



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 23, 2014**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Rear Yard Modification/Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1370 Pacific Avenue Cross Street(s): Hyde Street Block /Lot No.: 0155/021 Zoning District(s): Pacific Avenue NCD/40-X Area Plan: None	Case No.: 2013.0884V Building Permit: N/A Applicant: Riyad Ghannam Telephone: (415) 699-3640 E-Mail: riyad@rg-architecture.com

PROJECT DESCRIPTION

The proposal is to demolish the existing one-story commercial building and construct a new four-story building reaching a height of 40 feet, containing one dwelling unit and approximately 700 square feet of ground-floor retail space.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15 feet at all levels of the building. The first story of the building would encroach approximately 15 feet into the required rear yard, and the second story would encroach approximately five feet in the required rear yard; therefore, the project requires a modification of the rear yard requirement (Section 134) of the Planning Code.

PER SECTION 145.1 OF THE PLANNING CODE no more than approximately 6.5 feet of the street frontage of the building may be devoted to parking ingress. The building would include a curb cut and driveway along Lynch Street that measures approximately eight feet in width; therefore, the project requires a variance from the parking entry width limitations (Section 145.1) of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0884V>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Kevin Guy** Telephone: **(415) 558-6163** E-Mail: kevin.guy@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

DIRECTORY

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SOILS ENGINEER

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Oakland, CA 94610
510.839.0765

Allen Gruen, GE
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STRUCTURAL

GENERAL CONTRACTOR

SYMBOLS

REFERENCE SYMBOLS

	DEMO WALL
	EXISTING WALL
	NEW WALL
	HIDDEN EDGE, ABOVE OR BEYOND
	HIDDEN EDGE, BELOW OR BEHIND
	DOOR SYMBOL
	WINDOW SYMBOL
	SKYLIGHT SYMBOL
	WALL TYPE
	GRID OR REFERENCE LINE
	BUILDING OR WALL SECTION NO. OVER SHEET NO.
	DETAIL NO. OVER SHEET NO.
	ELEVATION NO. OVER SHEET NO.
	ROOM NO. OVER SHEET NO.
	LEVEL LINE OR DATUM
	SPOT ELEVATION (N)
	PROPERTY LINE
	NEW OR FINISHED CONTOURS
	EXISTING CONTOURS

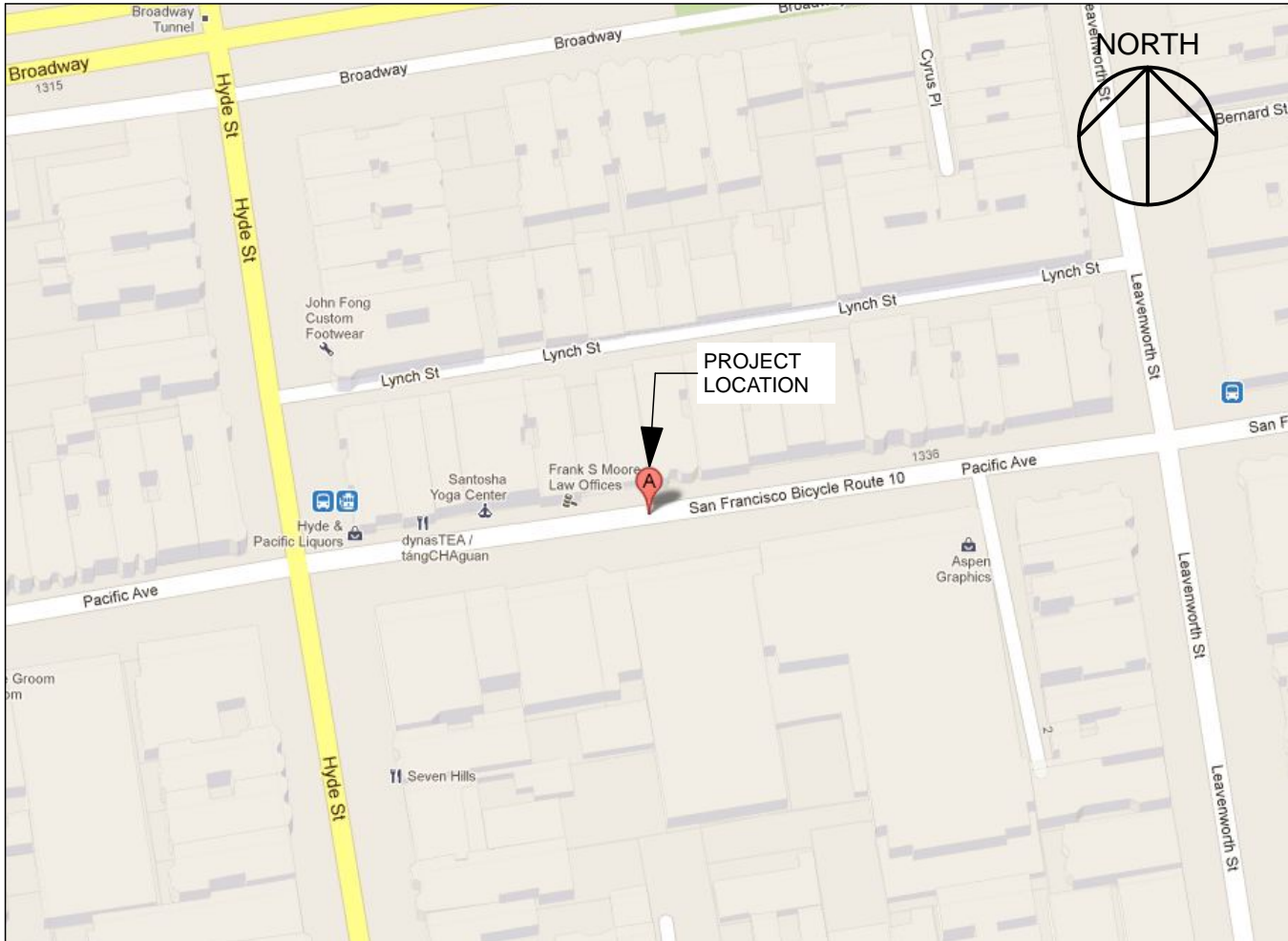
ELECTRICAL/ MECHANICAL SYMBOLS

	SURFACE CEILING LIGHT FIXTURE
	RECESSED DIRECTIONAL LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	MOTION DETECTOR & PHOTOCONTROL LIGHT FIXTURE
	RECESSED WALL LIGHT FIXTURE
	EXPOSED STRIP LIGHT FIXTURE
	CONCEALED STRIP LIGHT FIXTURE
	TRACK AND STRIP LIGHT FIXTURES
	ELECTRICAL SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	PULL SWITCH
	MANUAL-ON OCCUPANCY SENSOR SWITCH

ELECTRICAL/MECHANICAL SYMBOLS

	SINGLE ELECTRICAL OUTLET, DIRECT WIRED
	DUPLEX OUTLET
	FOURPLEX OUTLET
	ELECTRICAL OUTLET, HALF-SWITCHED
	ELECTRICAL OUTLET, FULLY SWITCHED
	ELECTRICAL OUTLET FOR PICTURE LIGHT
	240V ELECTRICAL OUTLET
	FLUSH FLOOR MOUNTED OUTLET
	GROUND FAULT INTERRUPT
	JUNCTION BOX
	MULTI-FUNCTION SMOKE & CO DETECTOR
	HEAT DETECTOR
	AUTOMATIC SPRINKLER HEAD
	DOOR BELL BUTTON
	DOOR CHIME
	GARAGE DOOR OPENER SWITCH
	INTERCOM STATION
	ALARM KEYPAD
	MOTION DETECTOR
	SPEAKER OUTLET
	SCENE CONTROL MASTER UNIT
	SCENE CONTROL REMOTE WALL STATION
	STEAM UNIT CONTROL PANEL
	PLUG MOLD
	(1) RG6 QUAD
	(1) 24/4 PAIR CAT-6
	(1) CAT-6 & (1) RG6 QUAD
	(2) CAT-6 & (2) RG6 QUAD
	HDMI
	(1) 24/4 PAIR CAT-3
	COLD WATER CONNECTION
	HOT WATER CONNECTION
	CENTRAL VACUUM
	GAS OUTLET
	HOSE BIB
	FLOOR DRAIN
	DOWNSPOUT
	THERMOSTAT
	SUPPLY AIR REGISTER AT WALL OR TOE SPACE
	SUPPLY AIR REGISTER AT FLOOR
	SUPPLY AIR REGISTER AT CEILING
	RETURN AIR GRILL AT WALL
	RETURN AIR GRILL AT FLOOR
	RETURN AIR GRILL AT CEILING
	EXHAUST FAN
	EXHAUST FAN/ LIGHT UNIT
	CEILING FAN

VICINITY MAP



ABBREVIATIONS

@	AT	(N)	NEW
⌀	CENTERLINE	N.I.C.	NOT IN CONTRACT
⌀	DIAMETER	NO.	NUMBER
ABV	ABOVE	NOM.	NOMINAL
A.D.	AREA DRAIN	N.T.S.	NOT TO SCALE
ADJ.	ADJUSTABLE	O.C.	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	O.H.	OVERHANG
APPROX.	APPROXIMATE	OPNG.	OPENING
ARCH.	ARCHITECTURAL	OPP.	OPPOSITE
ASPH.	ASPHALT	O/	OVER
BLDG.	BUILDING	ℙ	PROPERTY LINE
BLKG.	BLOCKING	PL.	PLATE
B.U.R	BUILT-UP ROOFING	PLAM.	PLASTIC LAMINATE
C.J.	CONTROL JOINT	PLYWD.	PLYWOOD
CLR.	CLEAR	P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	PTD.	PAINTED
CTR.	CENTER	P.V.	PHOTOVOLTAIC
D.	DRYER	(R)	RELOCATED
DBL.	DOUBLE	R.	RISE, RISER
DET.	DETAIL	R.A.	RETURN AIR
D.F.	DOUGLAS FIR	REF.	REFRIGERATOR
DIA.	DIAMETER	REG.	REGISTER
DIM.	DIMENSION	REINF.	REINFORCED
DISP.	DISPOSER	REQ.	REQUIRED
DN.	DOWN	RM.	ROOM
DR.	DOOR	R.O.	ROUGH OPENING
D.S.	DOWN SPOUT	RDWD.	REDWOOD
D.W.	DISHWASHER	S.	SOUTH
DWG.	DRAWING	S.C.	SOLID CORE
DWR	DRAWER	S.D.	SMOKE DETECTOR
E	EAST	SECT.	SECTION
(E)	EXISTING	SHT	SHEET
EA.	EACH	SHEATH'G	SHEATHING
EL.	ELEVATION	SIM.	SIMILAR
ELEC.	ELECTRICAL	SPEC.	SPECIFICATION
EQ.	EQUAL	SQ.	SQUARE
EXT.	EXTERIOR	S.S.D.	SEE STRUCT. DWGS.
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN.	FOUNDATION	STL.	STEEL
FIN.	FINISH	STOR.	STORAGE
FL.	FLOOR	STRUCT.	STRUCTURAL
F.O.	FACE OF	SUSP.	SUSPENDED
F.O.F	FACE OF FINISH	SYM.	SYMBOL
F.O.S.	FACE OF STUD	T.	TREAD
F.S.M.F	FLEXIBLE SHEET	T.B.	TOWEL BAR
	MEMBRANE FLASHING	T&G	TONGUE AND GROOVE
FT.	FEET	T.O.	TOP OF
FTG.	FOOTING	T.O.C.	TOP OF CURB
GA.	GAUGE	T.O.P	TOP OF PLATE
GALV.	GALVANIZED	TO.W.	TOP OF WALL
GYP. BD.	GYPSUM BOARD	T.P.H.	TOILET PAPER HOLDER
H.	HIGH	TRSM.	TRANSOM
H.B.	HOSE BIB	T.V.	TELEVISION
HDR.	HEADER	TYP.	TYPICAL
HDWR.	HARDWARE	U.O.N	UNLESS OTHERWISE NOTED
HORIZ.	HORIZONTAL	V.	VENT
HT.	HEIGHT	VERT.	VERTICAL
I.D.	INSIDE DIAMETER	V.I.F.	VERIFY IN FIELD
I.G.	INSULATED GLASS	V.G.	VERTICAL GRAIN
INSUL.	INSULATION	W.	WEST
INT.	INTERIOR	W.	WASHING MACHINE
JT.	JOINT	W/	WITH
LAV.	LAVATORY	W.C.	WATER CLOSET(TOILET)
LT.	LIGHT	WD.	WOOD
M.	MASTER	WH.	WATER HEATER
MAX.	MAXIMUM	W/O	WITHOUT
MECH.	MECHANICAL	WATERPROOF.	WATERPROOF, WORK
MFR.	MANUFACTURER	POINT	POINT
MIN.	MINIMUM	WATER RESISTANT	WATER RESISTANT
MISC.	MISCELLANEOUS	W.R.C.	WESTERN RED CEDAR
		YD.	YARD

APPLICABLE CODES

2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 SAN FRANCISCO BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODE AMENDMENTS

SCOPE OF WORK

NEW MIXED-USE OCCUPANCY 4 STORY BUILDING. THREE LEVELS OF SINGLE FAMILY RESIDENTIAL R3 OCCUPANCY OVER COMMERCIAL B OCCUPANCY OVER BASEMENT/PRIVATE GARAGE.

