MEMO

Disclaimer for Review of Plans

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Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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ABBREVIATIONS Fire Alarm Perforated Forced Air Unit F.A. P.LAM. Plastic Laminate Flat Bar F.D. Floor Drain PLAS. Centerline PLUMB. Diameter or Round Foundation Plumbing F.E.C. Fire Extinguisher Cabinet PLYWD. Perpendicular Plywood PNL. Number or Pound Finish Floor Panel Finish Floor Elevation Existing PRCST. Precast **Pressure Treated** P.T.D. Anchor Bolt Paper Towel Dispenser FLASH. P.T.D.F. A.C. Flashing Pressure Treated Douglas Fir Asphalt Concrete ABV. **FLUOR** Fluorescent **ACOUS** F.O.C. Face of Concrete Acoustical F.O.F. ADJ. Adjustable Face of Finish Radius F.O.S. R.D. A.D. Roof Drain Face of Stud Area Drain RDWD **FIREPRF** AGGR. Fireproof Redwood Aggregate FIREPRFG. Fireproofing AL, ALUM. Reference Aluminum REINF. Reinforcing, Reinforced APPROX. Approximate Framing REQ., REQD. ARCH. F.S. Architectural Full Size Required RESIL. Resilient Foot or Feet BD. RGTR. Register Footing BITUM. **Bituminous** FURR. Furring R.O. BLDG. Building Room Opening R.W.L. Rain Water Leader BLK. BLKG. Blockind South BM. GALV Galvanized S.A.S.M. Self-Adhered Membrane Grab Bar BOT. S.C. Solid Core S.C.D. BTWN. See Civil Drawings Ground SCHED. B.U. Built Up Schedule B.U.R. **Built Up Roofing** G.S.M. SECT. Galvanized Sheet Metal Section B.W. Gypsum Board S.A. Soap Dish S.E.D. See Electrical Drawings CAB. Cabinet CEM. Cement Hollow Core SHWR Shower Ceramic C.I. Cast Iron Hardware C.L. S.L.D. Centerline See Landscape Drawings H.M. CLG. Hollow Metal S.M.D. See Mechanical Drawings CLKG. Caulking HNDRL S.P.D. Handrail See Plumbing Drawings CLOS. Closet HORIZ. SPEC. Horizontal Specifications CLR. Clear H.P. High Point CNTR. Counter Stainless Steel HRDWD. COL. Hardwood S.S.D. Column See Structural Drawings CONC. Concrete S.SK. Service Sink I.D. Inside Diameter, Dimension CONN. Connection ST. STL. Stainless Steel INSUL. CONSTR Insulation Construction INT. Interior CONT. Continuous CORR. Corridor CRPT. STOR. Carpet Storage CTR. Joint Center STRL. Structural CTSK. Countersunk SUSP. Suspended SYM. Symmetrical Laminate DBL. DEPT. Lavatory Department Towel Bar Low Point DET. T.C. Top of Curb Telephone DIM. T&G Dimension Tongue & Groove DISP. THK. Dispenser MECH. Mechanical DN. T.O. Top of Membrane D.O. Door Opening **Toilet Paper** Mezzanine DR. TRD. Manufacturer DS. Television D.S.P. Minimum Dry Standpipe T.W. Top of Wall DWG. Drawing TYP. Typical Miscellaneous DWR. MOD. BIT Modified Bitumer UNF. Unfinished Mounted U.O.N. Unless Otherwise Noted (E), EXST Existing VERT. Vertical E.J. VEST. Expansion Joint Vestibule Not in Contract N.I.C. ELEC. Electrical NOM. Nominal EMER. Emergency Water Closet ENCL. NO. Number Enclosure N.T.S. Not to Scale E.P. Electrical Panelboard Water Heater

W/O

WDW.

W.P.

W.W.F.

