



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 23, 2013**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	291 Staples Avenue	Case No.:	2013.0896V
Cross Street(s):	Between Edna & Foerster	Building Permit:	N/A
Block /Lot No.:	3157/030	Applicant/Agent:	Steve Nelson
Zoning District(s):	RH-1/40-X	Telephone:	(415) 288-8150
Area Plan:	N/A	E-Mail:	steve@mccalldesign.com

PROJECT DESCRIPTION

The proposal includes the demolition and reconstruction of a room, at the rear of the existing one-story, single-family dwelling.

The existing rear room is along the east side lot line and contains 272 square feet. The proposed rear room would be along the west side lot line and contains 282 square feet.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a minimum rear yard depth of 25 feet. Although the demolition and reconstruction of the rear room would not change the current building depth, the proposed rear room would encroach 8 feet 6 inches into the required rear yard to within 12 feet of the rear property line.

PER SECTION 151 OF THE PLANNING CODE, the subject property is required to maintain one off-street parking space. The existing rear structure was built to provide one off-street parking space for the subject property; however, it was converted (at an unknown time) without benefit of a building permit to a workshop. The proposal would not restore the off-street parking; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: thomas.wang@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0896V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

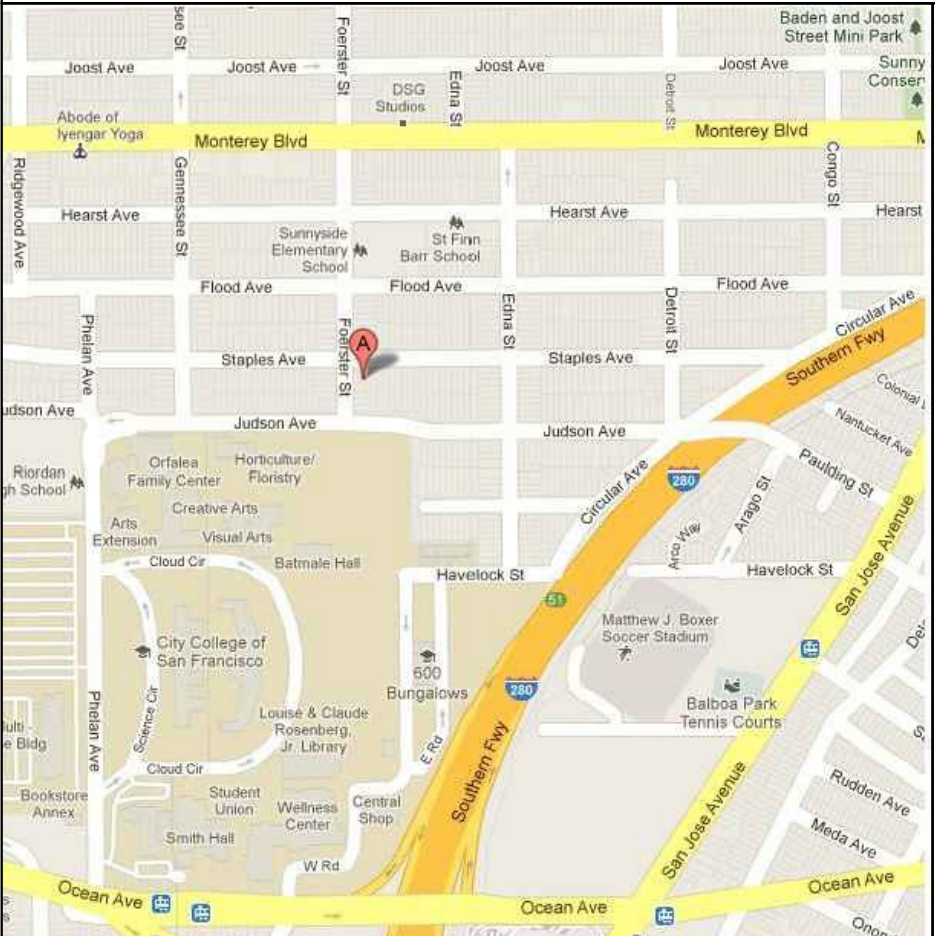
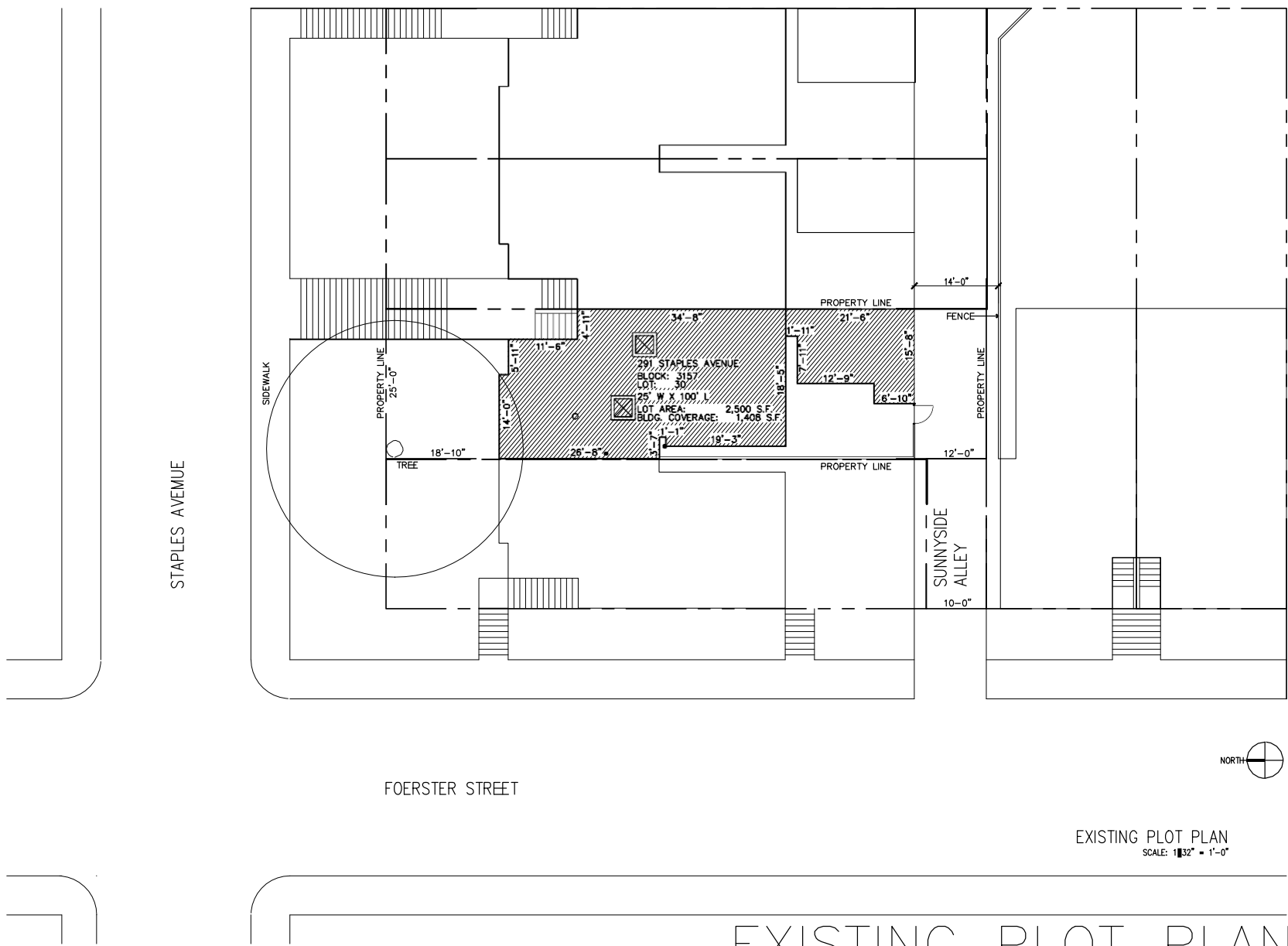
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