PLANNING CODE SUMMARY

BLOCK & LOT: 0155/021

LOT SIZE: 17'-0" x 60'-0" = 1050sqft

ZONING: PACIFIC AVENUE NEIGHBORHOOD COMMERCIAL DISTRICT (NCD)

REAR YARD: SEC 134: BASIC REQUIREMENT: 45% REQUIRED.

SECTION 134 SUBSECTION (E): MODIFICATION OF REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS. THE REAR YARD REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS MAY BE MODIFIED OR WAIVED IN SPECIFIC SITUATIONS AS DESCRIBED IN THIS SUBSECTION (E).

(1) GENERAL: THE REAR YARD REQUIREMENT IN NC DISTRICTS MAY BE MODIFIED OR WAIVED BY THE ZONING ADMINISTRATOR PURSUANT TO THE PROCEDURES WHICH ARE APPLICABLE TO VARIANCES, AS SET FORTH IN SECTIONS 306.1 THROUGH 306.5 AND 308.2, IN THE CASE OF NC DISTRICTS, AND IN ACCORDANCE WITH SECTION 307(G), IN THE CASE OF SOUTH OF MARKET MIXED USE DISTRICTS IF ALL OF THE FOLLOWING CRITERIA ARE MET FOR BOTH NC AND SOUTH OF MARKET MIXED USE DISTRICTS:

(A) RESIDENTIAL USES ARE INCLUDED IN THE NEW OR EXPANDING DEVELOPMENT AND A COMPARABLE AMOUNT OF USABLE OPEN SPACE IS PROVIDED ELSEWHERE ON THE LOT OR WITHIN THE DEVELOPMENT WHERE IT IS MORE ACCESSIBLE TO THE RESIDENTS OF THE DEVELOPMENT; AND

(B) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT SIGNIFICANTLY IMPEDE THE ACCESS OF LIGHT AND AIR TO AND VIEWS FROM ADJACENT PROPERTIES; AND

(C) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT ADVERSELY AFFECT THE INTERIOR BLOCK OPEN SPACE FORMED BY THE REAR YARDS OF ADJACENT PROPERTIES.

HEIGHT LIMIT: 40'-X

OFF STREET PARKING:

COMMERCIAL: NONE REQUIRED IF OCCUPIED FLOOR AREA IS LESS THAN 200SQFT. THEREFORE NONE

RESIDENTIAL: 1 SPACE FOR EACH DWELLING UNIT.

USABLE OPEN SPACE (RESIDENTIAL): PER SFPC SEC. 135, 136; 100 SQ.FT. PER UNIT IF PRIVATE. 857 sqft PROVIDED

DWELLING UNIT DENSITY: PER SFPC SECTIONS, 207.4, 1 UNIT PER 1000 SQFT OF LOT AREA.

AFFORDABILITY REQUIREMENTS: PER SFPC SEC. 419.3, AFFORDABILITY REQUIREMENTS NOT APPLICABLE TO BUILDINGS WITH LESS THAN 5 DWELLING UNITS. BUILDING HAS 1 RESIDENTIAL DWELLING UNITS, THEREFORE NO AFFORDABILITY REQUIREMENT.

EXTERIOR AREA CALCS:

Exterior Gross Area

Exterior Gross Area			
Floor (Story)	Zone Category	Zone Name	Calculated Area
Basement	Gross Exterior	BASEMENT GROSS EXTERIOR	1,017
Story 1	Gross Exterior	FIRST FLOOR GROSS EXTERIOR	1,009
Story 2	Gross Exterior	2ND FLOOR GROSS EXTERIOR	887
Story 3	Gross Exterior	3RD FLOOR GROSS EXTERIOR	718
Story 4	Gross Exterior	4TH FLOOR GROSS EXTERIOR	556
T.O. Roof	Gross Exterior	5TH FLOOR GROSS EXTERIOR	123
			4,310 sq ft

BUILDING CODE SUMMARY

OCCUPANCY: R3/ B

AREA CALCS:

Commercial Interior Gross Area - B Occupancy			
Floor (Story)	Zone Category	Zone Name	Calculated Area
Story 1	Gross Interior Commercial	FIRST FL. GROSS INT. (COMM.)	762
			762 sq ft

Residential Interior Gross Area - R3 Occupancy			
Floor (Story)	Zone Category	Zone Name	Calculated Area
Basement	Gross Interior Residential	BSMT. GROSS INT. (RES.)	915
Story 1	Gross Interior Residential	FIRST FL. GROSS INT. (RES.)	96
Story 2	Gross Interior Residential	2ND FLOOR GROSS INTERIOR	802
Story 3	Gross Interior Residential	3RD FLOOR GROSS INTERIOR	644
Story 4	Gross Interior Residential	4TH FLOOR GROSS INTERIOR	490
T.O. Roof	Gross Interior Residential	PENTHOUSE	35
			2,982 sq ft

TOTAL:			3,744 sq ft
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Residential Open Space - R3 Occupancy			
Floor (Story)	Zone Category	Zone Name	Calculated Area
Story 2	Open Space	DECK	104
Story 3	Open Space	DECK	107
Story 4	Open Space	DECK	101
T.O. Roof	Open Space	ROOF DECK	304
			616 sq ft

OCCUPANT LOAD:

R3 = 2961 SQFT/200GROSS SQFT/OCCUPANT = 15 OCCUPANTS
B = 762 SQFT/100 = 8 OCCUPANTS

NOTE: EACH OCCUPANCY HAS ITS OWN SEPARATE EXIT

CONSTRUCTION TYPE: VA

HEIGHT:

- ALLOWABLE: 50'-0" PER CBC 2010 TABLE 503 + 20'-0" PER CBC 504.2 (AUTOMATIC SPRINKLER SYSTEM INCREASE)
- PROPOSED: 40'-0"

STORIES:

- ALLOWABLE: 3 PER TABLE 503 + 1 PER SEC. 504.2 = 4 STORIES
- PROPOSED: 4 STORIES

NOTE: BUILDING IS EQUIPPED WITH THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1

MAXIMUM TRAVEL DISTANCE:

- ALLOWABLE: 250'-0" PER CBC 2010 SEC.1018.1
- PROPOSED: 135'-0" FROM FURTHEST POINT ON ROOF DECK TO EXIT AT PACIFIC AVE.

EXITS: ONE EXIT REQUIRED PER CBC SEC. 1021.1 EXCEPTION 4

ACCESSIBILITY: ACCESSIBLE ROUTE AND ONE ACCESSIBLE RESTROOM PROVIDED PER CBC CHAPTER 11B WITHIN B OCCUPANCY. NO ACCESSIBILITY REQUIRED FOR LESS THAN 4 RESIDENTIAL UNITS PER CBC CHAPTER 11A.

DRAWING INDEX

ARCHITECTURAL

DRAWING ID DRAWING NAME

A0.00	COVER SHEET
A0.01	CONCEPTUAL IMAGES
A0.03	SITE SURVEY
A0.05	SITE CONTEXT
A1.00	SITE PLAN
A2.00	BASEMENT-2ND PLANS
A2.01	3RD-ROOF PLANS
A6.00	ELEVATIONS
A6.01	ELEVATIONS
A7.00	BUILDING SECTIONS

GENERAL NOTES

1. CODES: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE OAKLAND AND CALIFORNIA CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. SEE CODE EDITIONS ON THIS SHEET.

2. EXISTING CONDITIONS AND DIMENSIONS: CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON SITE. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE WALLS, UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUBPLATE UNLESS OTHERWISE NOTED.

3. PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.

4. DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS.

5. CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, AND SHALL MAINTAIN THE SHORING AND BRACING UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.

6. INSTALLATION: ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE ARCHITECTS.

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REVISIONS

NO. DATE ISSUE

01.02.14 - PLANNING REVISIONS

ISSUE

ISSUE FOR PERMIT 08.06.2013

OWNER

Mr. Harold Tang & Family

1370 Pacific Ave

San Francisco, CA 94109
0155/021

SCALE

AS NOTED

DRAWN BY

RG

CHECKED BY

RG

PROJECT NO.

201209

DATE

1/2/14

COVER SHEET

DRAWING NO.

A0.00



.1 Pacific Ave Sketch
SCALE: 1:100



.1 Lynch Street Sketch
SCALE: 1:100



REVISIONS		
NO.	DATE	ISSUE
01.02.14 - PLANNING REVISIONS		

ISSUE
ISSUE FOR PERMIT 08.06.2013

OWNER
Mr. Harold Tang & Family

1370 Pacific Ave

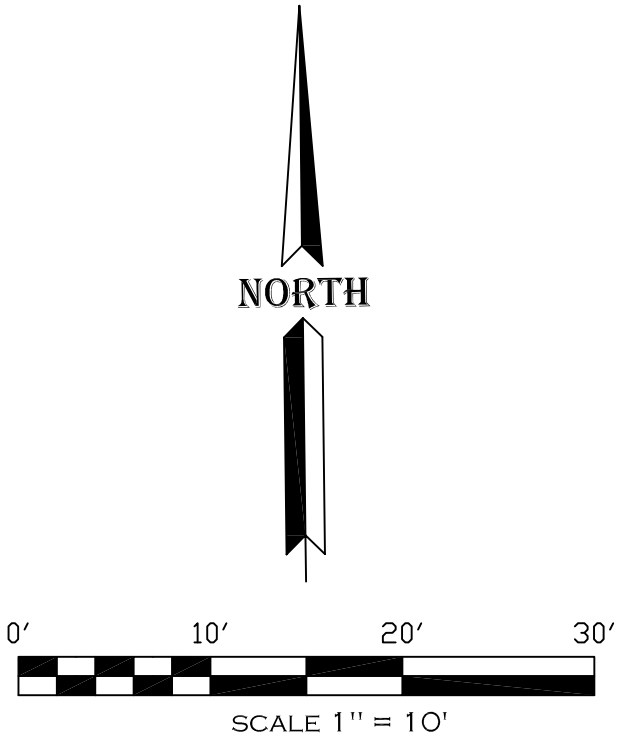
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PROJECT NO.
201209
DATE
1/2/14