Without

Window

Waterproofing

Welded Wire Fabric

PROJECT DATA

ZONING CODE INFORMATION

ZONING CODE: ASSESSOR'S PARCEL NUMBER: 1114 LOT NUMBER: HEIGHT & BULK DISTRICT: 30-X PARCEL AREA: 4,624 sf DWELLING UNIT DENSITY: 2 per Lot

BUILDING CODE INFORMATION

R-3 OCCUPANCY: V-B **CONSTRUCTION TYPE: BUILDING HEIGHT:** EXISTING: PROPOSED: 30'-0" NUMBER OF STORIES 3 STORIES EXISTING: 3 STORIES PROPOSED: UNIT AREA: EXISTING MAIN UNIT: GROUND FLOOR: 878 sf 1ST FLOOR: 1,600 sf 2ND FLOOR: 1,448 sf TOTAL AREA: 3,926 sf PROPOSED MAIN UNIT 1,295 sf GROUND FLOOR: 1ST FLOOR: 1,768 sf 2ND FLOOR: 1,611 sf 4,674 sf EXISTING SECOND UNIT: PROPOSED SECOND UNIT: 532 sf TOTAL ADDITIONAL AREA: 662 sf

FIRE PROTECTION INFORMATION

REAR YARD OPEN SPACE:

EXISTING:

PROPOSED:

STRUCTURAL FRAME: **BEARING WALLS:** EXTERIOR: INTERIOR:

NON-BEARING EXTERIOR: 0 HR (X > 30') @ EAST & WEST PROPERTY LINES 1 HR (X < 5') @ NORTH & SOUTH PROPERTY LINES

1,961 sf

1,793 sf

INTERIOR: FLOOR CONSTRUCTION: ROOF CONSTRUCTION:

PREVAILING CODES

2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA MECHANICAL CODE 2010 CALIFORNIA PLUMBING CODE 2010 CALIFORNIA ELECTRICAL CODE TITLE 19 CALIFORNIA CODE OF REGULATIONS TITLE 24 CALIFORNIA CODE OF REGULATIONS AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

PROJECT DESCRIPTION

Scope of work shall include the renovation and addition to the rear side (east side) of a 3-story building consisting of 2 residential units. The renovation will add one additional bedroom & one additional bathroom to the main unit. The studio unit will be re-formed into a more usable layout but will retain the same rough square footage

The extent of the demolition shall be as indicated in these drawings and will include the removal of the raised foundation slab in the existing ground floor Storage Closet, the concrete patio and retaining wall, all of the windows in the rear facade, partial exterior and interior walls. All exterior renovations shall be of a quality and aesthetic consistent with the front facade of the building. All interior renovations shall be of a quality consistent to the recent kitchen & dining room renovation. The existing bathroom near the existing Master Bedroom will be demolished and replaced with a new on-suite Master Bathroom. A second Guest Bathroom will be added along with the new Bedroom #4.

Addition & Renovation of:

36 Barcelona Ave.

San Francisco CA 94115 July 12, 2013

DRAWING INDEX

ARCHITECTURE STRUCTURAL COVER SHEET SITE PLAN & PROPOSED ROOF PLAN NEIGHBORHOOD CHARACTER & EXISTING **CONDITIONS IMAGES GROUND FLOOR EXISTING & PROPOSED** 2ND FLOOR EXISTING & PROPOSED PLAN 3RD FLOOR EXISTING & PROPOSED PLAN **EXISTING & PROPOSED EXTERIOR**

San Francisco, CA 94115 415.613.3145

GLS Landscape | Architecture 2677 Mission Street, Suite 200

ELEVATIONS

SECTIONS **EXISTING & PROPOSED EXTERIOR**

EXISTING & PROPOSED BUILDING

PROJECT DIRECTORY

Richard Herrick & Colette Zee

San Francisco, CA 94110-3135

Gary Strang

415.285.3614

STRUCTURAL ENGINEER

EQ.

EQPT.

EXPO.

EXP.