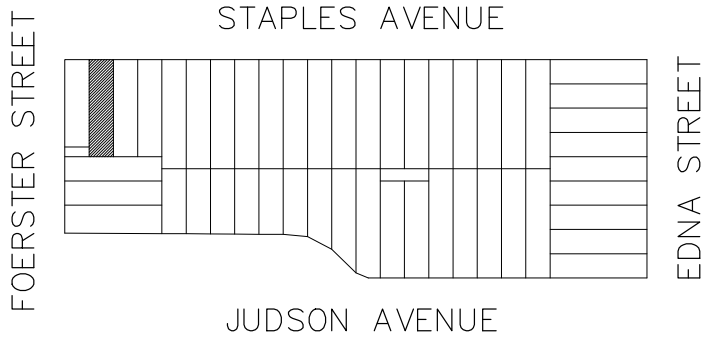
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



LOCATION MAP



BLOCK PLAN

PROJECT DATA	
ADDRESS	291 STAPLES AVENUE SAN FRANCISCO, CA 94112
BLOCK	3157
LOT	30
STORIES	1
ZONING	RH1
CONSTRUCTION TYPE	VB-1
OCCUPANCY TYPE	R-3
USE	SINGLE FAMILY RESIDENTIAL
PROPOSED NEW BUILDING AREA	1,408 S.F.
EXISTING BUILDING AREA	1,340 S.F.

APPLICABLE CODES	
2010	CALIFORNIA BUILDING CODE
2010	SAN FRANCISCO BUILDING CODE
2010	CALIFORNIA MECHANICAL CODE
2010	CALIFORNIA PLUMBING CODE
2010	CALIFORNIA ELECTRICAL CODE
2010	CALIFORNIA FIRE CODE
2010	CALIFORNIA ENERGY CODE

SCOPE OF WORK	
1.	REMOVE (E) REAR BUILDING EXTENSION AND REBUILD (N) REAR BUILDING EXTENSION ON WEST SIDE OF LOT.
2.	REPLACE (E) CEMENT PLASTER ON FRONT FACADE WITH (N) LAP SIDING.
3.	REPLACE (E) WINDOWS WITH (N) WINDOWS.
4.	REPLACE PORTIONS OF (E) FOUNDATION WITH (N) CONCRETE FOUNDATION.
5.	RECONFIGURE PORTIONS OF INTERIOR WALL PARTITIONS.

DRAWING INDEX	
A0.0	TITLE SHEET
A0.1.1	EXISTING SITE PLAN
A0.1.2	PROPOSED SITE PLAN
A0.2	SITE ELEVATIONS
A0.3	EXISTING FLOOR PLAN
A0.4	EXISTING EXTERIOR ELEVATIONS
A2.0	FLOOR PLAN
A3.0	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS
A5.2	INTERIOR ELEVATIONS
-	-
-	-
-	-
-	-
-	-
-	-

Steven Craig Nelson
Architect
550 Kettner Street, Suite 710
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NELSON
RESIDENCE

291 STAPLES AVENUE
SAN FRANCISCO, CA
94112

DATE: 09.27.13
ISSUE: ISSUE FOR VARIANCE

SEAL SIGNATURE

DRAWING DESCRIPTION
TITLE SHEET

SCALE
VARIES

A0.0

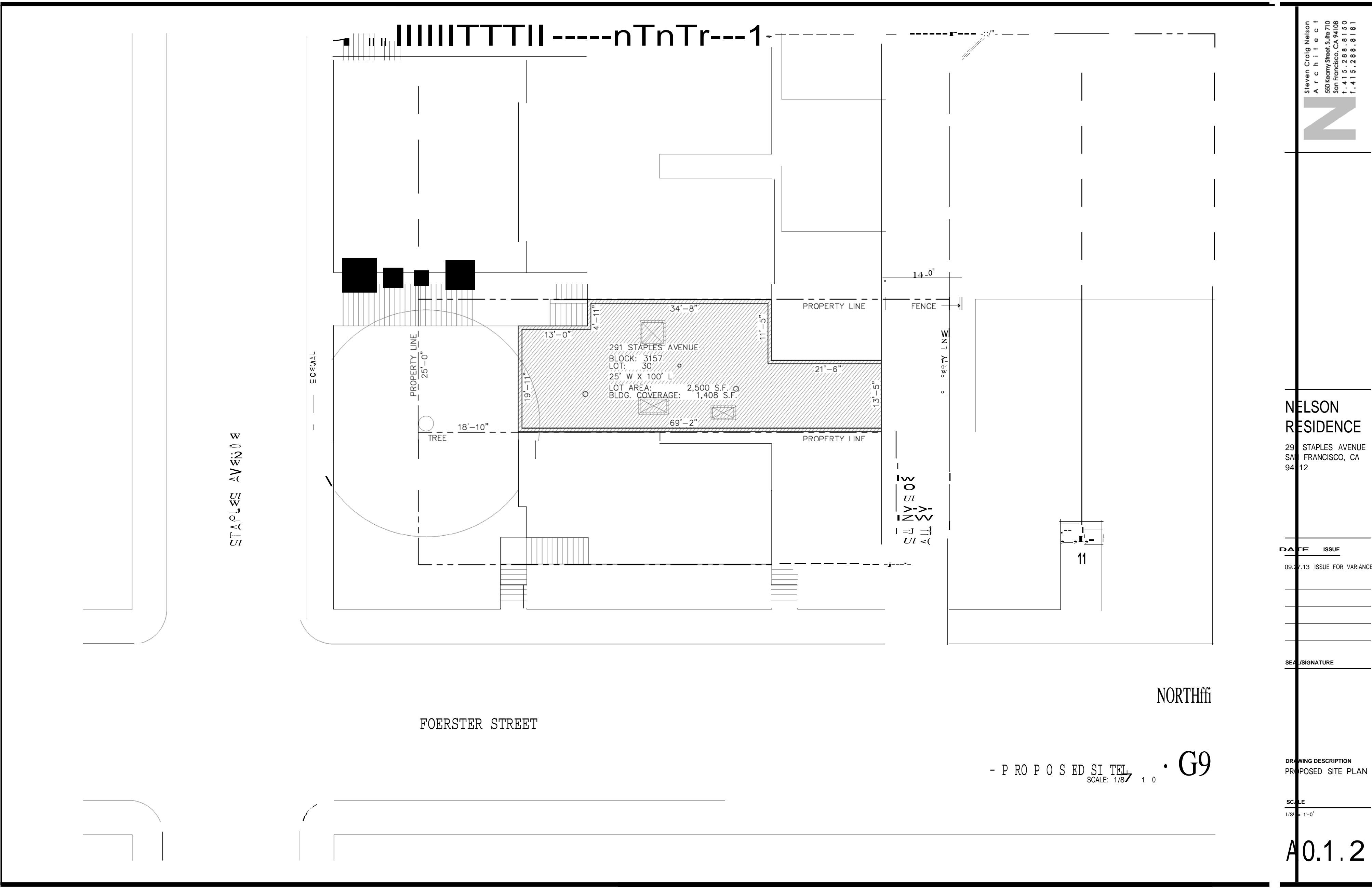
291 STAPLES AVENUE
SAN FRANCISCO, CA
94112