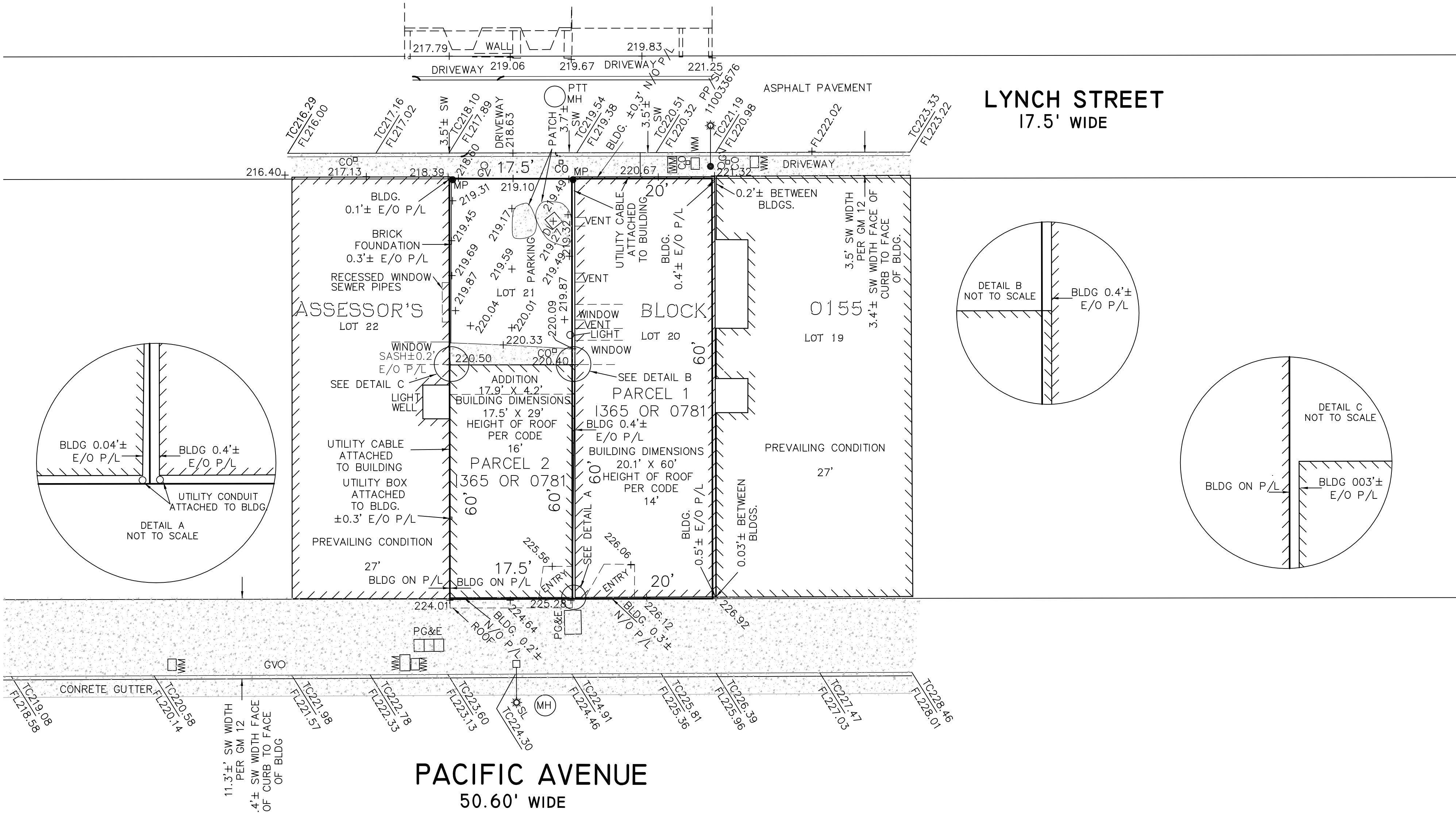
CONCEPTUAL
IMAGES

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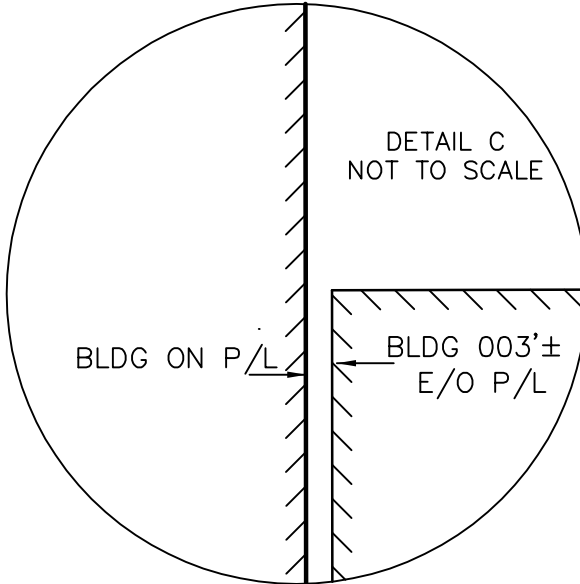
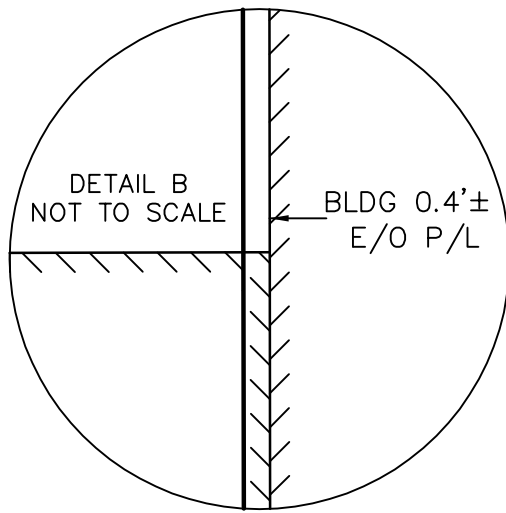
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SAN FRANCISCO SURVEYING COMPANY, INC.
201 HARRISON STREET STE 828
SAN FRANCISCO, CALIFORNIA, 94105
415-321-9300
WWW.SANFRANCISCO SURVEYINGCOMPANY.COM



LYNCH STREET
17.5' WIDE



NOTES :
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
ROOF HEIGHTS ALONG PACIFIC AVENUE FOR THE SUBJECT SITE ARE CALCULATED PER MUNICIPAL CODE AND ARE THE DIFFERENCE IN THE ELEVATION BETWEEN THE MIDPOINT ELEVATION OF THE TOP OF CURB AND THE MID POINT OF THE ROOF. NO ACCESS TO THE ROOFS OF THE ADJOINING PROPERTIES WAS PROVIDED. THE HEIGHTS SHOWN FOR ADJOINERS IS THE DIFFERENCE IN ELEVATION OF THE MID POINT OF THE TOP OF CURB AND THE PARAPET. THESE HEIGHTS ARE PROVIDED AS AN INDICATION OF PREVAILING CONDITIONS.

DATE OF SURVEY :
TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED UPON A FIELD SURVEY ACTUALLY PERFORMED UPON THE GROUND IN THE MONTHS OF 11,12/2012 AND 1,2/2013

UTILITY NOTE:
UNDERGROUND UTILITIES SHOWN HEREON BASED UPON A FIELD SURVEY ACTUALLY PERFORMED ON THE GROUND. THE UNDERGROUND UTILITY LOCATIONS ARE SHOWN BASED UPON OBSERVABLE SURFACE EVIDENCE (CONDITIONS PERMITTING). THE OWNER AND/OR CONTRACTOR BEARS THE RESPONSIBILITY FOR ADDITIONAL UTILITY RESEARCH AND FIELD SURVEYING REQUIRED TO PROVIDE NECESSARY DESIGN DATA PRIOR TO DESIGN AND CONSTRUCTION.

PROJECT BENCHMARK:
ELEVATIONS SHOWN HEREON ARE BASED UPON CITY AND COUNTY OF SAN FRANCISCO DATUM (SEPTEMBER 1970) INTERSECTION HYDE BROADWAY NW CUT CROSS E RIM MH IN WALK ELEVATION= 190.237'.

SURVEYOR'S STATEMENT:
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE _____

DANE M INCE
LICENSE NO. 8142
LICENSE EXPIRES 12/31/2014

MAP OF SURVEY

THE LANDS OF HAROLD YU CHUN TANG AND CONNIE YEE K. TANG AS DESCRIBED BY DEED RECORDED IN DOCUMENT NO. 2003-H409706-00 APRIL 14,2003 REEL I365 IMAGE 0781 OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA ASSESSOR'S BLOCK 0155 , LOTS 20,21 A PORTION OF THE 50 VARA BLOCK 271 1364-1370 PACIFIC AVENUE

LEGEND :

BLDG	BUILDING
CO	CLEAN OUT
DI	DRAIN INLET
E/O	EAST OF
FL	FLOWLINE
GV	GAS VALVE
MH	MAN HOLE
MP	METAL POST
N/O	NORTH OF
P/L	PROPERTY LINE
P/P	POWER POLE
PG&E	PACIFIC GAS AND ELECTRIC
PTT	PACIFIC TELEPHONE AND TELEGRAPH
S/O	SOUTH OF
S/I	STREET LIGHT
TC	TOP OF CURB
W/O	WEST OF
WM	WATER METER
+ 241.14	SPOT ELEVATION
SW	PROPERTY LINE
GM	SIDEWALK
	GRADE MAP

SURVEY REFERENCE:

THE BOUNDARY SURVEY IS BASED UPON THE GRANT DEED SHOWN HEREON. ADDITIONAL DOCUMENTATION REVIEWED AND CONSIDERED:
BLOCK DIAGRAMS 0151,0152,0153,0154,0155,156
0183,0184,0185
PARCEL MAP NO. 4494
GAS VALVE
PARCEL MAP NO. 5197
PARCEL MAP NO. 5525
PARCEL MAP NO. 6151
PARCEL MAP OF 72-74 LYNCH STREET
PARCEL MAP OF 1385-1387 PACIFIC AVENUE
CCSF MONUMENT MAP 12
CCSF GRADE MAP 12
MONUMENT OF THE FIFTY VARA DISTRICT APPROVED AND MADE OFFICIAL 11/29/1909
SUPERCEDED MONUMENT MAP 1933 W-8-16
CCSF FIELD NOTES INDEX NO. 154 ORDER NO 13423M