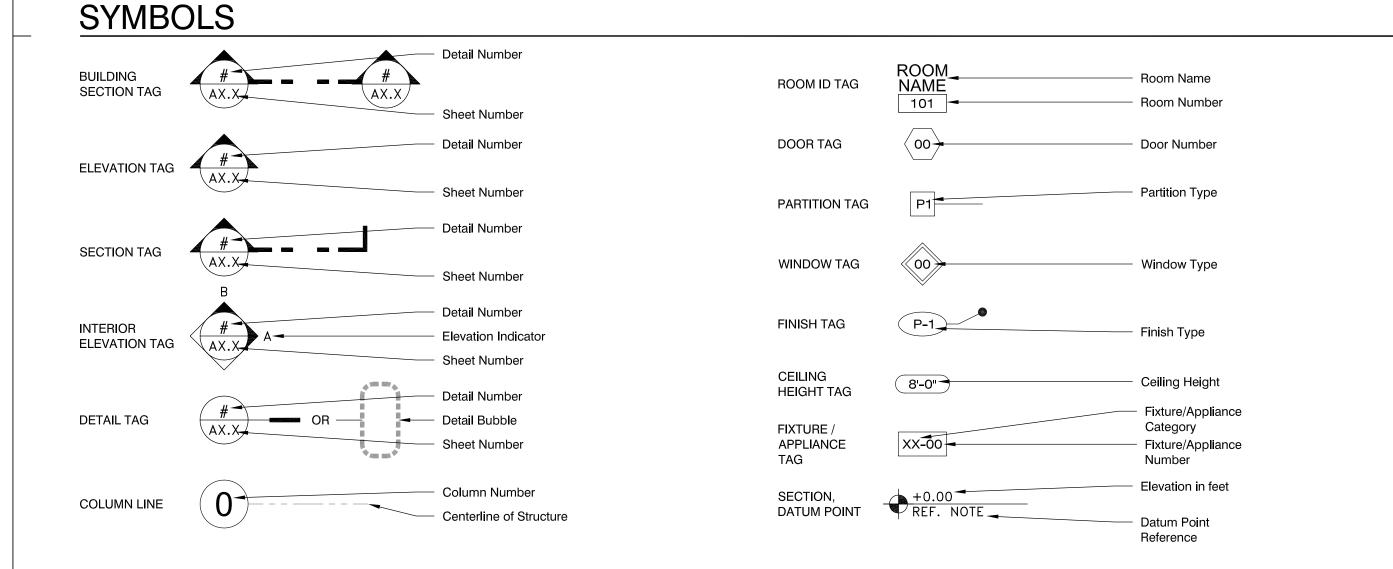
EXT.

Equipment

Expansion

Exposed

Exterior



Overall

On Center

Opening Opposite

Outside Diameter, Dimension

O.C.

O.D.

OFF.

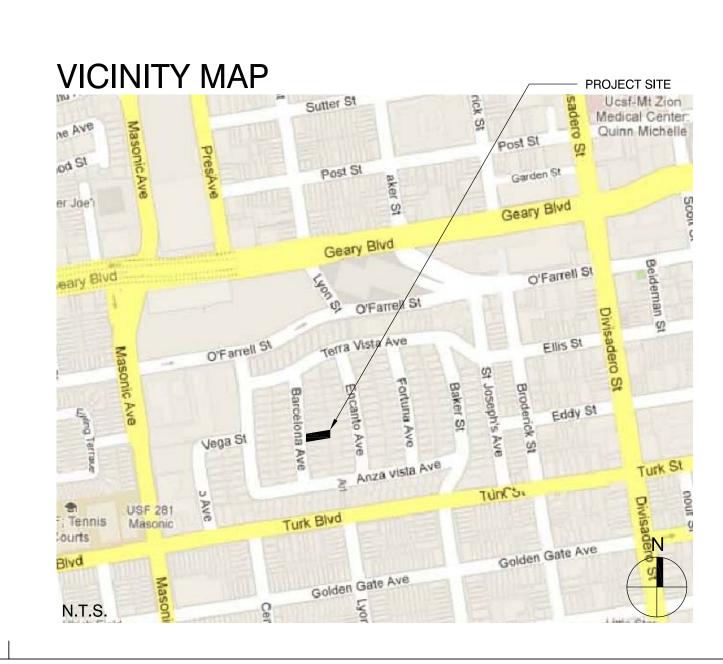
OPNG.

