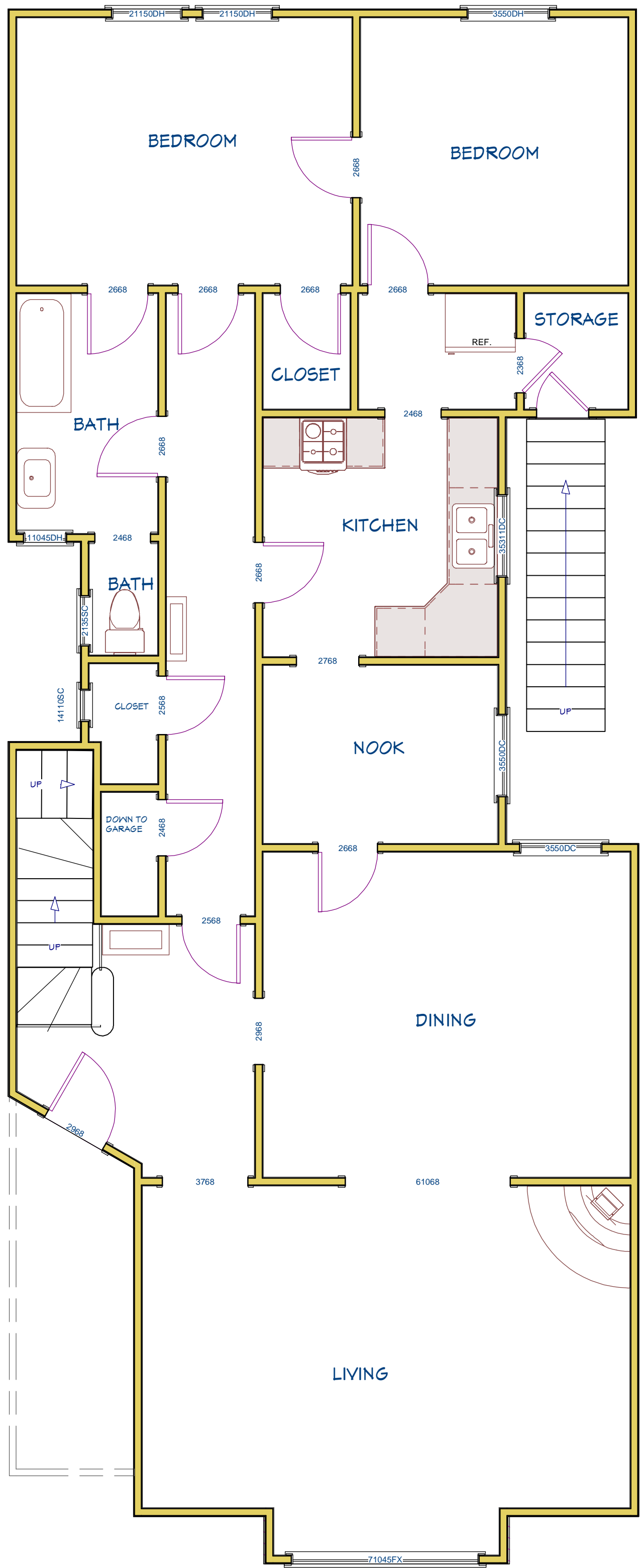
NO.	DESCRIPTION	DATE
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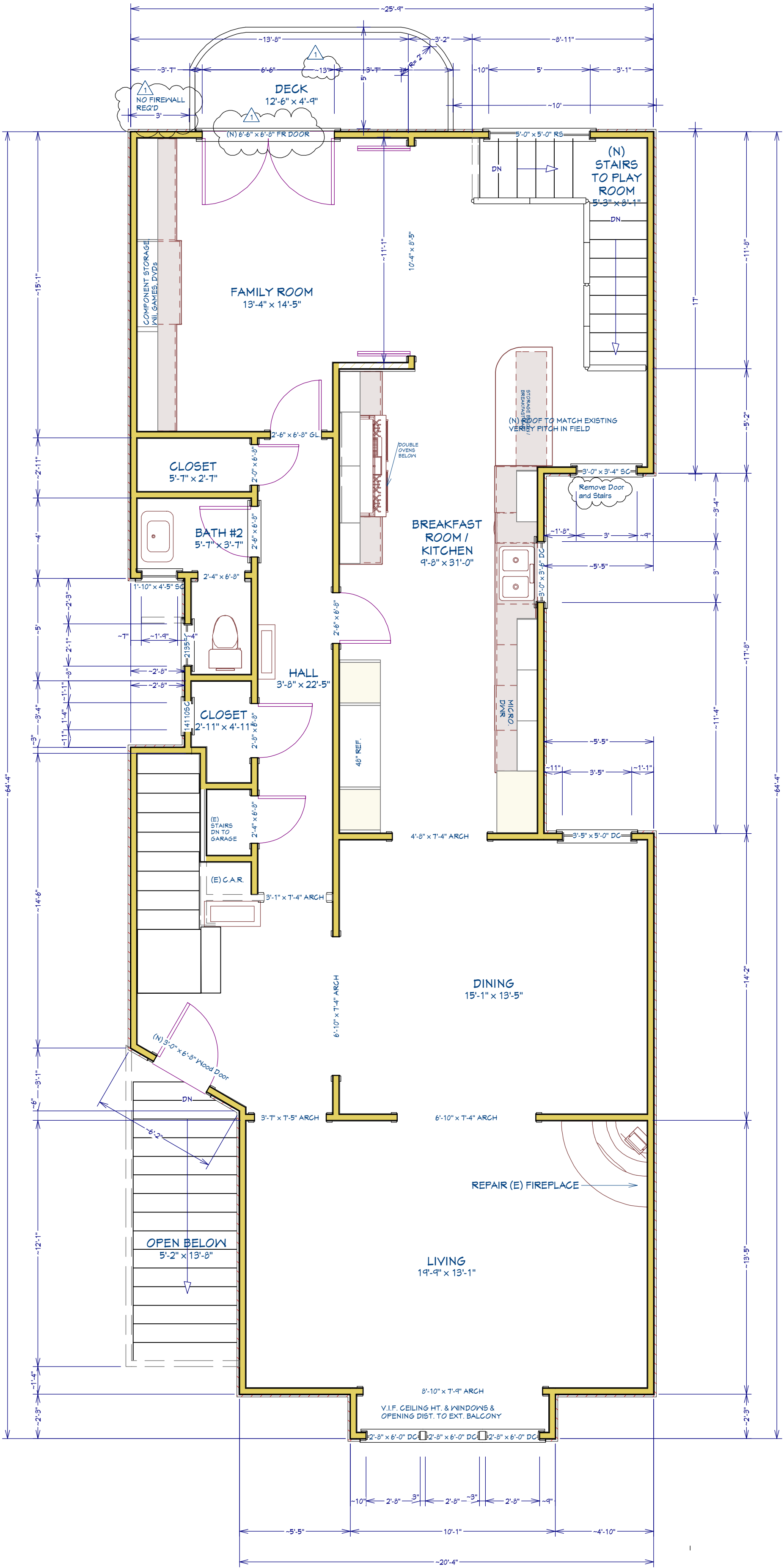
<b>PROJECT DESCRIPTION:</b> Home Remodel for Roman and Anna Polonsky 3124 Baker Street San Francisco, CA	<b>DRAWINGS PROVIDED BY:</b> Forood Design and Construction, Inc. 12114 Vancouver Avenue Burlingame, CA 94010 650-678-7844
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<b>SHEET TITLE:</b> Ground Floor Level
<b>DATE:</b> 9/29/2013
<b>SCALE:</b> 1/4" = 1'
<b>SHEET:</b> A-2