SEAL/SIGNATURE

SCALE

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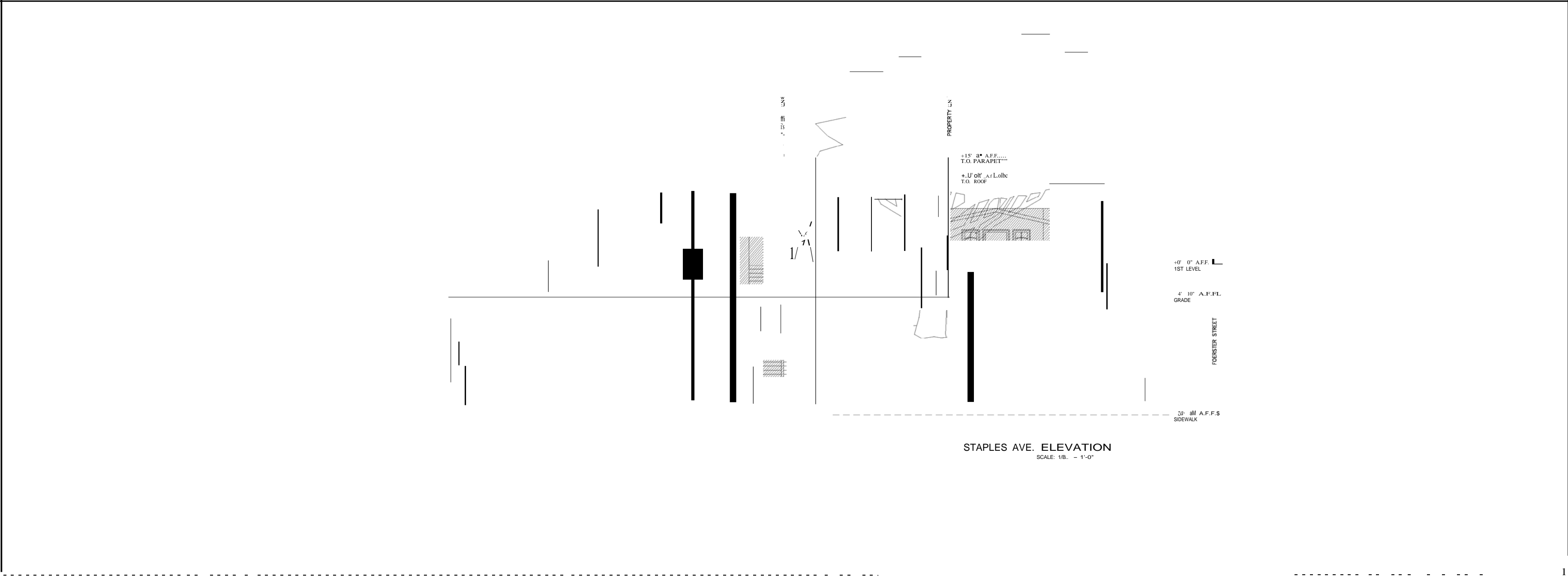
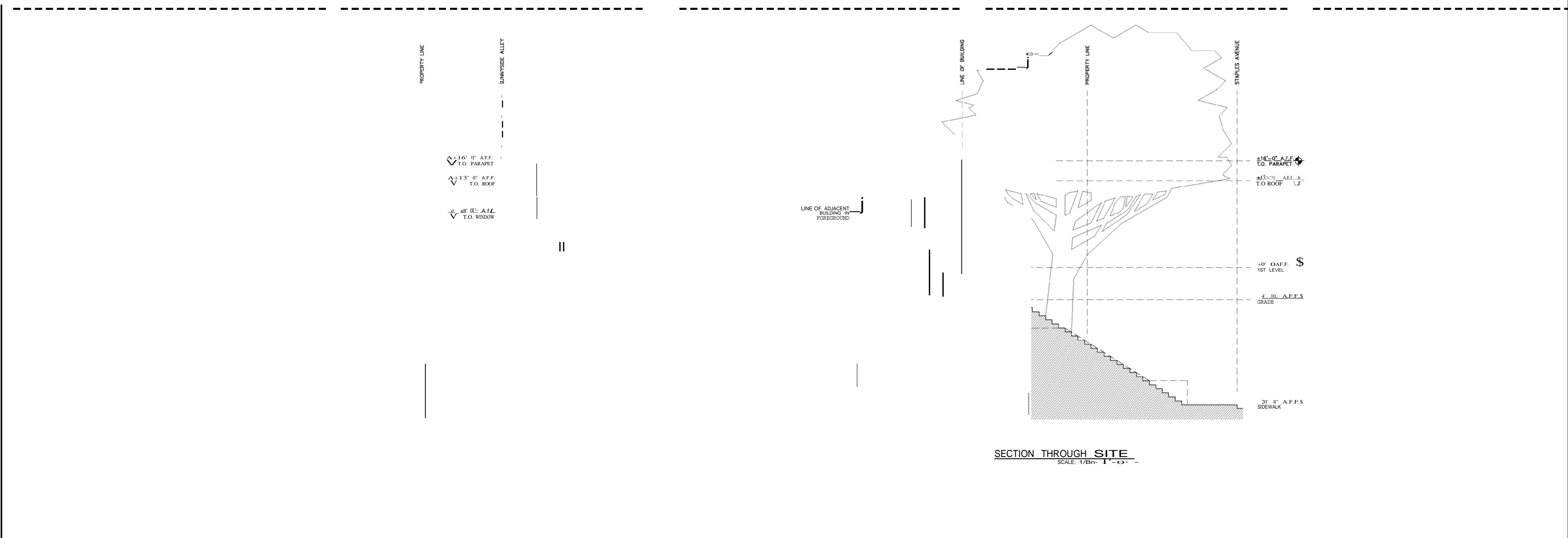
DATE	ISSUE
09.27.13	ISSUE FOR VARIANCE

SEALED/SIGNATURE

DRAWING DESCRIPTION
PROPOSED SITE PLAN

SCALE
1/8" = 1'-0"

A0.1.2



Steven Craig Nelson
A r c h i t e c t
550 Kearny Street, Suite 710
San Francisco, CA 94108
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f . 4 1 5 . 2 8 8 . 8 1 8 1