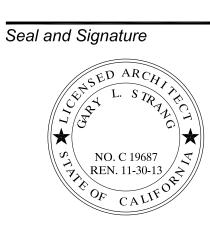
GENERAL NOTES

- 1. All work to be performed according to the Gramercy Towers Condominium Association's "Architectural Modifications, Alterations & Improvements Rules & Regulations" manual.
- 2. Contractor to verify conditions and dimensions at the site. Bring any inconsistencies to the attention of the Architect before proceeding with work.
- 3. Do not scale drawings. Written dimensions shall govern. Details shall govern over plans, sections and elevations. Large scale drawings shall govern over small scale drawings. Contractor shall notify Architect of any conflicts in writing prior to commencement of work.
- 4. Dimensioning System: General: Dimensions are to Face of Concrete & Face of Wall, U.O.N. Grid Lines: Dimensions are to center of structural column or beam on grid line Other: Dimensions noted as "Clear", "Minimum", etc. indicate finish dimensions, U.O.N.
- 5. Location of all electrical fixtures and outlets to be as indicated on drawings and to be verified with the Architect in the field.
- 6. Location of all mechanical equipment, ducts, grilles, registers, flues and vents to be as indicated on drawings and to be verified with the Architect in the field.
- 7. Install all materials, equipment and fixtures in conformance with the requirements and recommendations of the manufacturer and the requirements of applicable codes.
- 8. Provide all necessary blocking including backing and framing for light fixtures, electrical units, plumbing fixtures, heating equipment and all other items requiring support.
- Architect immediately of any discrepancies between actual field conditions and contract documents. 10. Insulate walls, ceilings and floors in accordance with California Energy Code and Title 24 energy requirements.

9. Contractor is responsible for locating and protecting all existing on-site utilities during construction. Notify

- 11. "Typical" or "Typ." means identical for all similar conditions unless otherwise noted.
- 12. "Similar" or "Sim." means comparable conditions to condition noted. Verify dimensions and orientation on plan.





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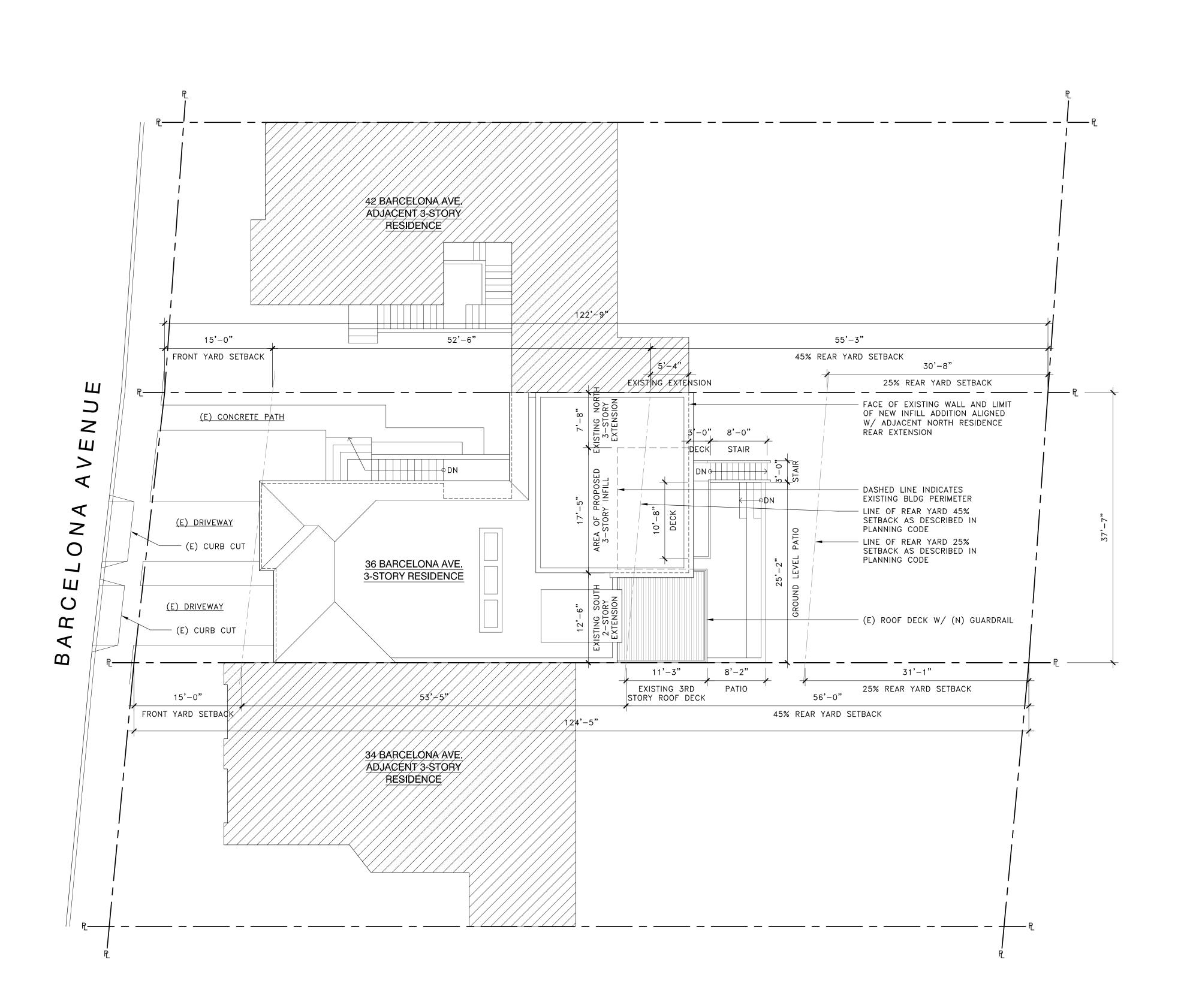
Architect