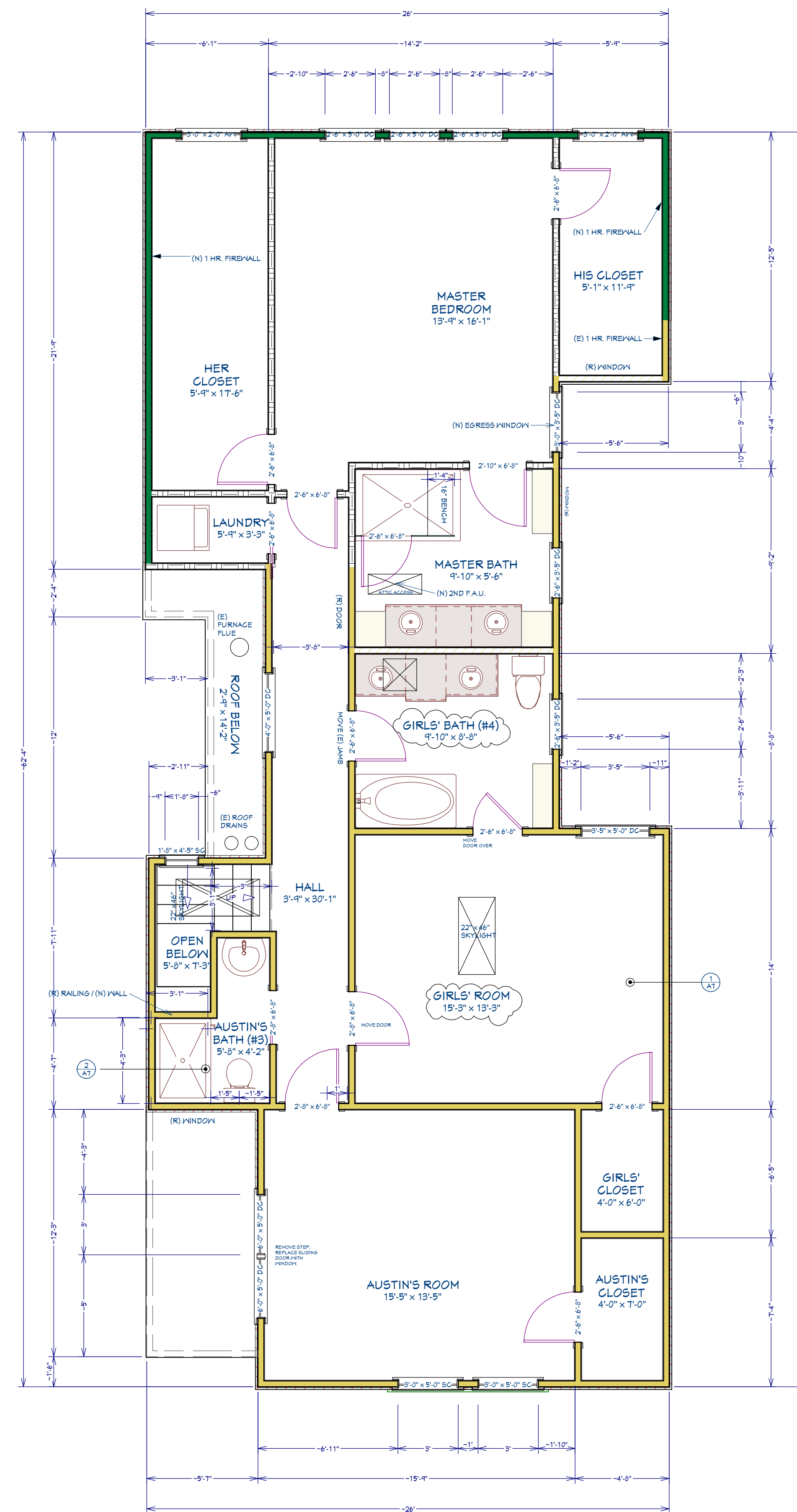
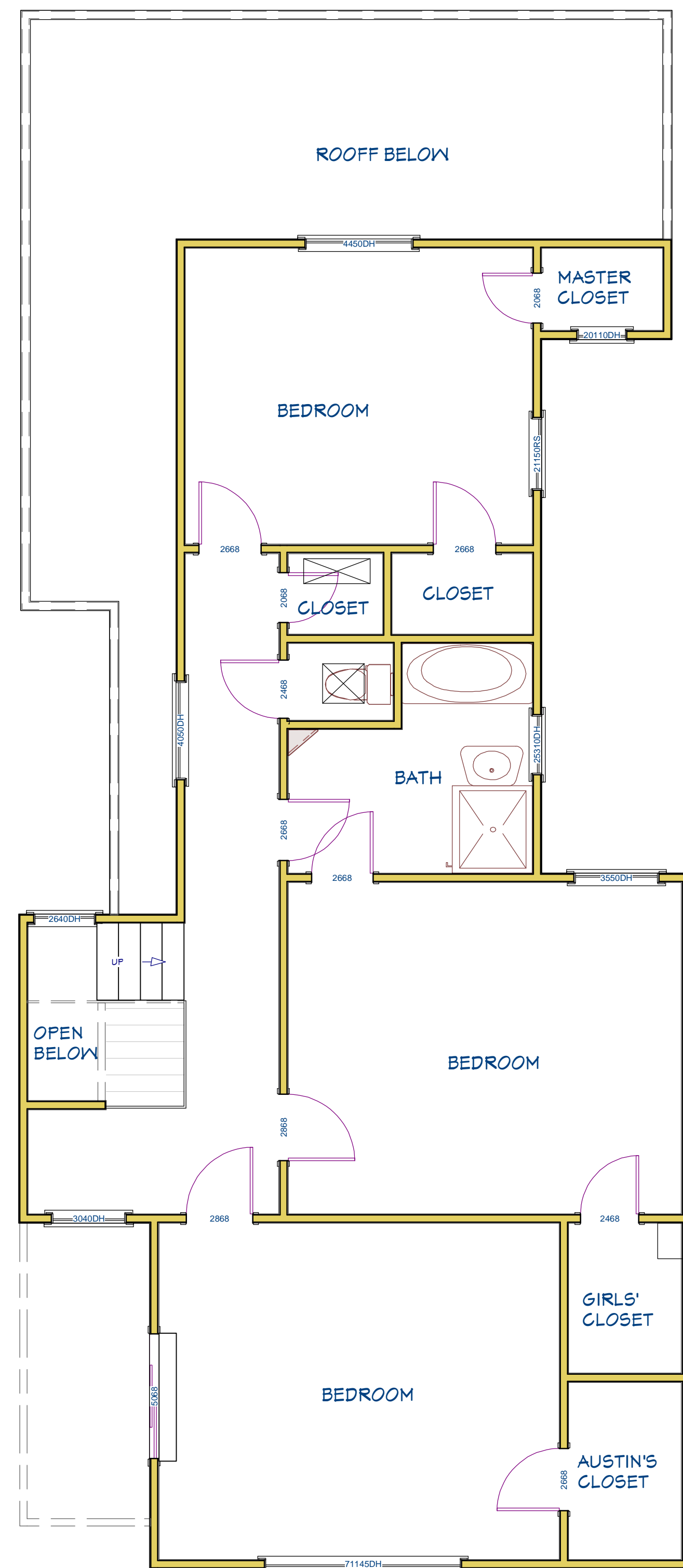