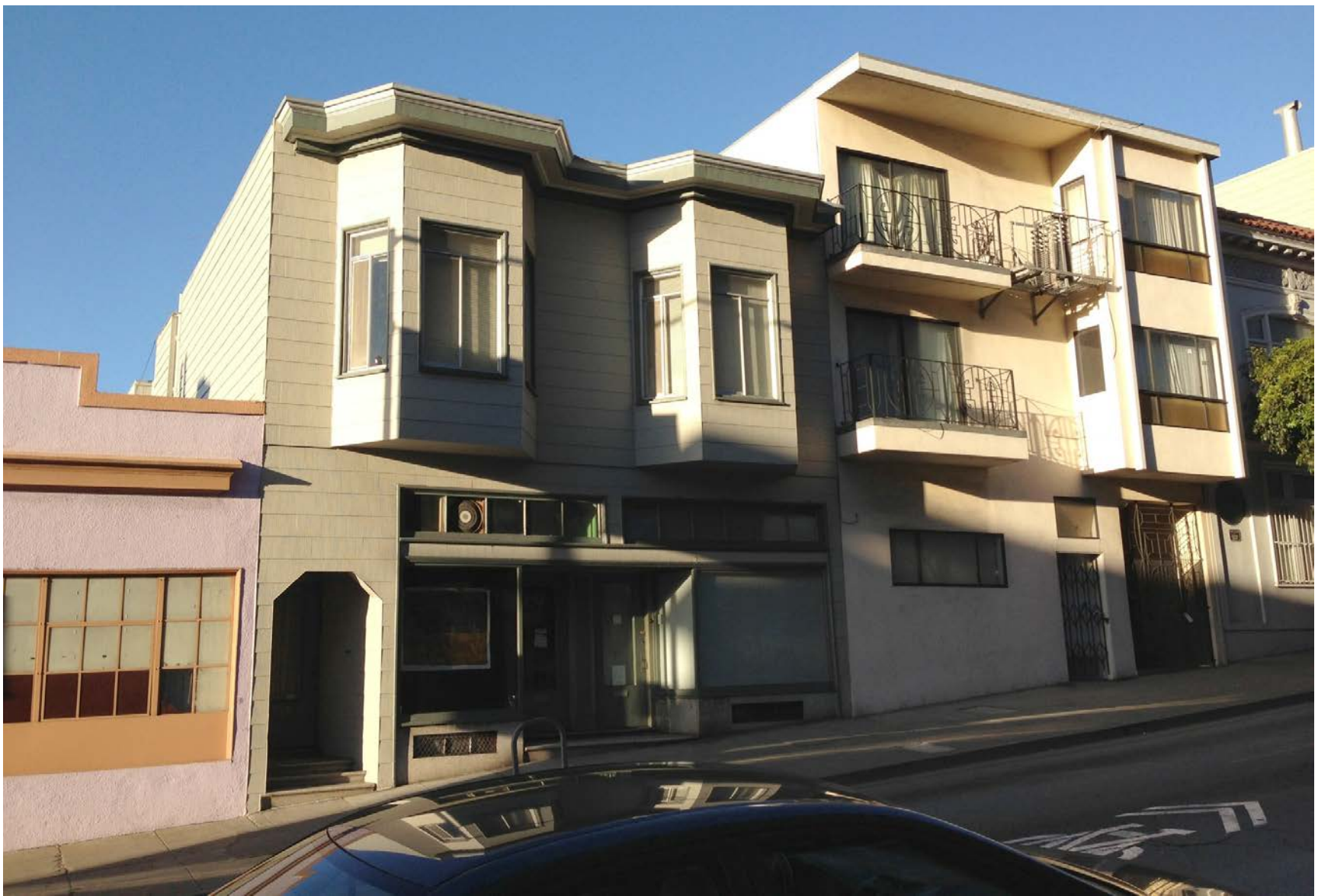
VIEW LOOKING WEST ON PACIFIC AVE

A



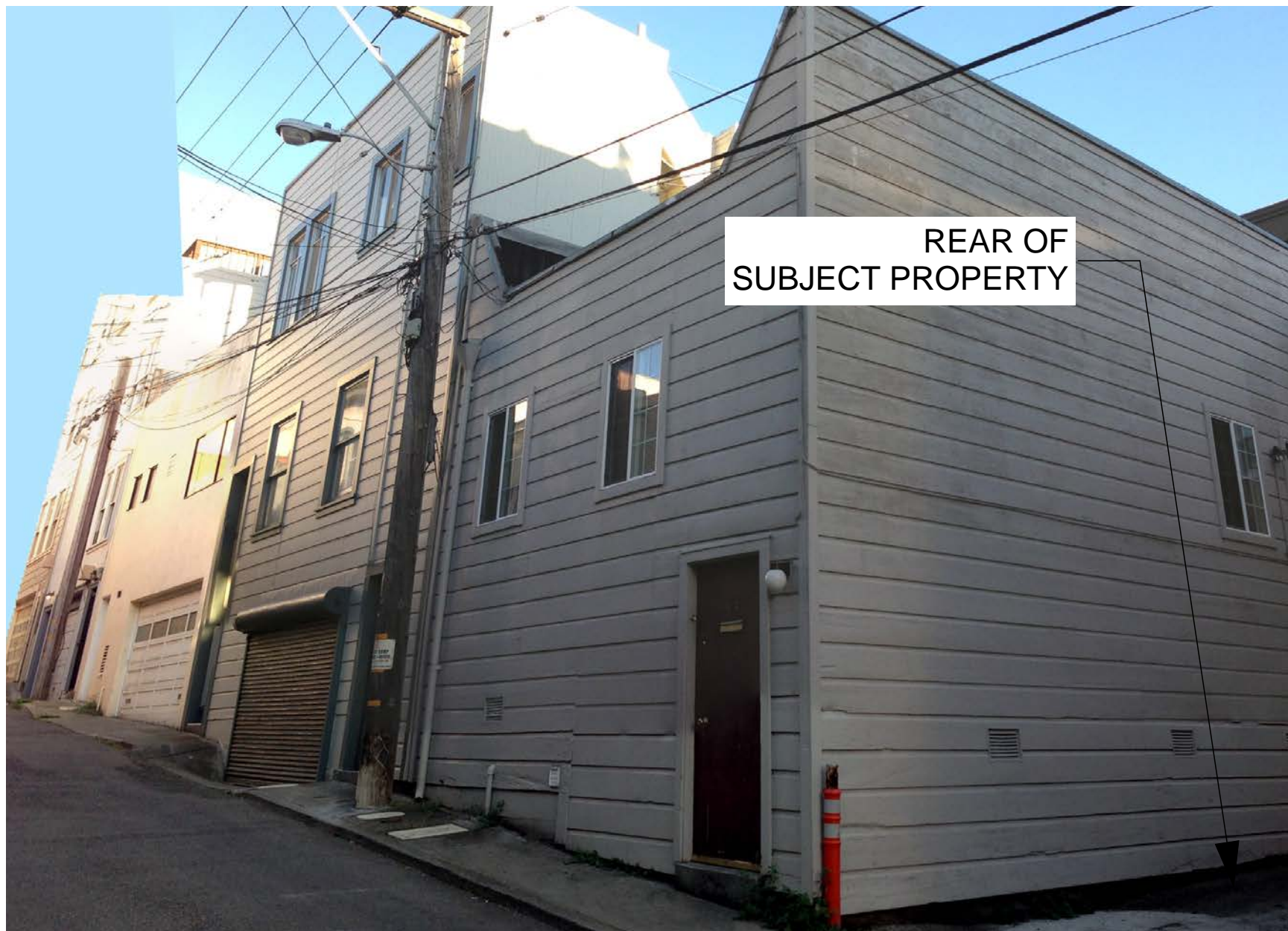
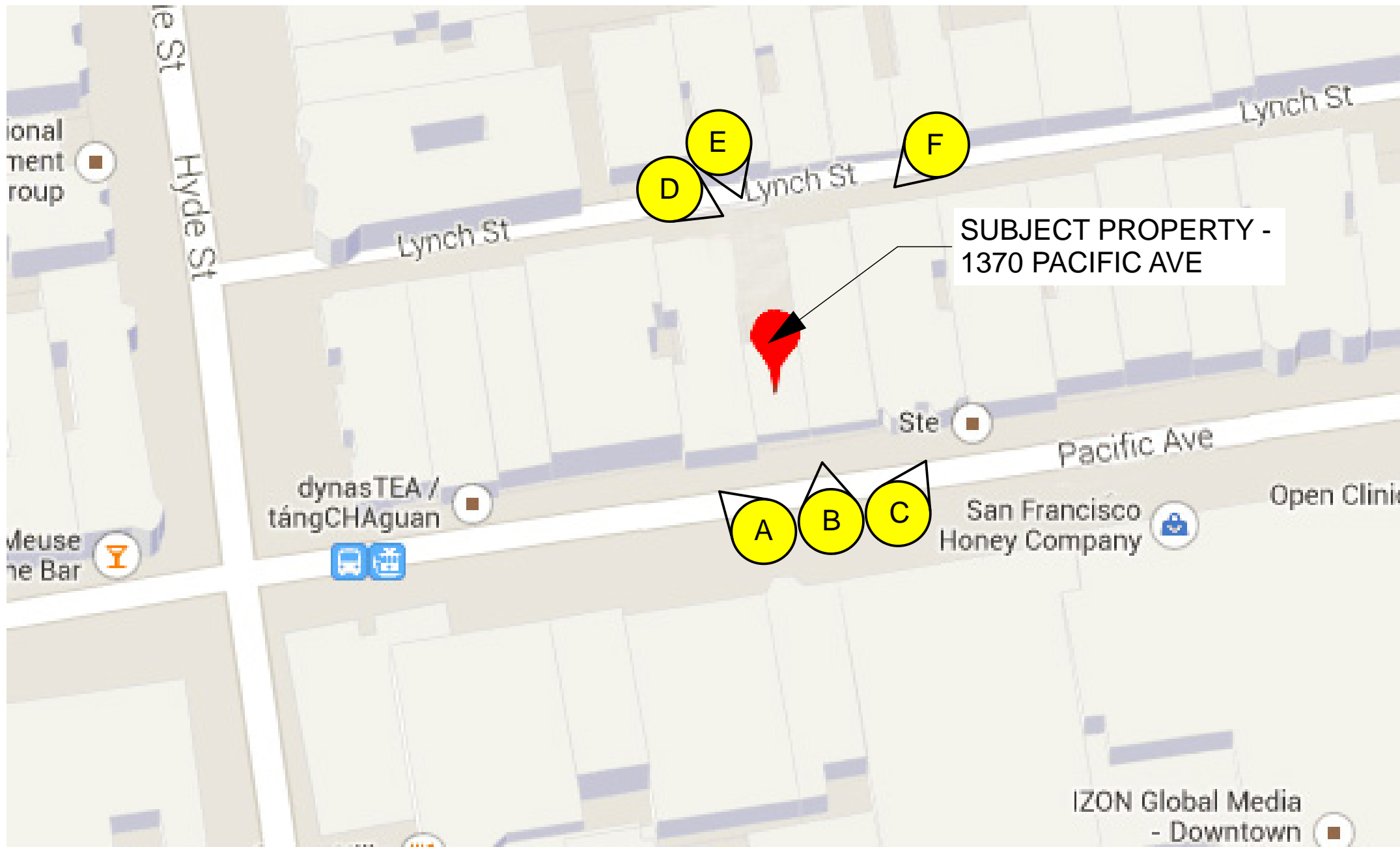
VIEW LOOKING AT FACADE OF SUBJECT PROPERTY