Consultant

Name of Deadline	Date
PRELIMINARY PRICING	03.2
CODE REVIEW	04.0
VARIANCE APPLICATION	07.1

COVER SHEET

Drawn by:	C	
Checked by:	G	
Scale:	N	
Sheet		



36 Barcelona Avenue Addition & Renovatior

Street #200, San Francisco, CA 94110
4 F 415/285 3624 E gls@glsarch.com

Consultant

Own

Seal and Signature

SED ARCHITECTURE

NO. C 19687

REN. 11-30-13

PARCHITECTURE

NO. C 19687

REN. 11-30-13

Name of Deadline	Date
PRELIMINARY PRICING	03.2
CODE REVIEW	04.0
VARIANCE APPLICATION	07.1

SITE PLAN &
PROPOSED ROOF
PLAN

Drawn by: Checked by: Scale:

eet 🔥 🔼

A0.1

CJM

GLS

1/8"=1'-0"

Architect

Consultant



Issue	
Name of Deadline	Date
PRELIMINARY PRICING	03.22.201
CODE REVIEW	04.05.201
VARIANCE APPLICATION	07.12.201

NEIGHBORHOOD

CJM

CHARACTER & EXISTING CONDITIONS IMAGES

Drawn by: Checked by:

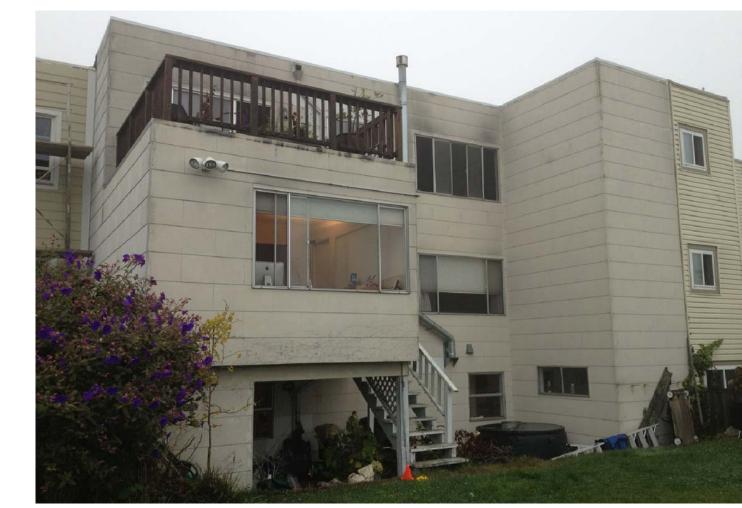
NEIGHBORHOOD CHARACTER: AERIAL VIEW OF OPEN-SPACE