EXISTING 1ST FLOOR



PROPOSED 1ST FLOOR

DRAWINGS PROVIDED BY:		PROJECT DESCRIPTION:		NO.		DESCRIPTION		DATE	
Forood Design and Construction, Inc. 12114 Vancouver Avenue Burlingame, CA 94010 650-678-7844		Home Remodel for Roman and Anna Polonsky 3124 Baker Street San Francisco, CA		1		Fixed type "FRONT" to "REAR" Updated the dimension showing the playground and playroom areas. Show neighbors' property lines, heights, set backs Fix labels and label materials			
SHEET TITLE:		First Floor Level		DATE:		9/29/2013		SCALE:	
								1/4" = 1'	
								SHEET:	
								A-3	



NO.	DESCRIPTION	DATE
1	Fixed type "FRONT" to "REAR" Updated the 5' dimension showing the playground and pantry extension Show neighbors' property lines, heights, set backs Fix labels and label materials	

**PROJECT DESCRIPTION:**

Home Remodel for Roman and Anna Polonsky  
3124 Baker Street  
San Francisco, CA

**DRAWINGS PROVIDED BY:**

Forood Design and Construction, Inc.  
12114 Vancouver Avenue  
Burlingame, CA 94010  
650-678-7844

**SHEET TITLE:**

Second  
Floor Level

**DATE:**

9/29/2013

**SCALE:**

1/4" = 1'

**SHEET:**

A-4

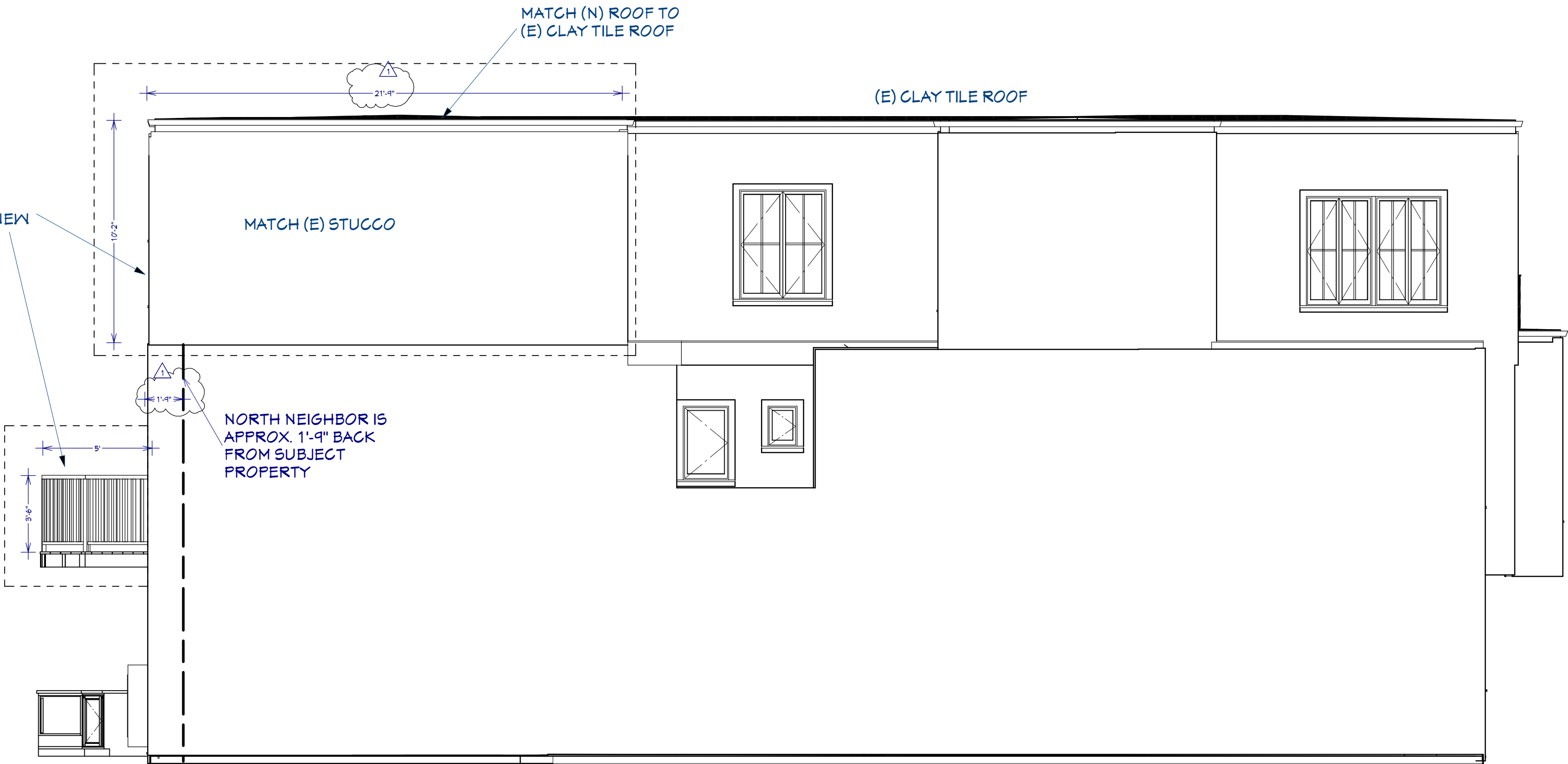


NOTES:  
ALL (N) WOOD WINDOWS W/ VINYL OR ALUMINUM CLAD EXTERIOR  
(N) WOOD FRENCH DOORS W/ VINYL OR ALUMINUM CLAD EXTERIOR  
MATCH ROOF TILE OVER ADDITION TO EXISTING