B



VIEW LOOKING EAST ON PACIFIC AVE

C



VIEW LOOKING EAST ON LYNCH ALLEY

D



VIEW OF SUBJECT PROPERTY ON LYNCH ALLEY

E



VIEW LOOKING WEST ON LYNCH ALLEY

F



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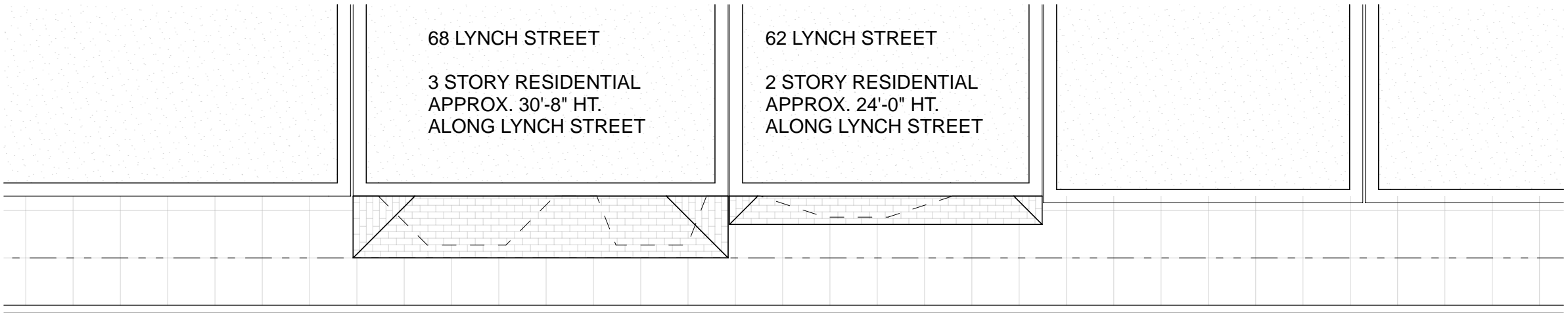
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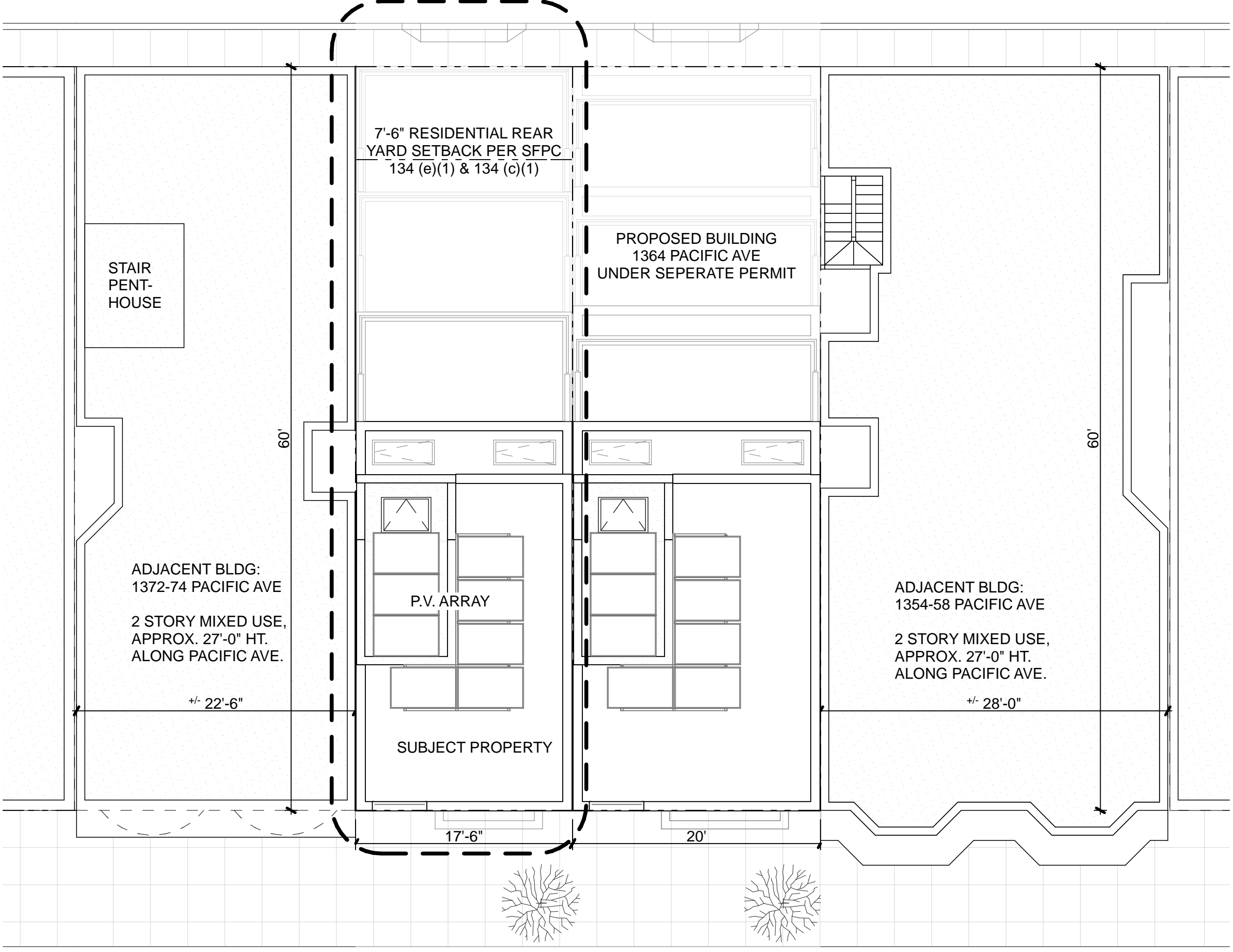
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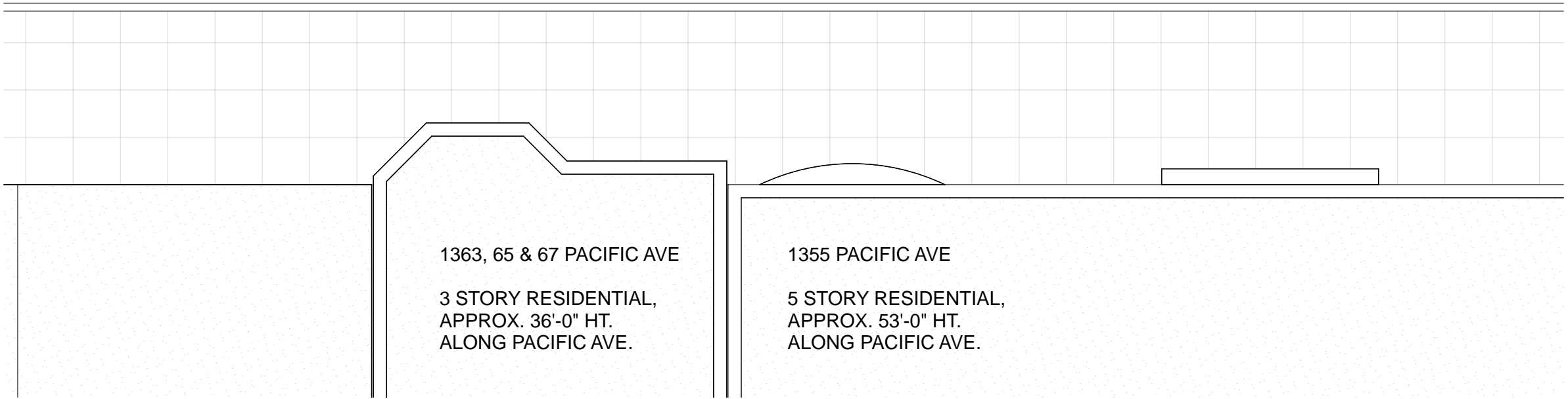
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LYNCH STREET (17.50' WIDE)

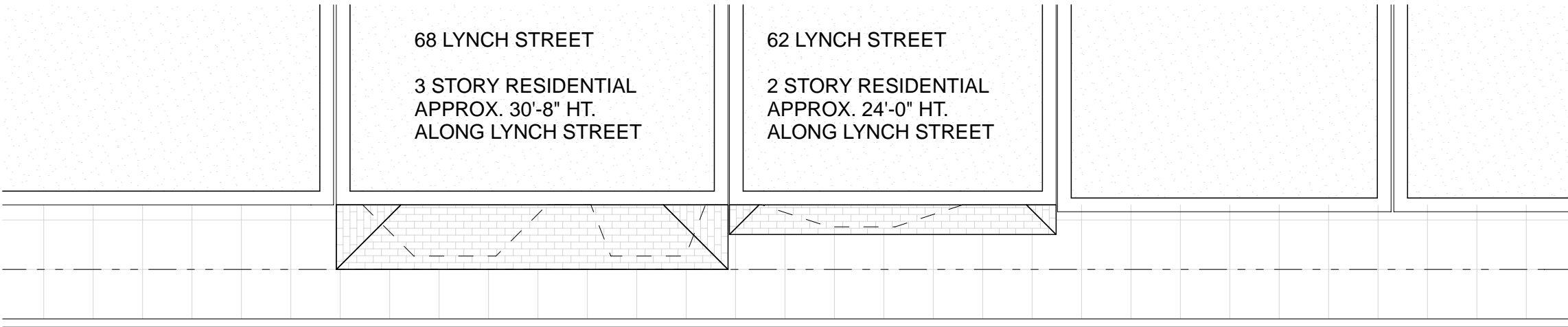


PACIFIC AVE (50.60' WIDE)

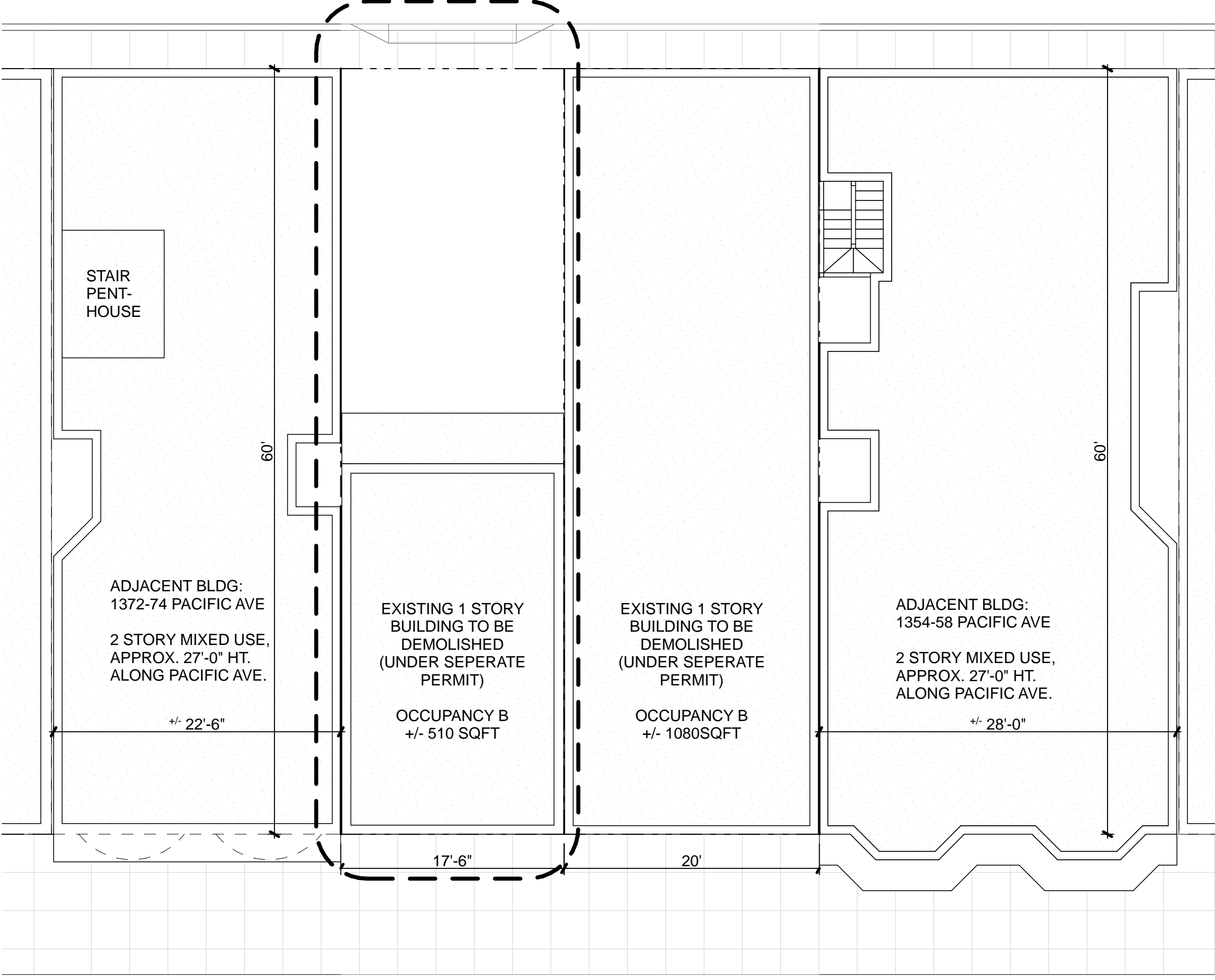


SITE PLAN
SCALE: 1/8" = 1'-0"