AREA OF 3-STORY INFILL ADDITION SHOWN HATCHED —

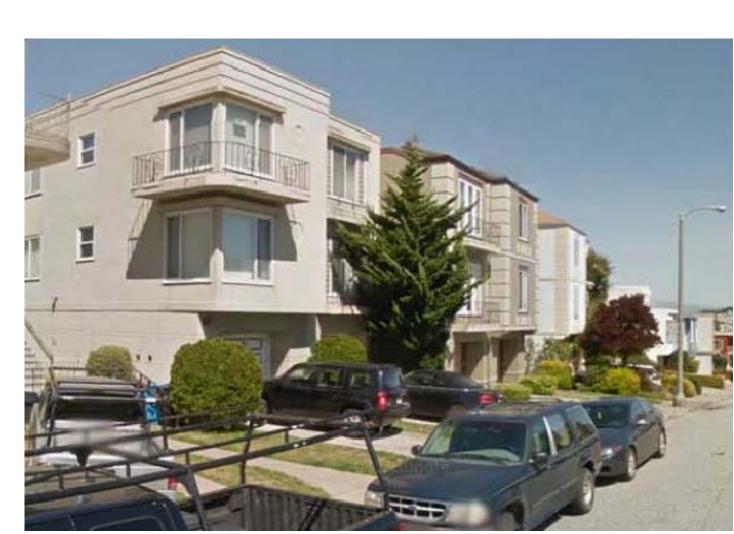
36 BARCELONA AVENUE (3-STORIES)