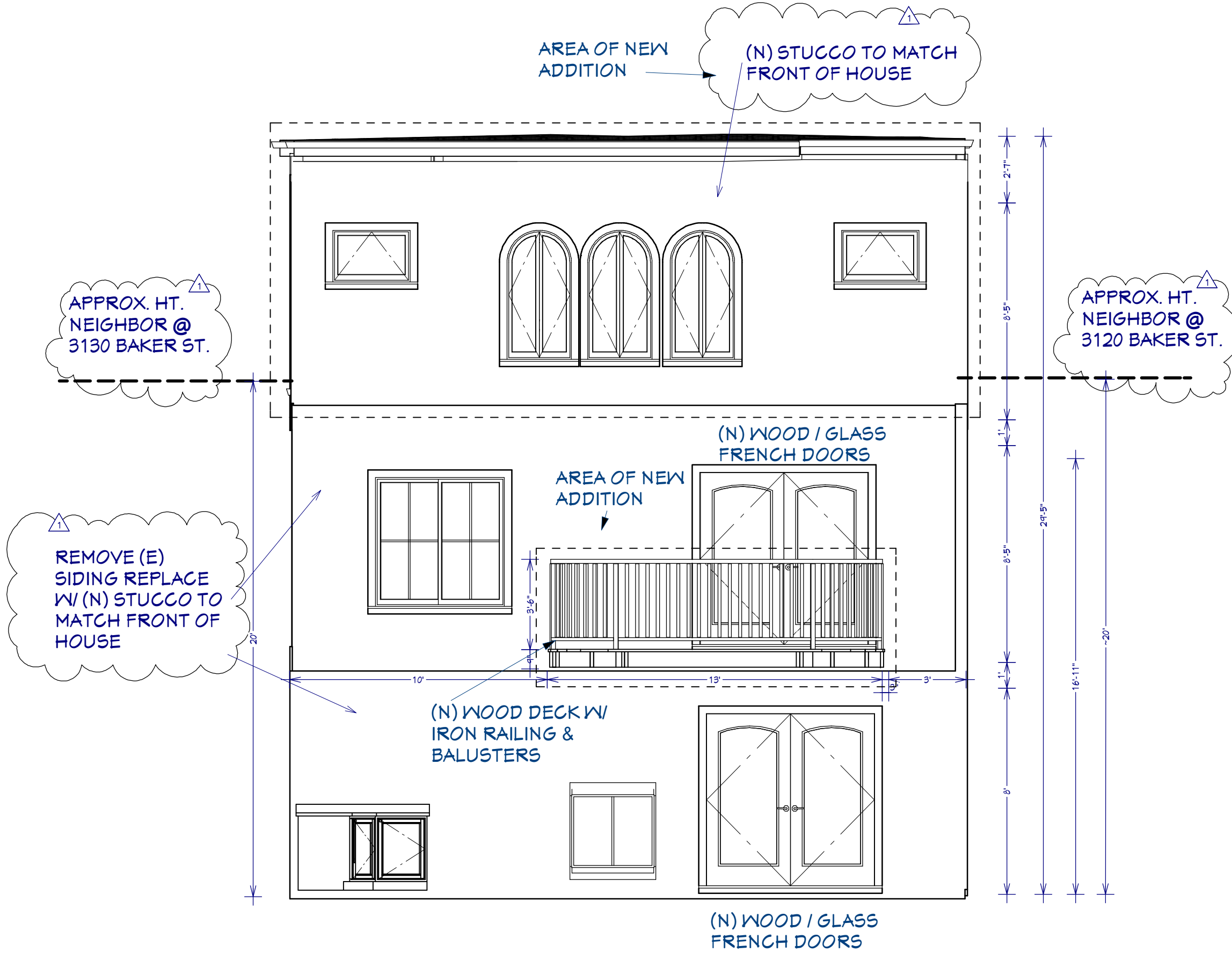


① FRONT ELEVATION

All heights are approximations; existing building height won't change

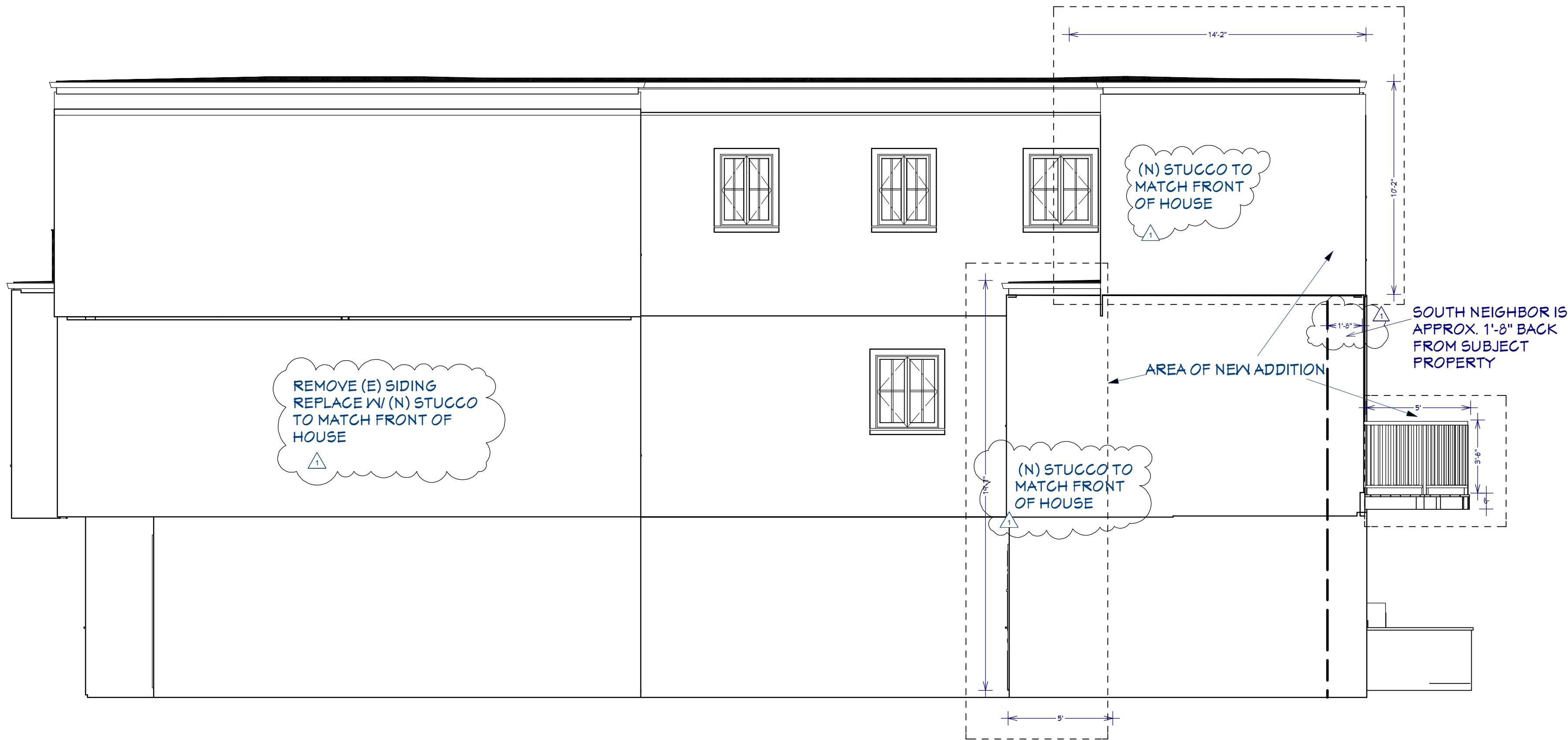


② LEFT ELEVATION



③ REAR ELEVATION

All heights are approximations; existing building height won't change



④ RIGHT ELEVATION

DATE

DESCRIPTION

NO.

1

Fixed type "FRONT" to "REAR"  
Updated the dimension showing the playground and  
playground equipment.  
Show neighbors' property lines, heights, setbacks  
Fix labels and label materials

PROJECT DESCRIPTION:  
Home Remodel for Roman and Anna Polonsky  
3124 Baker Street  
San Francisco, CA

DRAWINGS PROVIDED BY:  
Forood Design and Construction, Inc.  
12114 Vancouver Avenue  
Burlingame, CA 94010  
650-678-7844