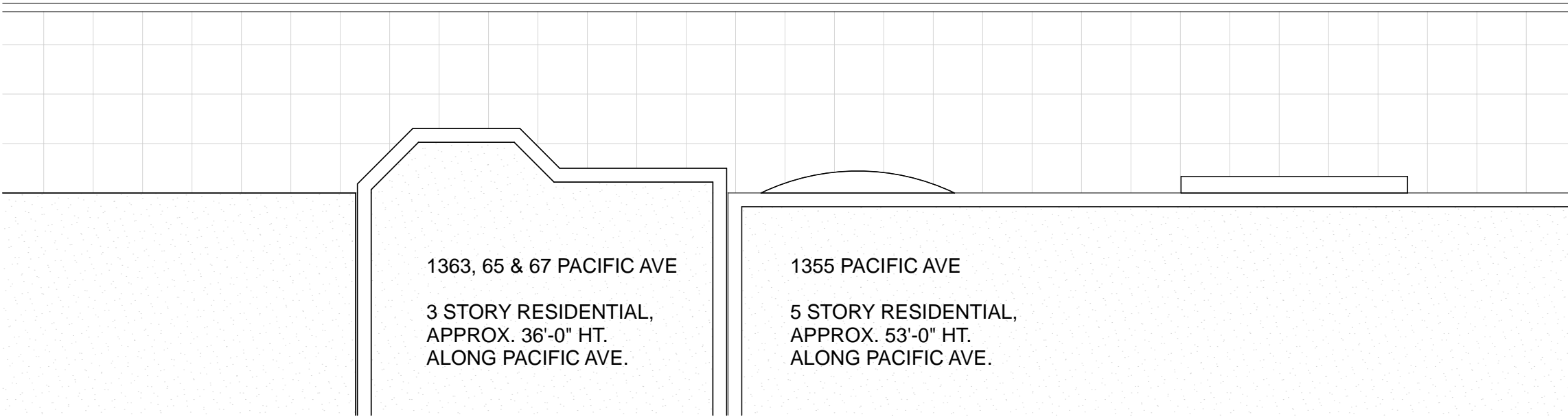
02



LYNCH STREET (17.50' WIDE)



PACIFIC AVE (50.60' WIDE)



SITE PLAN (E)
SCALE: 1/8" = 1'-0"

01



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SITE PLAN

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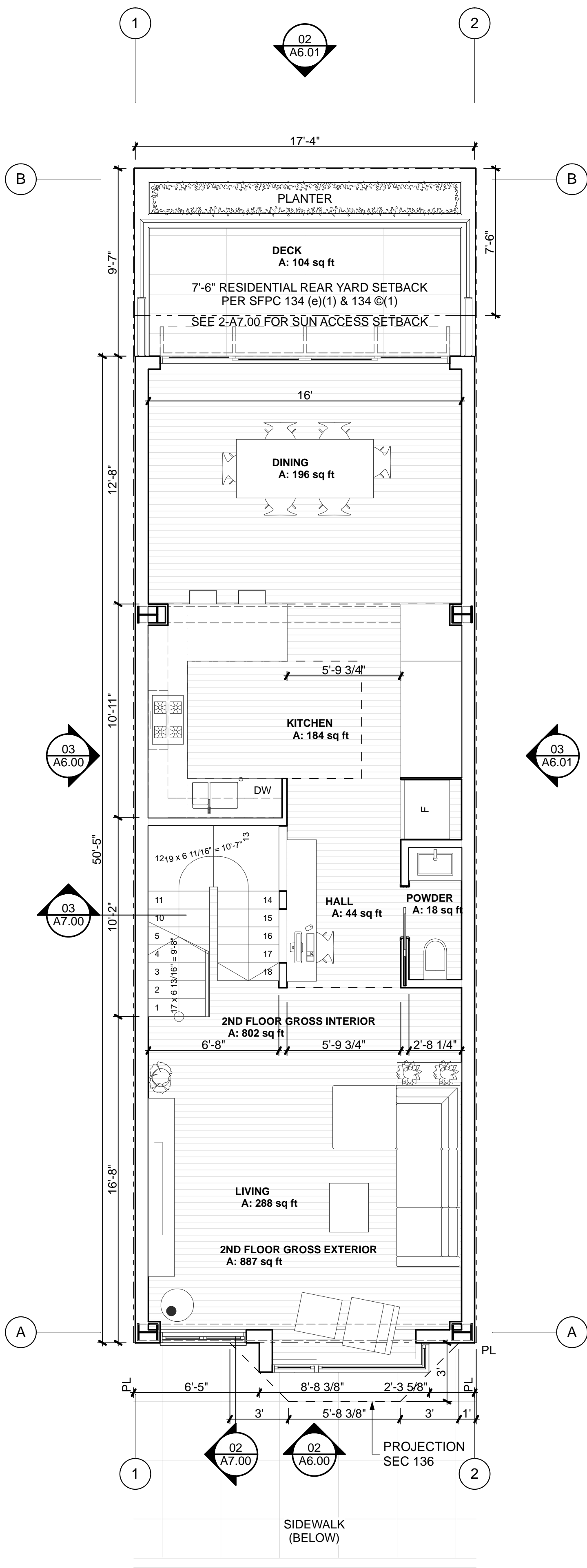
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BASEMENT-2ND
PLANS

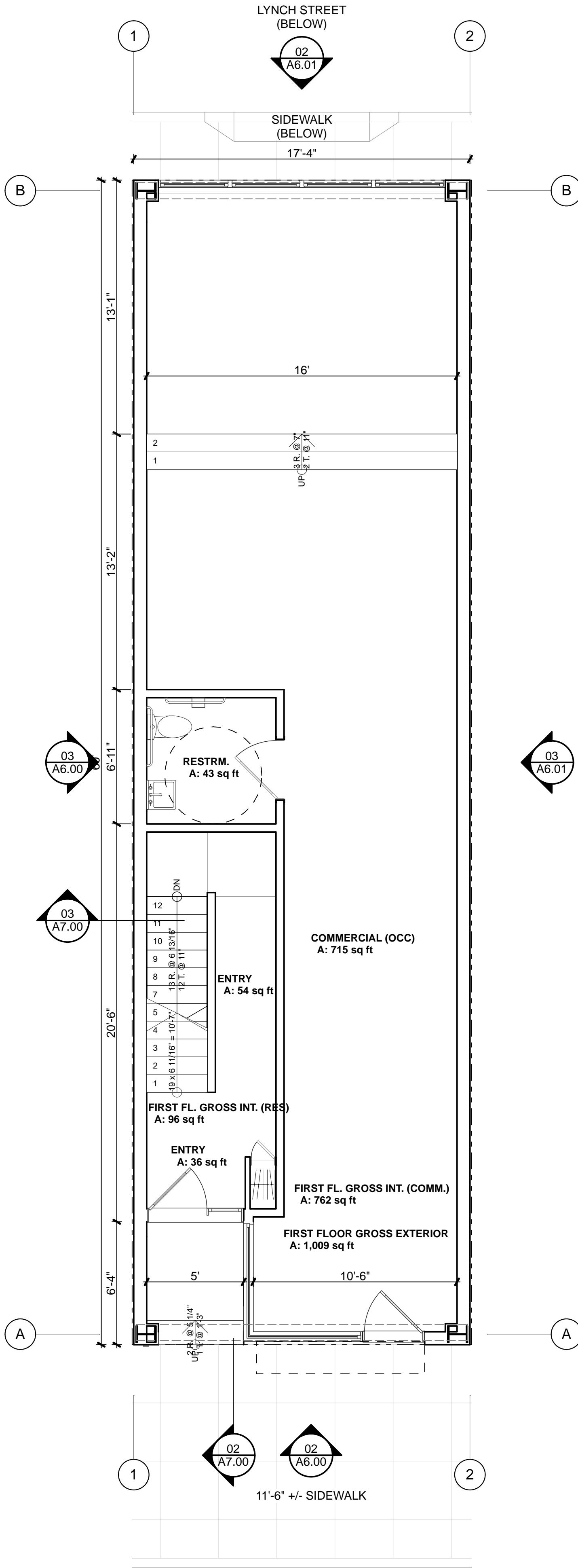
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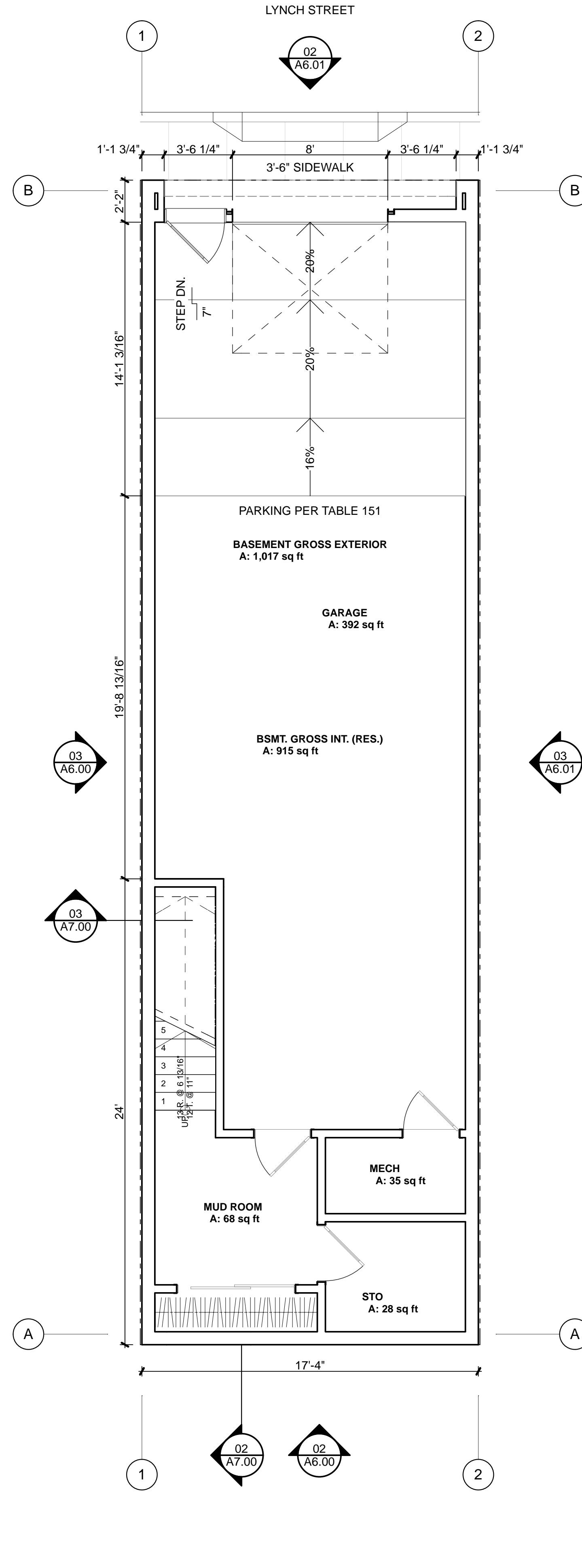
STORY 2
SCALE: 1/4" = 1'-0"

03



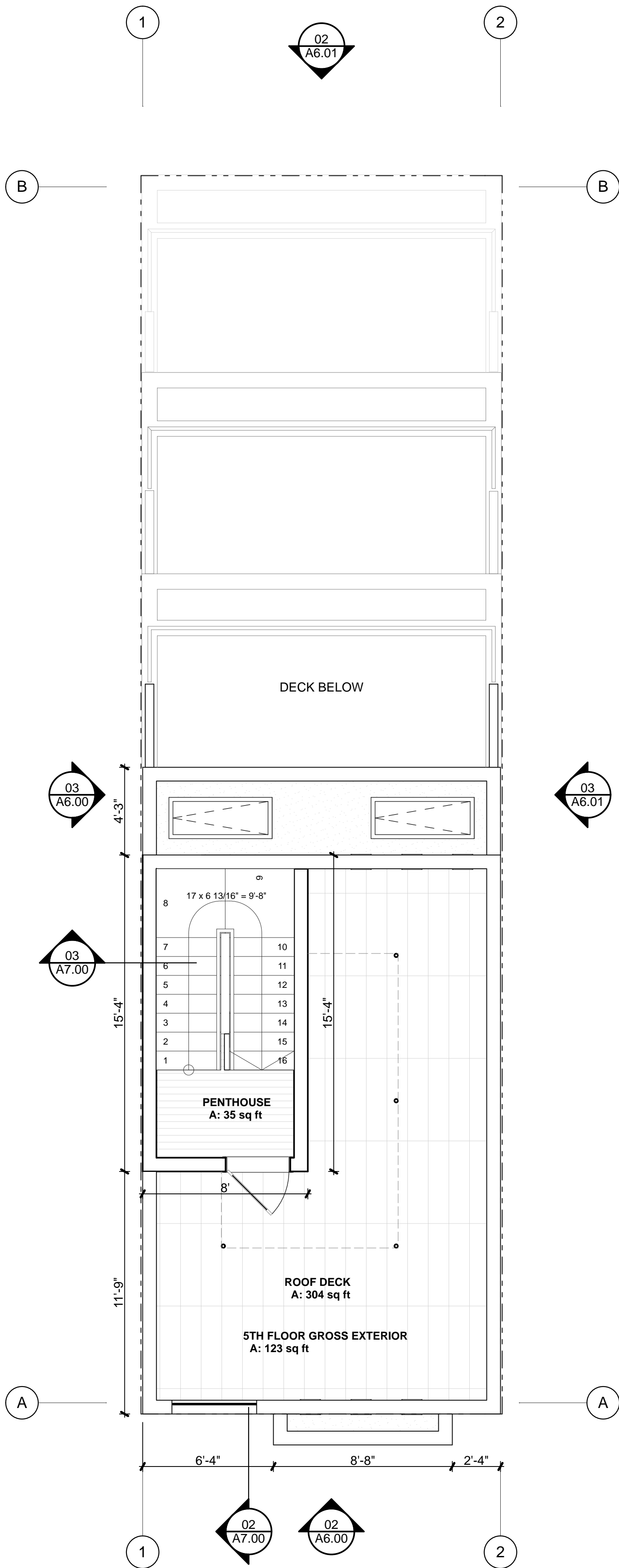
STORY 1
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02