N

NELSON
RESIDENCE

291 STAPLES AVENUE
SAN FRANCISCO, CA
94112

DATE

ISSUE

09.27.13

ISSUE FOR VARIANCE

SEAL/SIGNATURE

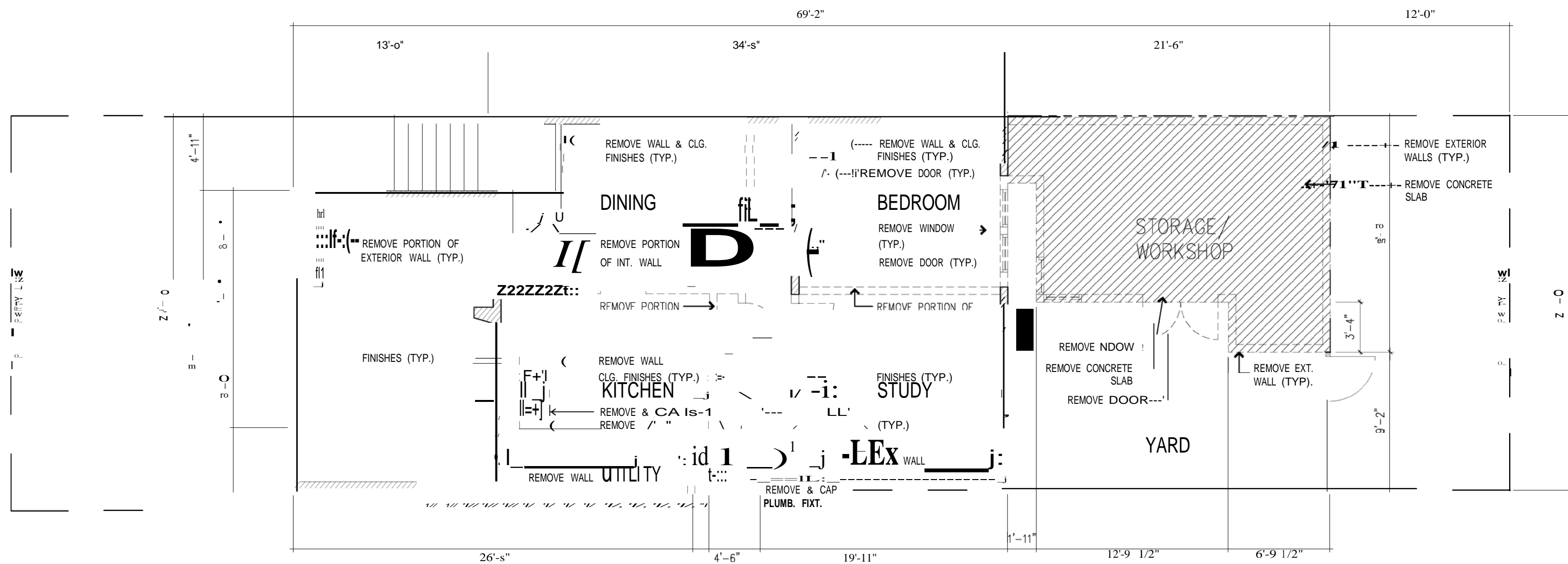
DRAWING DESCRIPTION

SITE ELEVATIONS

SCALE

1/8" = 1'-0"

A0.2



NORIHffi

FLOOR AREA:
1,340 S.F.

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94112

DATE ISSUE

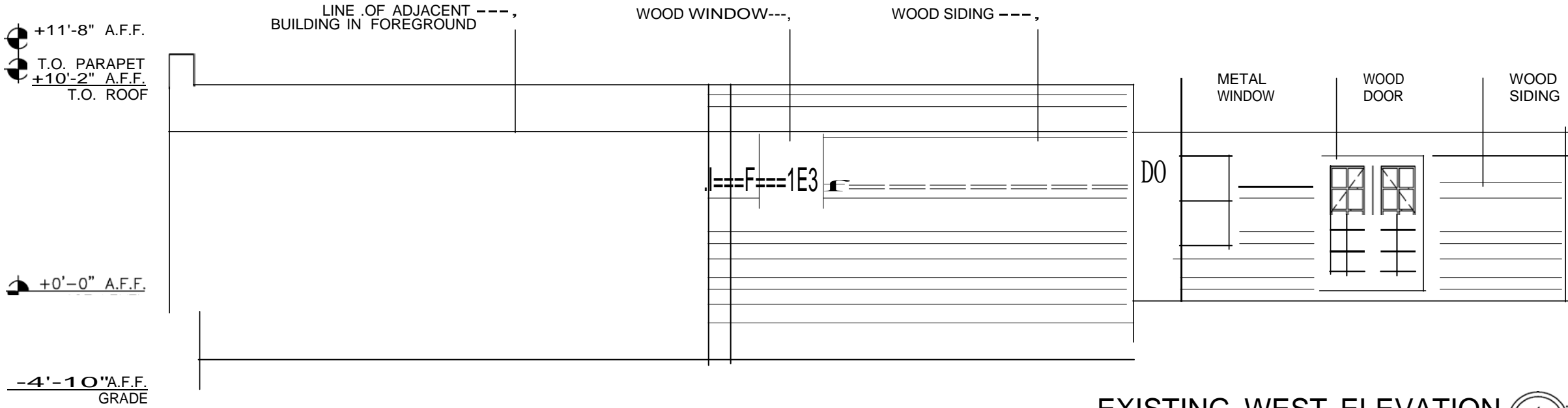
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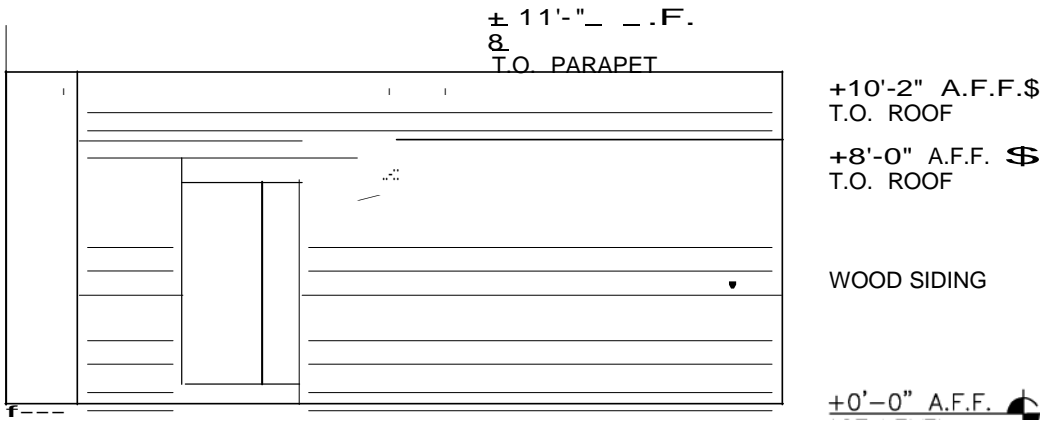
DRAWING DESCRIPTION
EXIST. FLOOR PLAN

