



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 23, 2014**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Rear Yard Modification/Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1364 Pacific Avenue	Case No.: 2013.0883V
Cross Street(s): Hyde Street	Building Permit: N/A
Block /Lot No.: 0155/020	Applicant: Riyad Ghannam
Zoning District(s): Pacific Avenue NCD/40-X	Telephone: (415) 699-3640
Area Plan: None	E-Mail: riyad@rg-architecture.com

PROJECT DESCRIPTION

The proposal is to demolish the existing one-story commercial building and construct a new four-story building reaching a height of 40 feet, containing one dwelling unit and approximately 900 square feet of ground-floor retail space.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15 feet at all levels of the building. The first story of the building would encroach approximately 15 feet into the required rear yard, and the second story would encroach approximately five feet in the required rear yard; therefore, the project requires a modification of the rear yard requirement (Section 134) of the Planning Code.

PER SECTION 145.1 OF THE PLANNING CODE no more than approximately 6.5 feet of the street frontage of the building may be devoted to parking ingress. The building would include a curb cut and driveway along Lynch Street that measures approximately 10 feet in width; therefore, the project requires a variance from the parking entry width limitations (Section 145.1) of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0883V>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Kevin Guy** Telephone: **(415) 558-6163** E-Mail: kevin.guy@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

DIRECTORY

CLIENT

Mr. Harold Tang & Family
1368 Pacific Ave
San Francisco, CA 94109
415.992.2990
etang18@gmail.com

ARCHITECT

rg-architecture
855 Folsom Street, #330
San Francisco, CA 94107
415.699.3640

Riyad Ghannam, AIA, Principal:
ryiad@rg-architecture.com

SURVEYOR

San Francisco Surveying Company, Inc.
201 Harrison Street Ste 828
San Francisco, CA 94106-2058
p. 415-321-9300
f. 415-643-1915