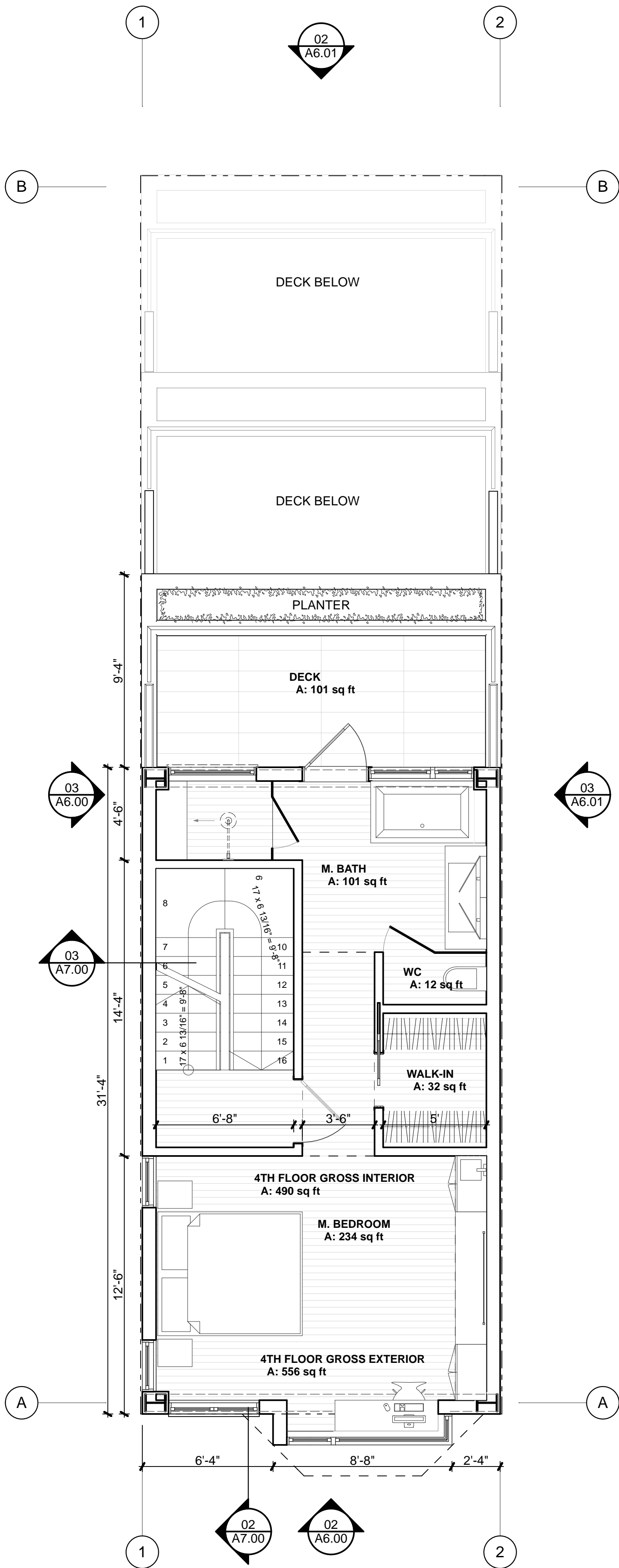
BASEMENT
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01



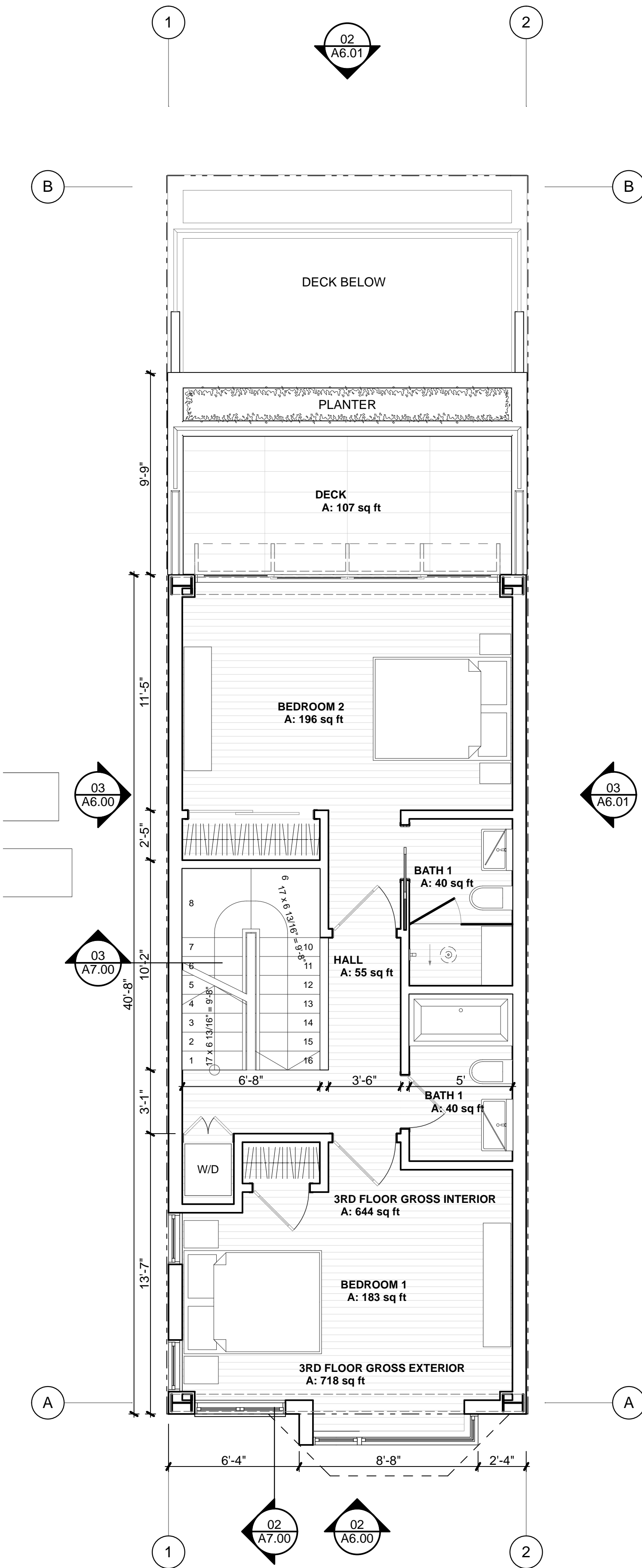
ROOF
SCALE: 1/4" = 1'-0"

03



STORY 4
SCALE: 1/4" = 1'-0"

02



STORY 3
SCALE: 1/4" = 1'-0"

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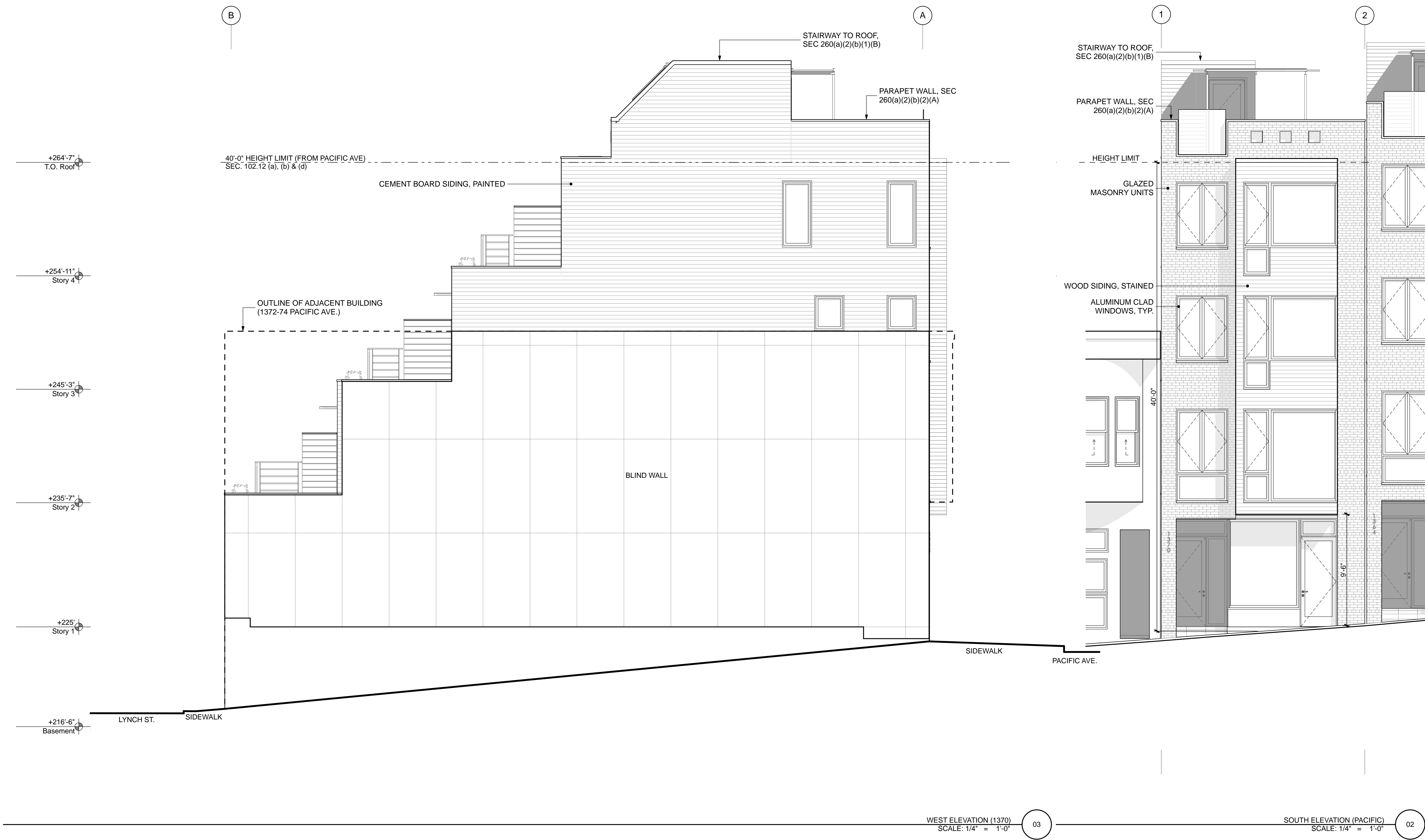
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3RD-ROOF PLANS