SCALE
1/4" = 1'-0"

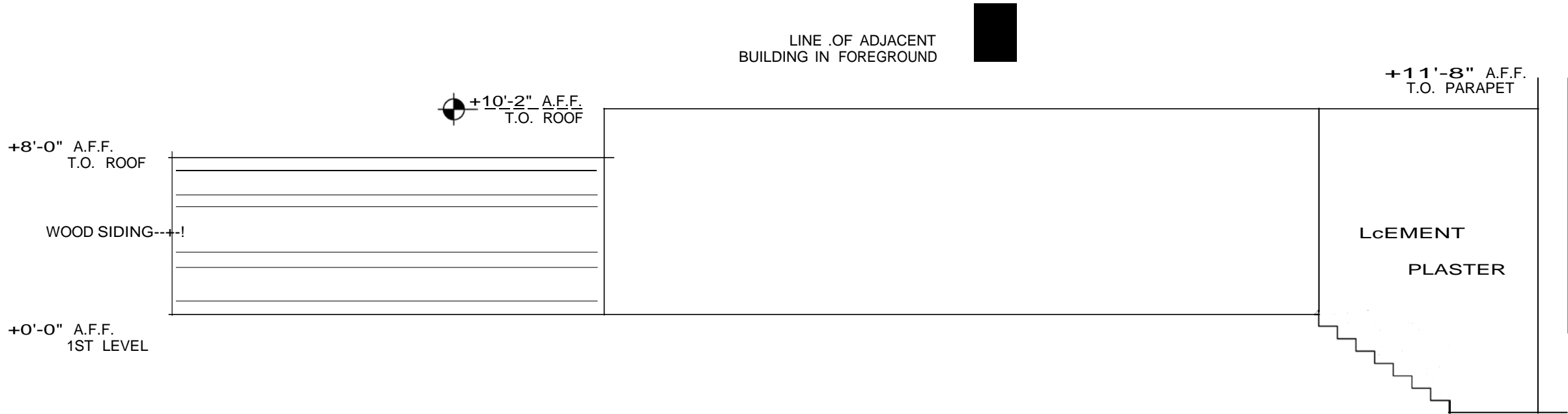
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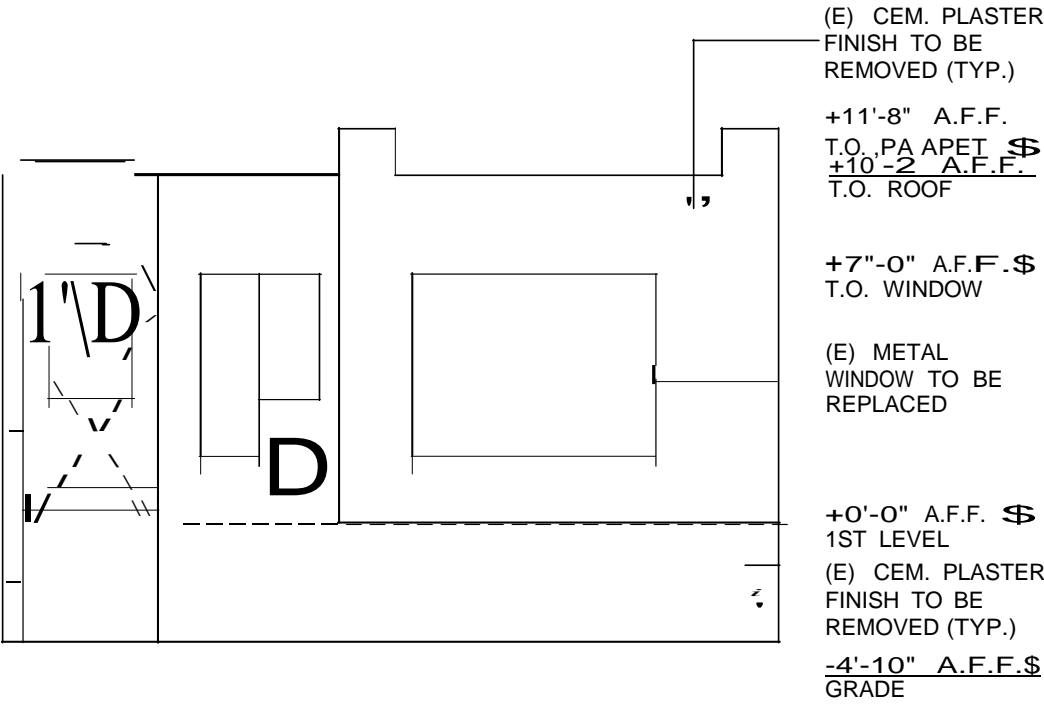
EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



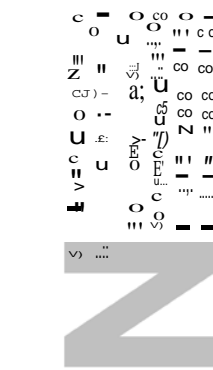
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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DATE ISSUE

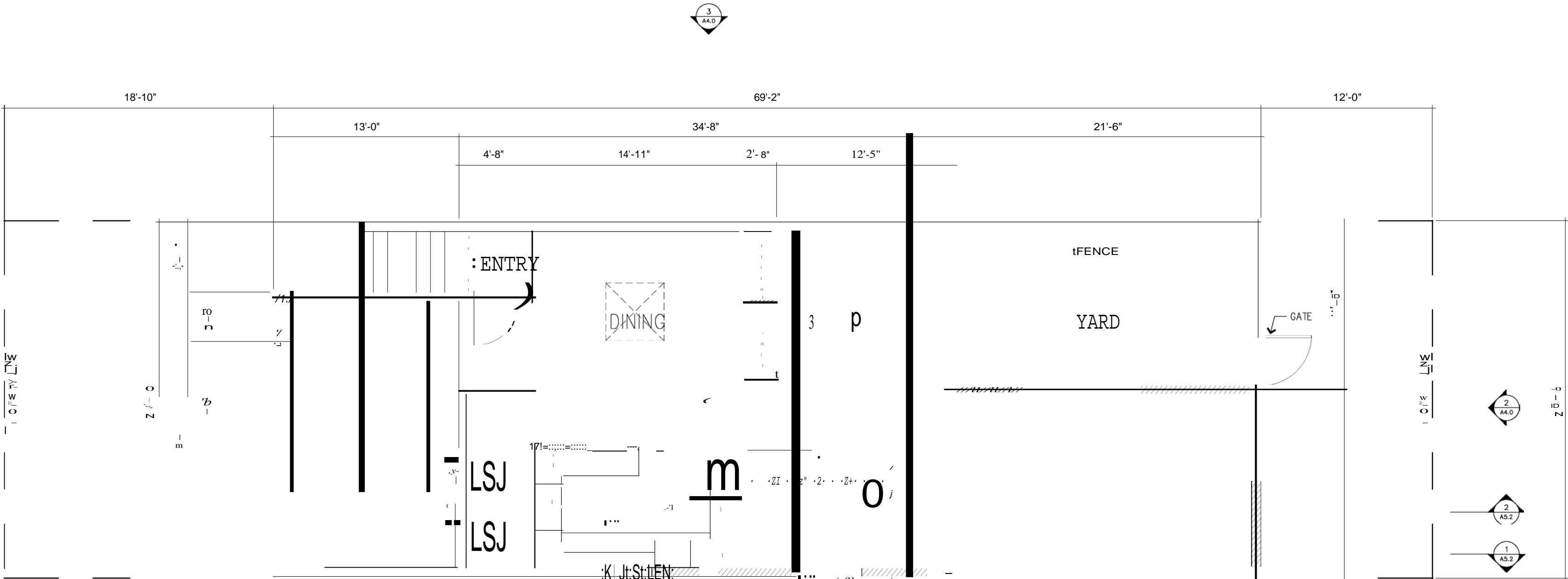
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DRAWING DESCRIPTION
EXIST. ELEVATIONS