Dane Incels, CFS, 1099
surveyor@sanfranciscosurveyingcompany.com

SOILS ENGINEER

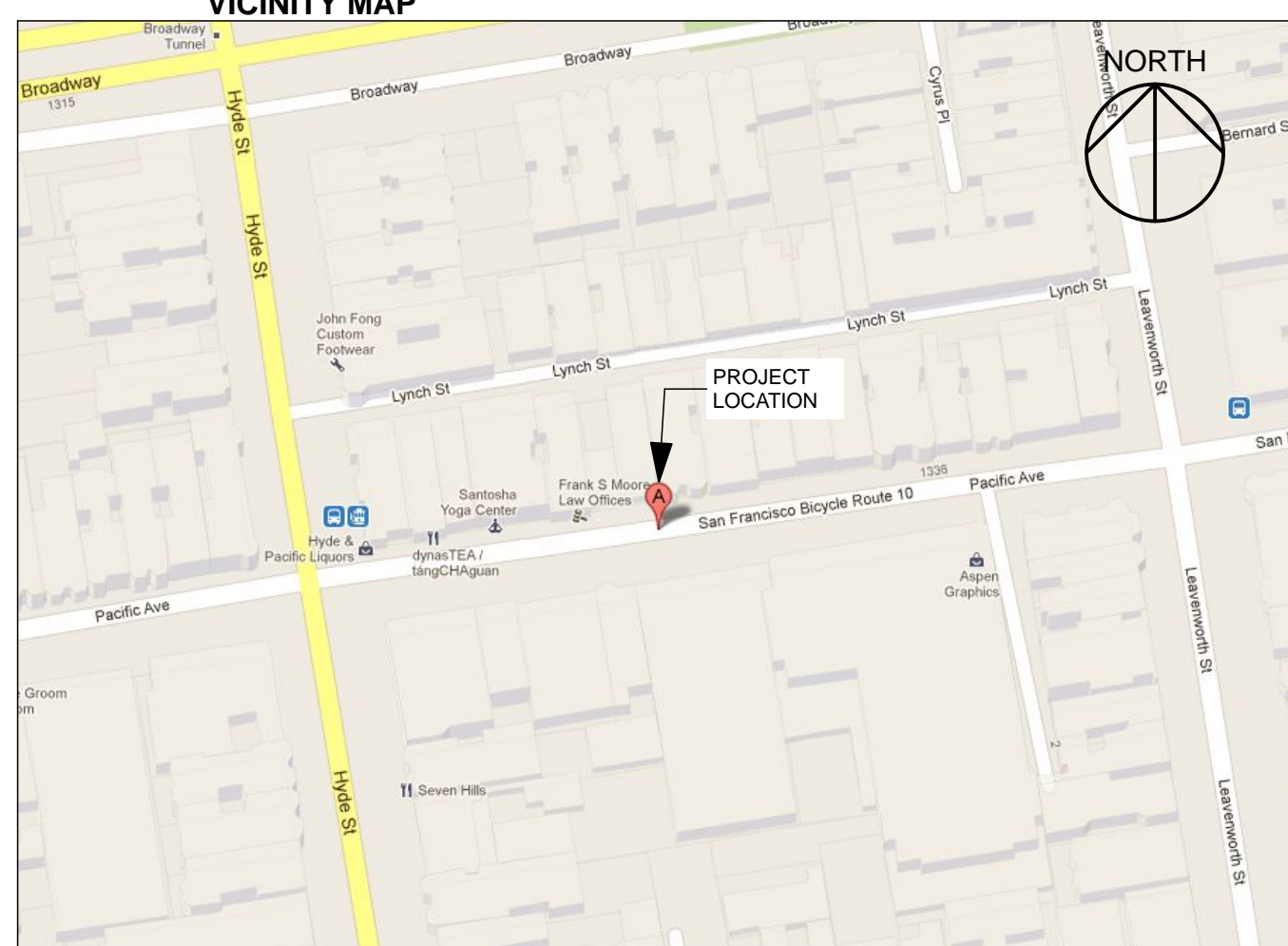
Earth Mechanics
360 Grand Avenue, Suite 262
Oakland, CA 94610
510.839.0765

Allen Gruen, GE
earthmech1@aol.com

STRUCTURAL

GENERAL CONTRACTOR

VICINITY MAP



SCOPE OF WORK

NEW MIXED-USE OCCUPANCY 4 STORY BUILDING. THREE LEVELS OF SINGLE FAMILY RESIDENTIAL R3 OCCUPANCY OVER COMMERCIAL B OCCUPANCY OVER BASEMENT/Private Garage.

PLANNING CODE SUMMARY

BLOCK & LOT: 0155/020

LOT SIZE: 20'-0" x 60'-0" = 1200sqft

ZONING: PACIFIC AVENUE NEIGHBORHOOD COMMERCIAL DISTRICT (NCD)

REAR YARD: SEC 134: BASIC REQUIREMENT: 45% REQUIRED.

SECTION 134 SUBSECTION (E): MODIFICATION OF REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS. THE REAR YARD REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS MAY BE MODIFIED OR WAIVED IN SPECIFIC SITUATIONS AS DESCRIBED IN THIS SUBSECTION (E).

(A) RESIDENTIAL USES ARE INCLUDED IN THE NEW OR EXPANDING DEVELOPMENT AND A COMPARABLE AMOUNT OF USABLE OPEN SPACE IS PROVIDED ELSEWHERE ON THE LOT OR WITHIN THE DEVELOPMENT WHERE IT IS MORE ACCESSIBLE TO THE RESIDENTS OF THE DEVELOPMENT; AND (B) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT SIGNIFICANTLY IMPEDE THE ACCESS OF LIGHT AND AIR TO AND VIEWS FROM ADJACENT PROPERTIES; AND (C) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT ADVERSELY AFFECT THE INTERIOR BLOCK OPEN SPACE FORMED BY THE REAR YARDS OF ADJACENT PROPERTIES.