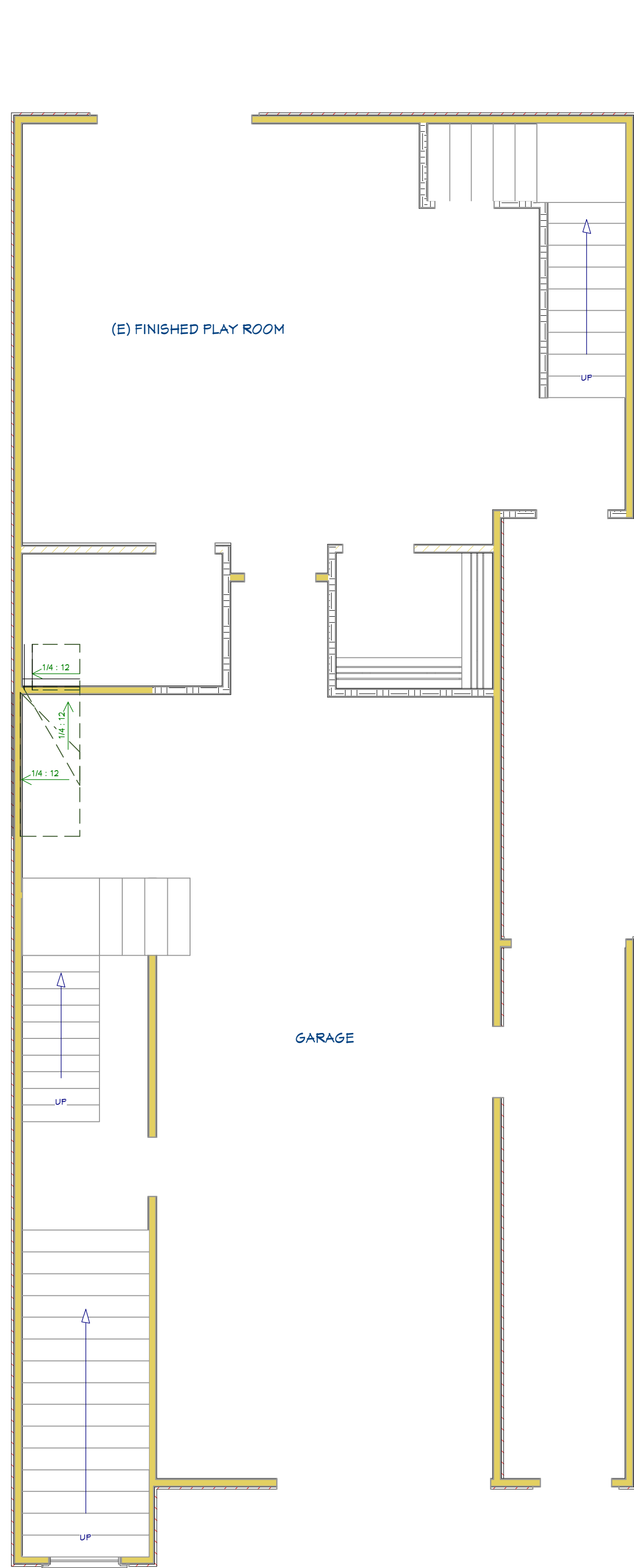
SHEET TITLE:  
Elevations

DATE:  
9/29/2013

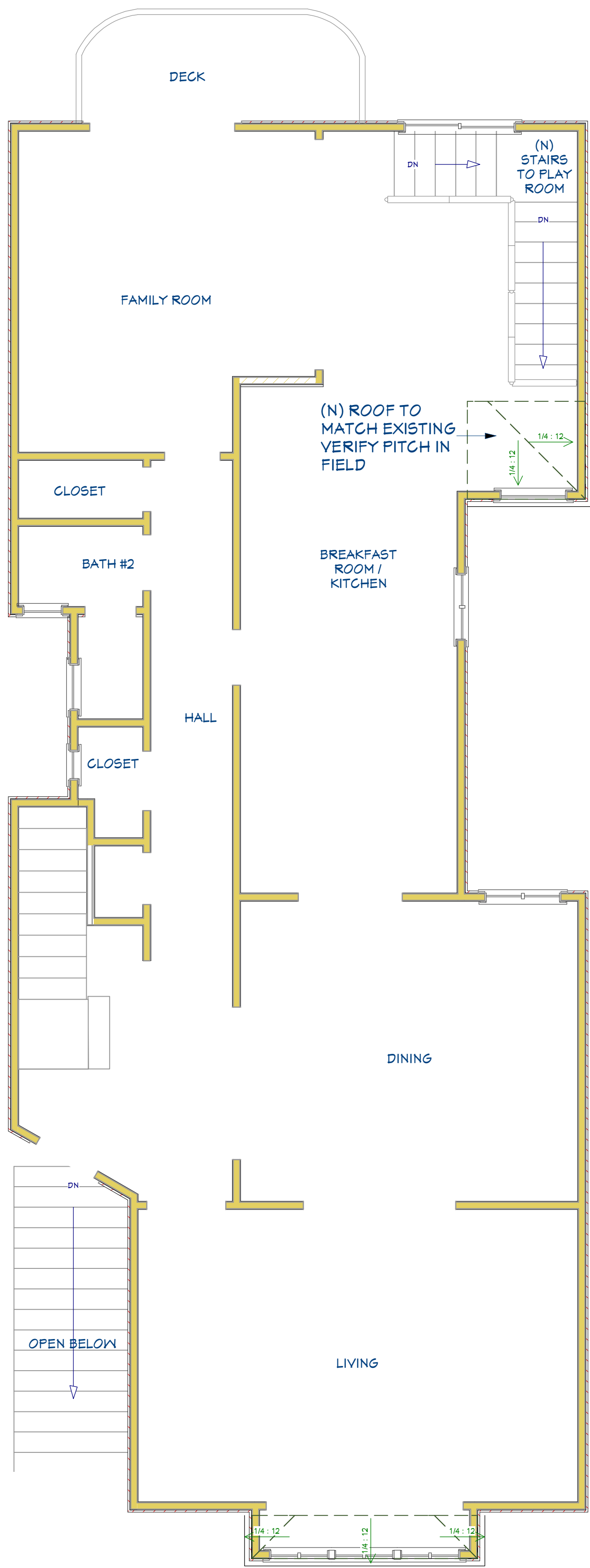
SCALE:  
1/4" = 1'