SCALE
1/4" = 1'-0"

A0.4

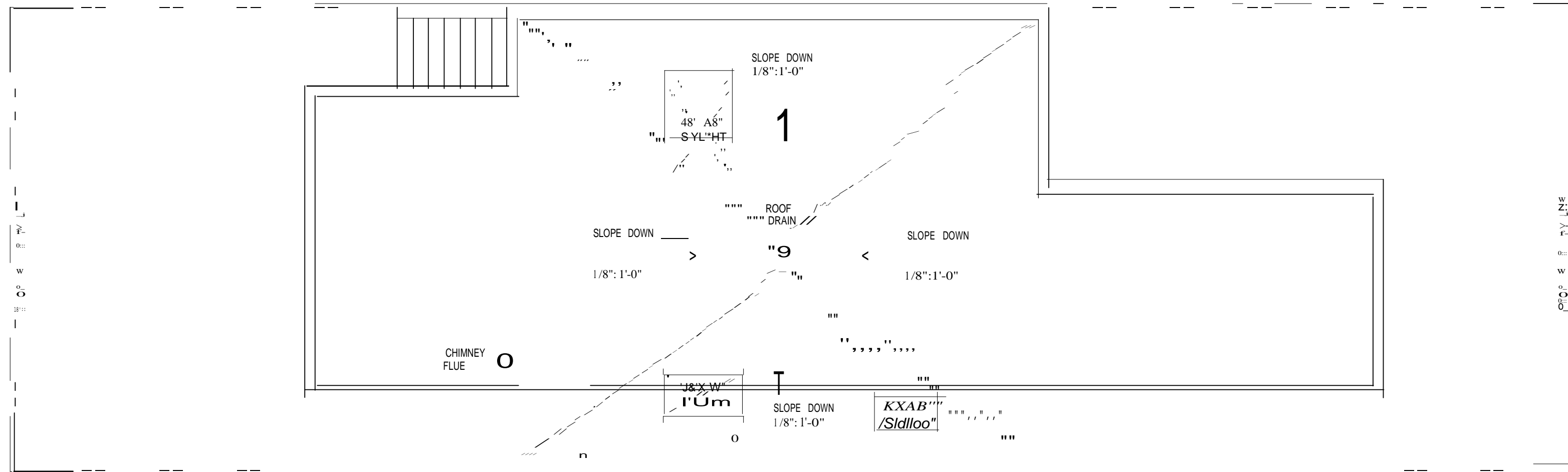


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DRAWING DESCRIPTION
GROUND FLOOR PLAN

SCALE
1/4" = 1'-0"

A2.0



ROOF PLAN
SCALE: 1/4" = 1'-0"



NORTH

FLOOR AREA:
1,400 S.F.