HEIGHT LIMIT: 40'-X

OFF STREET PARKING: COMMERCIAL: NONE REQUIRED IF OCCUPIED FLOOR AREA IS LESS THAN 200SQFT. THEREFORE NONE RESIDENTIAL: 1 SPACE FOR EACH DWELLING UNIT.

USABLE OPEN SPACE (RESIDENTIAL): PER SFPC SEC. 135, 136; 100 SQ.FT. PER UNIT IF PRIVATE. 857 sqft PROVIDED

DWELLING UNIT DENSITY: PER SFPC SECTIONS, 207.4, 1 UNIT PER 1000 SQFT OF LOT AREA.

AFFORDABILITY REQUIREMENTS: PER SFPC SEC. 419.3, AFFORDABILITY REQUIREMENTS NOT APPLICABLE TO BUILDINGS WITH LESS THAN 5 DWELLING UNITS. BUILDING HAS 1 RESIDENTIAL DWELLING UNITS, THEREFORE NO AFFORDABILITY REQUIREMENT.

EXTERIOR AREA CALCS:

Table with 4 columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Basement, Story 1-4, and T.O. Roof for Exterior Gross Area.

BUILDING CODE SUMMARY

OCCUPANCY: R3/ B

AREA CALCS:

Table with 4 columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Story 1 for Commercial Interior Gross Area - B Occupancy.

Table with 4 columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Basement, Story 1-4, and T.O. Roof for Residential Interior Gross Area - R3 Occupancy.

TOTAL: 4,345 sq ft

Table with 4 columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Story 2-4 and T.O. Roof for Residential Open Space - R3 Occupancy.

OCCUPANT LOAD: R3 = 3421 SQFT/2200GROSS SQFT/OCCUPANT = 17 OCCUPANTS B = 912 SQFT/100 = 9 OCCUPANTS

NOTE: EACH OCCUPANCY HAS ITS OWN SEPARATE EXIT

CONSTRUCTION TYPE: VA

HEIGHT: - ALLOWABLE: 50'-0" PER CBC 2010 TABLE 503 + 20'-0" PER CBC 504.2 (AUTOMATIC SPRINKLER SYSTEM INCREASE) - PROPOSED: 40'-0"

STORIES: - ALLOWABLE: 3 PER TABLE 503 + 1 PER SEC. 504.2 = 4 STORIES - PROPOSED: 4 STORIES

NOTE: BUILDING IS EQUIPPED WITH THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1

MAXIMUM TRAVEL DISTANCE: - ALLOWABLE: 250'-0" PER CBC 2010 SEC.1016.1 - PROPOSED: 137'-0" FROM FURTHEST POINT ON ROOF DECK TO EXIT AT PACIFIC AVE.

EXITS: ONE EXIT REQUIRED PER CBC SEC. 1021.1 EXCEPTION 4

ACCESSIBILITY: ACCESSIBLE ROUTE AND ONE ACCESSIBLE RESTROOM PROVIDED PER CBC CHAPTER 11B WITHIN B OCCUPANCY. NO ACCESSIBILITY REQUIRED FOR LESS THAN 4 RESIDENTIAL UNITS PER CBC CHAPTER 11A.

ABBREVIATIONS

Table listing various abbreviations and their meanings, such as @ for centerline diameter, ABV for above, BLDG for building, and H for high.

APPLICABLE CODES
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 SAN FRANCISCO BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODE AMENDMENTS

SYMBOLS

REFERENCE SYMBOLS

Table of reference symbols including DEMO WALL, EXISTING WALL, NEW WALL, HIDDEN EDGE, DOOR SYMBOL, WINDOW SYMBOL, SKYLIGHT SYMBOL, WALL TYPE, GRID OR REFERENCE LINE, BUILDING OR WALL SECTION NO., DETAIL NO., ELEVATION NO., ROOM NO., LEVEL LINE OR DATUM, SPOT ELEVATION, PROPERTY LINE, NEW OR FINISHED CONTOURS, EXISTING CONTOURS.