ANZAVISTA AVENUE

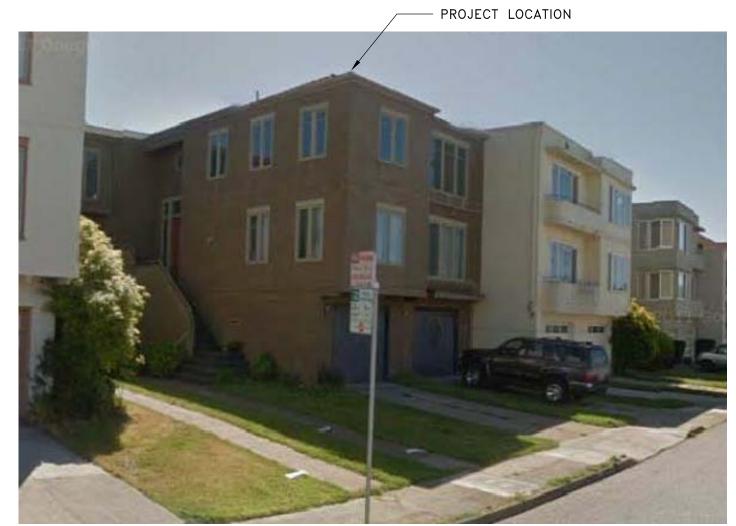
EXISTING BUILDING FOOTPRINT



EXISTING CONDITIONS: REAR FACADE



NEIGHBORHOOD CHARACTER: VIEW TO NORTH-WEST



NEIGHBORHOOD CHARACTER: VIEW TO SOUTH-EAST



EXISTING CONDITIONS: REAR FACADE





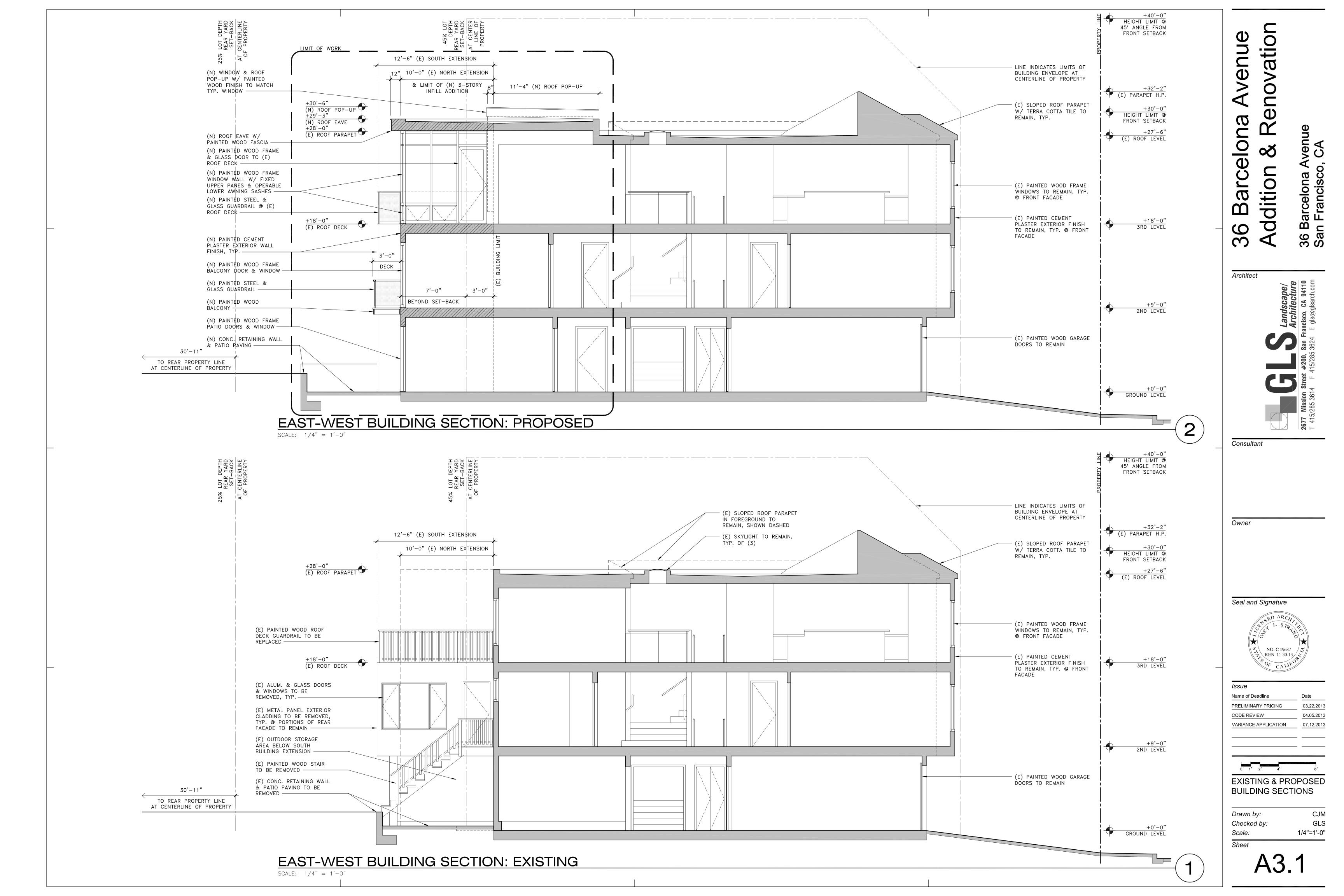
Architect

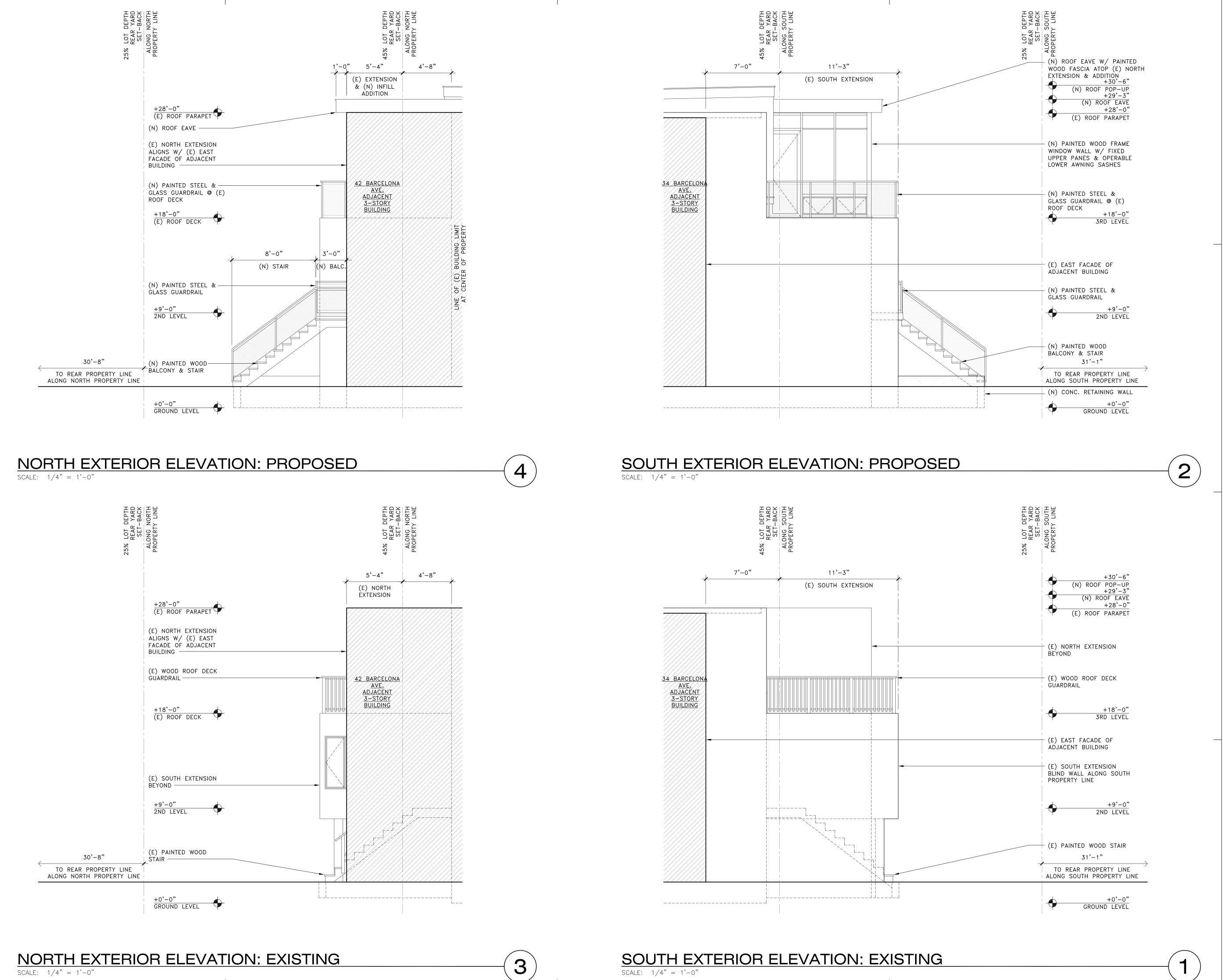
Seal and Signature NO. C 19687 REN. 11-30-13

Issue	
Name of Deadline	Date
PRELIMINARY PRICING	03.22.2013
CODE REVIEW	04.05.2013
VARIANCE APPLICATION	07.12.2013

EXTERIOR ELEVATIONS

CJM Drawn by: GLS Checked by: 1/4"=1'-0" Scale:





36 Barcelona Avenue Addition & Renovation

Addition & Ke 36 Barcelona Avenue San Francisco, CA

2677 Mission Street #200, San Francisco, CA T 415/285 3614 F 415/285 3624 E gls@glsar

Consultant

Architect

Ownor

Seal and Signature

SED ARCHI

L. STRANCE

NO. C 19687

REN. 11-30-13

POF CALIFORNIA

Issue
Name of Deadline
PRELIMINARY PRICING
03.22.2013

CODE REVIEW
04.05.2013

VARIANCE APPLICATION
07.12.2013

EXISTING & PROPOSED EXTERIOR ELEVATIONS

Drawn by: Checked by: Scale:

Δ3 2

CJM

GLS

1/4"=1'-0"