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94112

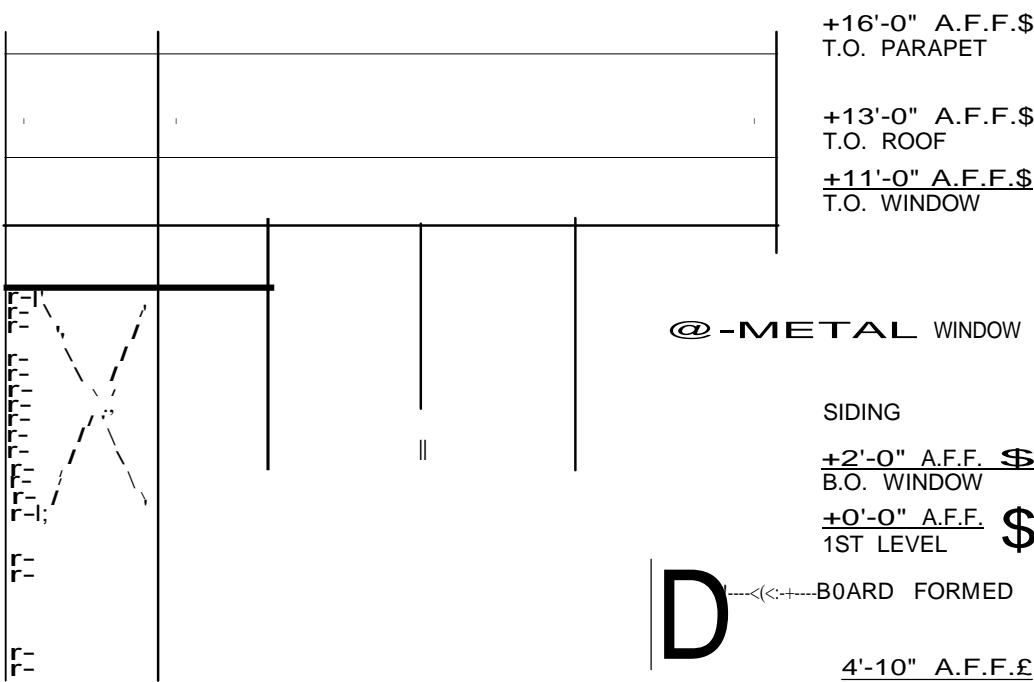
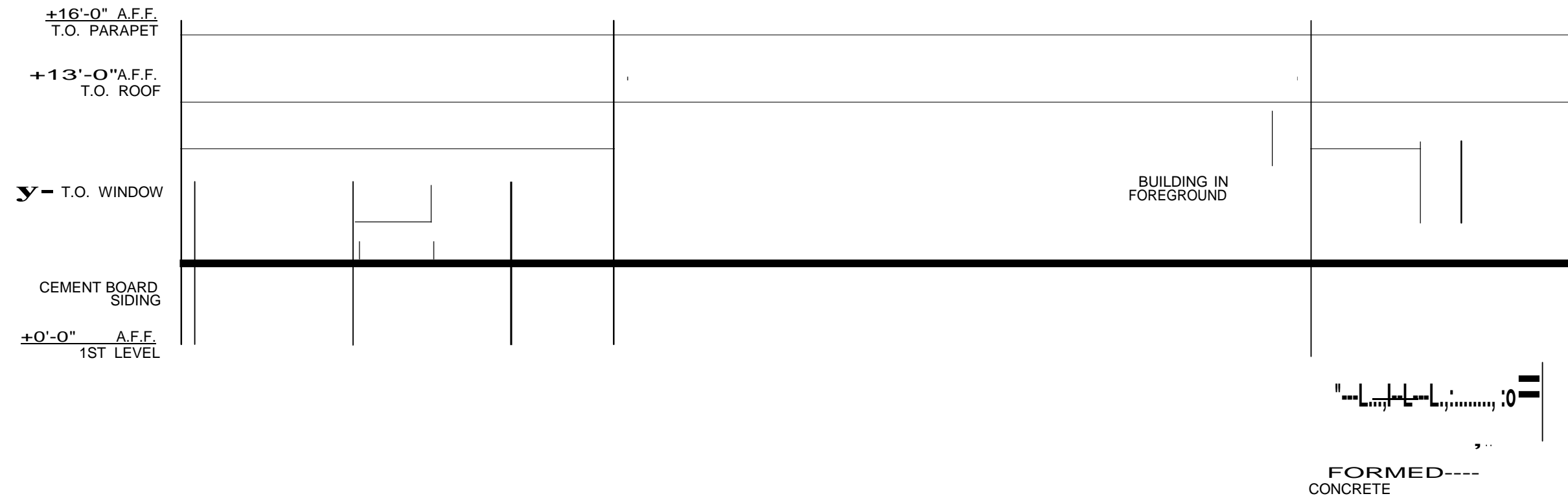
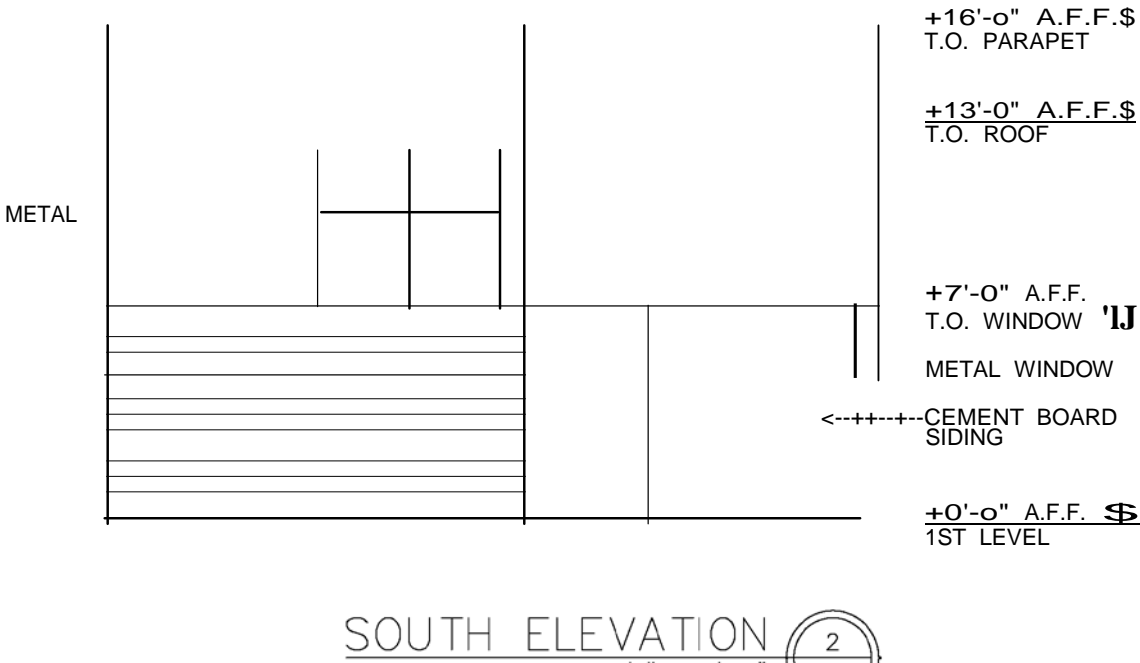
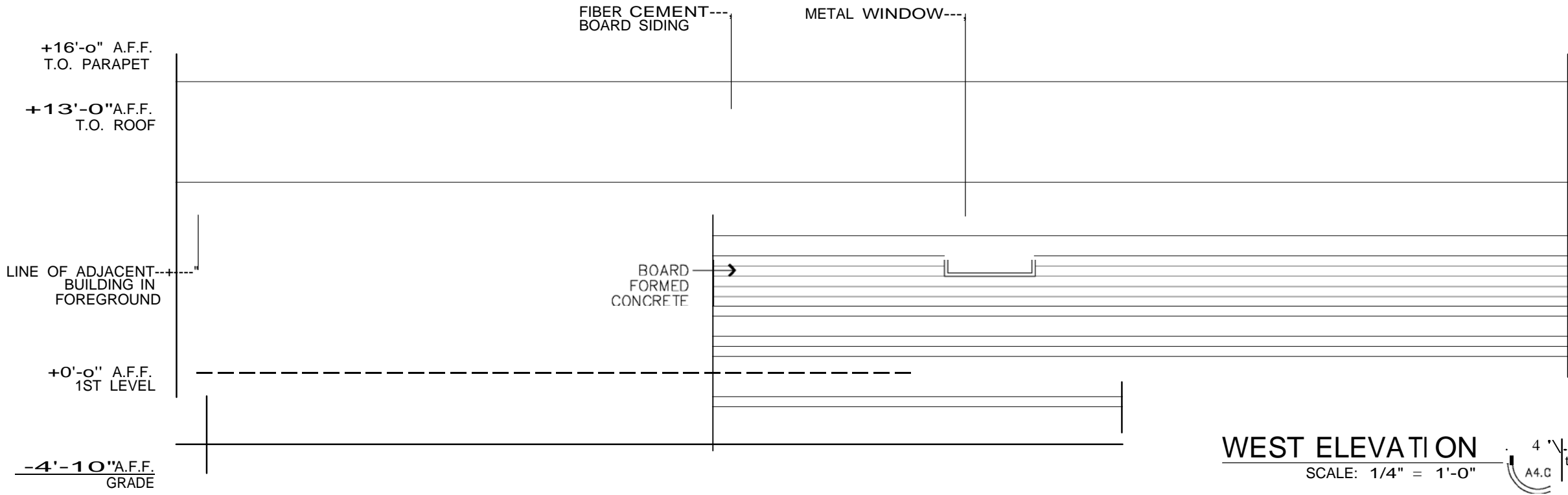
DATE 09.27.13 ISSUE FOR VARIANCE

SEAL/SIGNATURE

DRAWING DESCRIPTION
ROOF PLAN

SCALE
1/4" = 1'-0"