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A2.01



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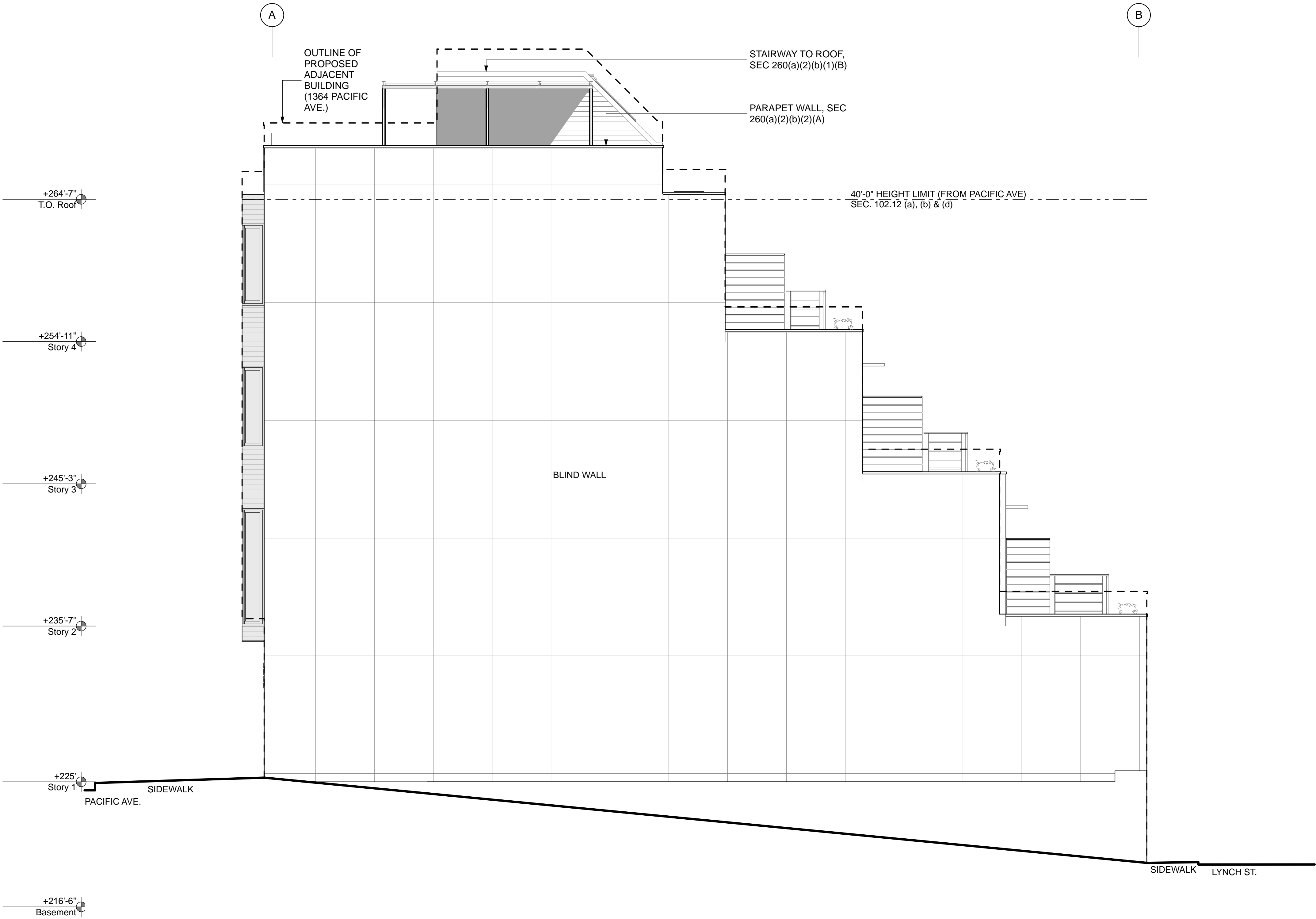
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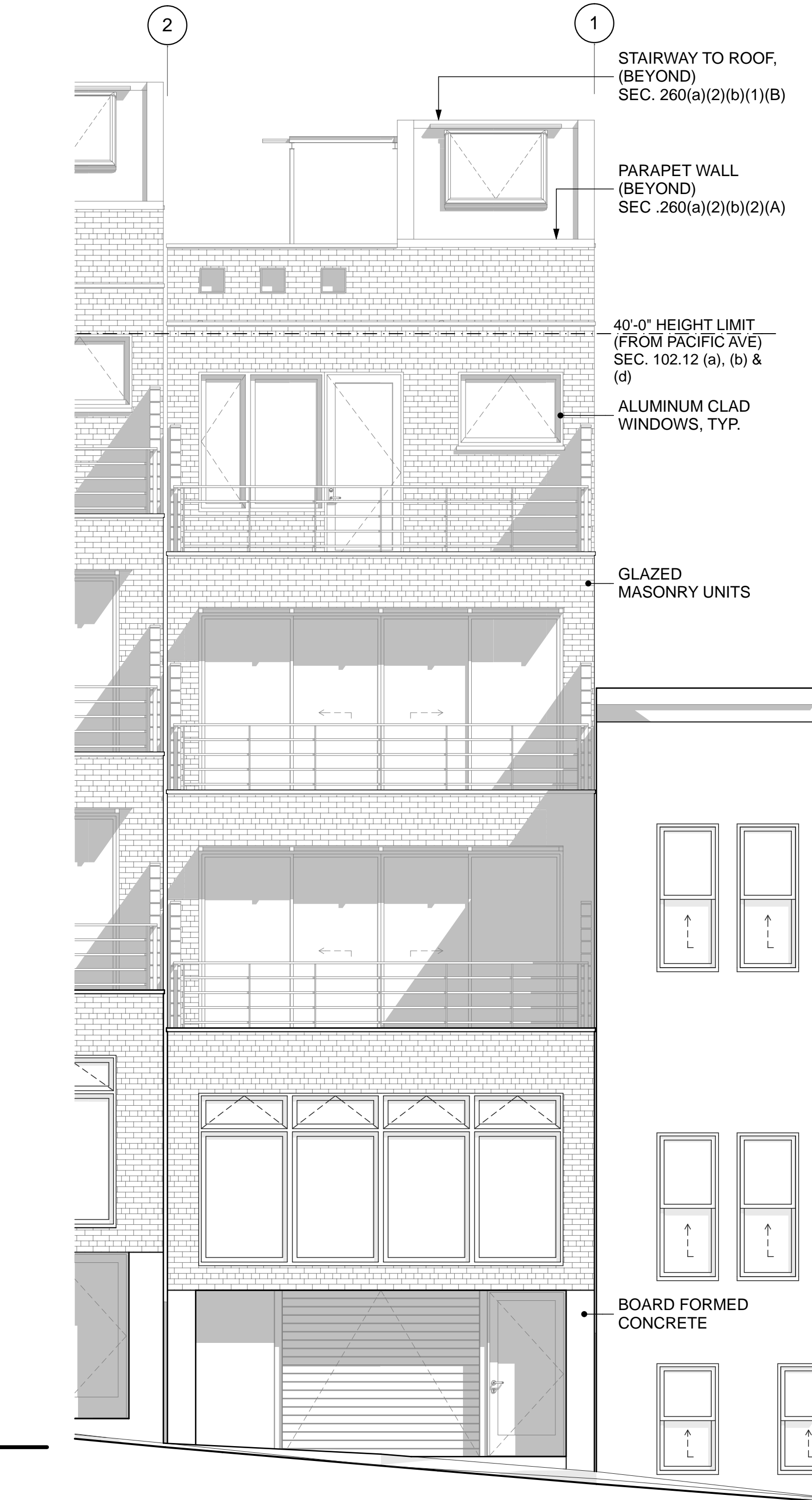
ELEVATIONS

DRAWING NO.

A6.00



EAST ELEVATION (1370)
SCALE: 1/4" = 1'-0"



NORTH ELEVATION (LYNCH)
SCALE: 1/4" = 1'-0"

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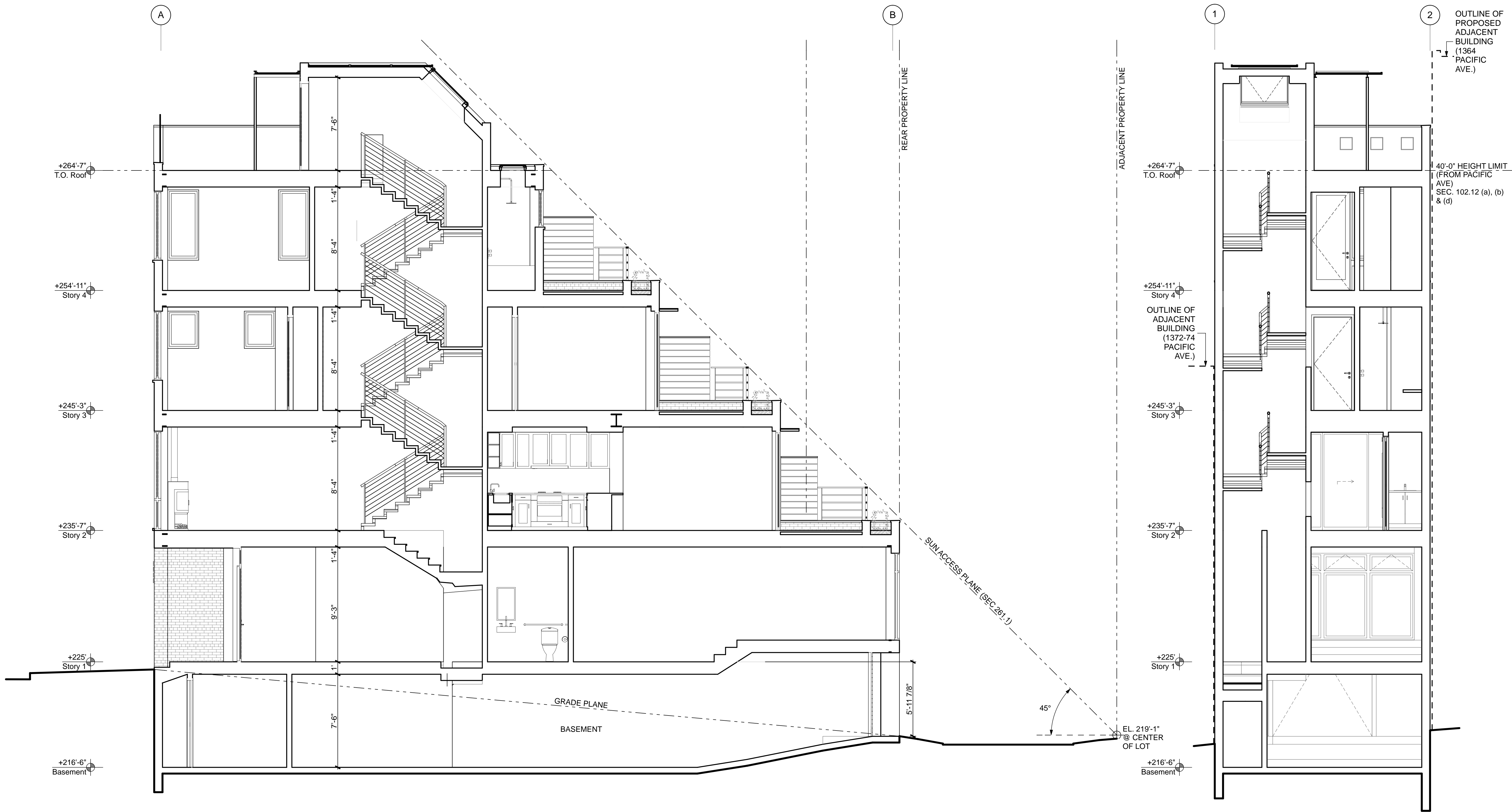
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ELEVATIONS

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BUILDING SECTIONS

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A7.00

SECTION (1370)
SCALE: 1/4" = 1'-0"

02

SECTION (1370)
SCALE: 1/4" = 1'-0"

03