SHEET:  
A-5

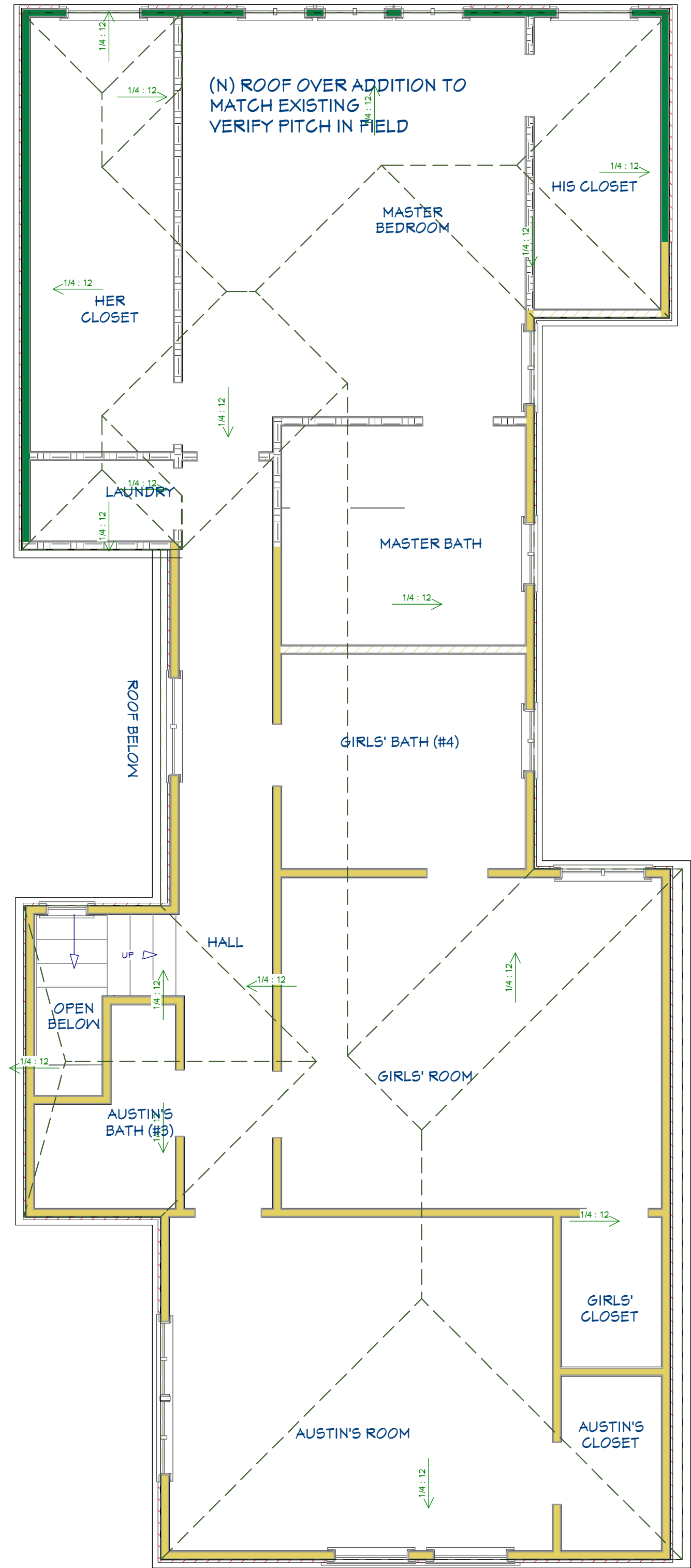




GROUND FLOOR ROOF PLAN



1ST FLOOR ROOF PLAN



2ND FLOOR ROOF PLAN

DRAWINGS PROVIDED BY:		PROJECT DESCRIPTION:		NO.		DESCRIPTION		DATE	
Forood Design and Construction, Inc. 12111 Vancouver Avenue Burlingame, CA 94010 650-678-7844		Home Remodel for Roman and Anna Polonsky 3124 Baker Street San Francisco, CA		1		Fixed type "FRONT" to "REAR" Updated the dimension showing the playground and playroom area. Show neighbors' property lines, heights, setbacks Fix labels and label materials			
SHEET TITLE:		Roof Plan		DATE:		9/29/2013		SCALE:	
								1/4" = 1'	
								SHEET:	
								A-6	



1 RIGHT CROSS SECTION



2 LEFT CROSS SECTION

DRAWINGS PROVIDED BY:		PROJECT DESCRIPTION:	
Forood Design and Construction, Inc. 12111 Vancouver Avenue Burlingame, CA 94010 650-678-7844		Home Remodel for Roman and Anna Polonsky 3124 Baker Street San Francisco, CA	
SHEET TITLE:		NO.	
Cross Sections		1	
DATE:		DESCRIPTION	
9/29/2013		Fixed type "FRONT" to "REAR" Updated the dimension showing the playground and playroom areas Show neighbors' property lines, heights, set backs Fix labels and label materials	
SCALE:		DATE	
1/4" = 1'			
SHEET:			
A-7			