A3.0



+16'-0" A.F.F.
T.O. PARAPET

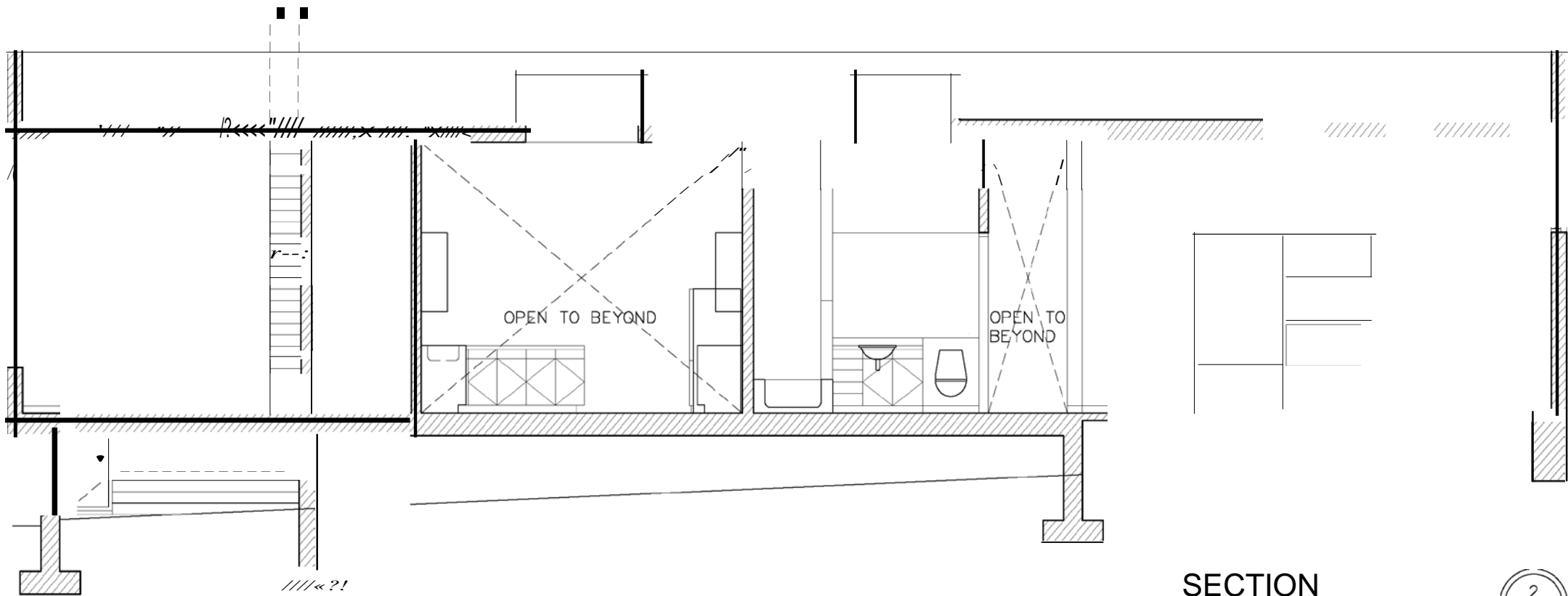
+13'-0" A.F.F.
T.O. ROOF

+111'-0" A.F.F.
T.O. WINDOW

+2'-0" A.F.F.
B.O. WINDOW

+0'-0" A.F.F.
GROUND LEVEL

-4'-10" A.F.F.
GRADE LEVEL



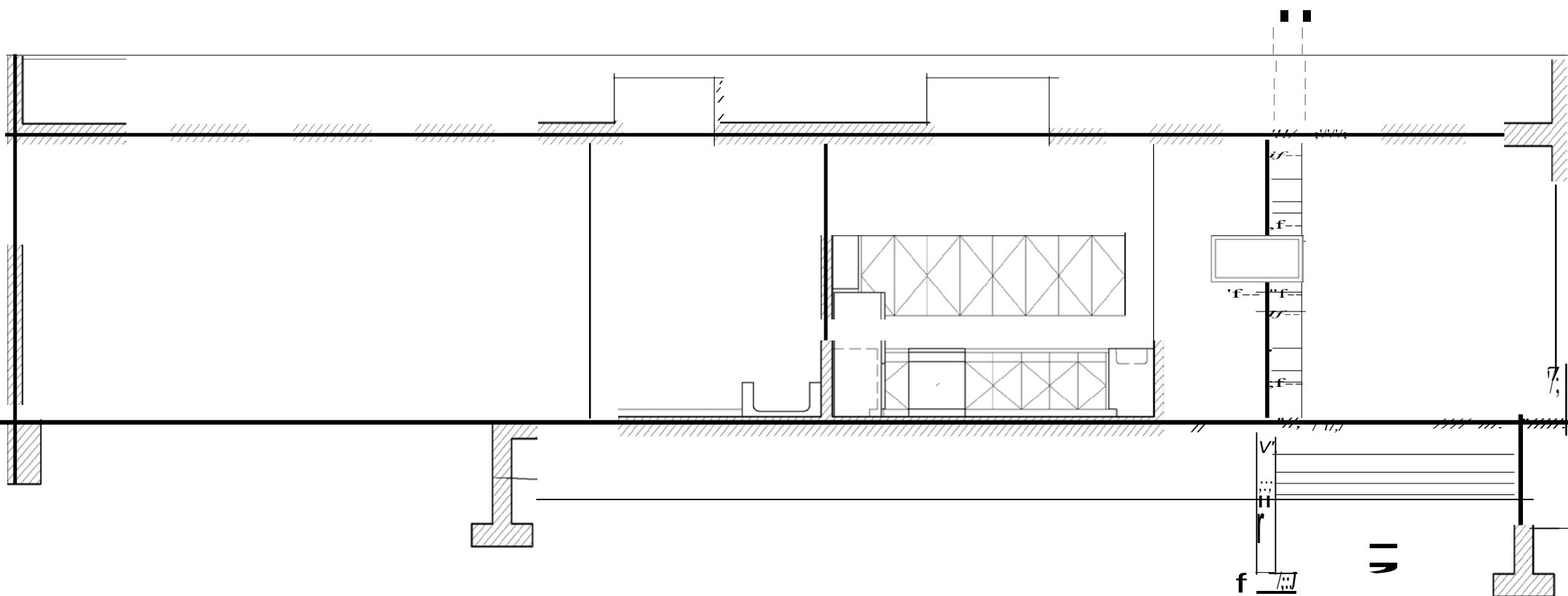
SECTION
SCALE: 1/4" = 1'-0"

+16'-0" A.F.F.
.O. OF PARAPET

+13'-0" A.F.F.
T.O. ROOF

+8'-0" A.F.F.
B.O. OPENING

+0'-0" A.F.F.
GROUND LEVEL



SECTION
SCALE: 1/4" = 1'-0"

+ 16'-0" A.F.F.
T.O. PARAPET

+ 13'-0" A.F.F.
T.O. ROOF

+ 8'-0" A.F.F.
B.O. OPENING

+0'-0" A.F.F.
GROUND LEVEL

+16'-0" A.F.F.
T.O. PARAPET

+13'-0" A.F.F.
T.O. ROOF

+10'-0" A.F.F.
T.O. WINDOW

+2'-0" A.F.F.
B.O. WINDOW

+0'-0" A.F.F.
GROUND LEVEL

-4'-10" A.F.F.
GRADE LEVEL

NELSON RESIDENCE

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SAN FRANCISCO, CA
94112

DATE	ISSUE
09.27.13	ISSUE FOR VARIANCE

SEAL/SIGNATURE

DRAWING DESCRIPTION
INT. ELEVATIONS

SCALE
1/4" = 1'-0"

A5.2