ELECTRICAL/MECHANICAL SYMBOLS

Table of electrical/mechanical symbols including SINGLE ELECTRICAL OUTLET, DUPLEX OUTLET, FOURPLEX OUTLET, ELECTRICAL OUTLET, HALF-SWITCHED, ELECTRICAL OUTLET, FULLY SWITCHED, ELECTRICAL OUTLET FOR PICTURE LIGHT, 240V ELECTRICAL OUTLET, FLUSH FLOOR MOUNTED OUTLET, GROUND FAULT INTERRUPT, JUNCTION BOX, MULTI-FUNCTION SMOKE & CO DETECTOR, HEAT DETECTOR, AUTOMATIC SPRINKLER HEAD, DOOR BELL BUTTON, DOOR CHIME, GARAGE DOOR OPENER SWITCH, INTERCOM STATION, ALARM KEYPAD, MOTION DETECTOR, SPEAKER OUTLET, SCENE CONTROL MASTER UNIT, SCENE CONTROL REMOTE WALL STATION, STEAM UNIT CONTROL PANEL, PLUG MOLD, (1) RG6 QUAD, (1) 24/4 PAIR CAT-6, (1) CAT-6 & (1) RG6 QUAD, (2) CAT-6 & (2) RG6 QUAD, HDMI, (1) 24/4 PAIR CAT-3, COLD WATER CONNECTION, HOT WATER CONNECTION, CENTRAL VACUUM, GAS OUTLET, HOSE BIB, FLOOR DRAIN, DOWNSPOUT, THERMOSTAT, SUPPLY AIR REGISTER AT WALL OR TOE SPACE, SUPPLY AIR REGISTER AT FLOOR, SUPPLY AIR REGISTER AT CEILING, RETURN AIR GRILL AT WALL, RETURN AIR GRILL AT FLOOR, RETURN AIR GRILL AT CEILING, EXHAUST FAN, EXHAUST FAN/ LIGHT UNIT, CEILING FAN.

DRAWING INDEX

ARCHITECTURAL

Table mapping drawing IDs to drawing names: A0.00 COVER SHEET, A0.01 CONCEPTUAL IMAGES, A0.03 SITE SURVEY, A0.05 SITE CONTEXT, A1.00 SITE PLAN, A2.00 BASEMENT-2ND PLANS, A2.01 3RD-ROOF PLANS, A6.00 ELEVATIONS, A6.01 ELEVATIONS, A7.00 BUILDING SECTIONS.

GENERAL NOTES

- 1. CODES: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE OAKLAND AND CALIFORNIA CODES...
2. EXISTING CONDITIONS AND DIMENSIONS: CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON SITE...
3. PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER...
4. DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS.
5. CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION...
6. INSTALLATION: ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS...

rg-architecture .COM

855 FOLSOM STREET, #330
SAN FRANCISCO, CA 94107
415.699.3640
mail@rg-architecture.com



REVISIONS

NO. DATE ISSUE

01.02.14 - PLANNING REVISIONS

ISSUE

ISSUE FOR PERMIT 08.06.13

OWNER

Mr. Harold Tang & Family

1364 Pacific Ave

San Francisco, CA 94109
0155/020

SCALE

AS NOTED

DRAWN BY

RG

CHECKED BY

RG

PROJECT NO.

201209

DATE

1/2/14

COVER SHEET

DRAWING NO.

A0.00



Pacific Ave Sketch
 SCALE: 1:100 .1



Lynch Street Sketch
 SCALE: 1:86.96 .2

REVISIONS

NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
 ISSUE FOR PERMIT 08.06.13

OWNER
 Mr. Harold Tang & Family

1364 Pacific Ave

San Francisco, CA 94109
 0155/020

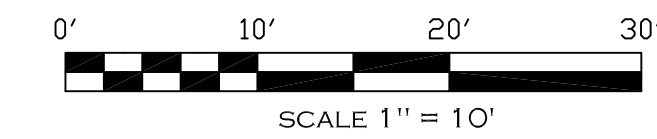
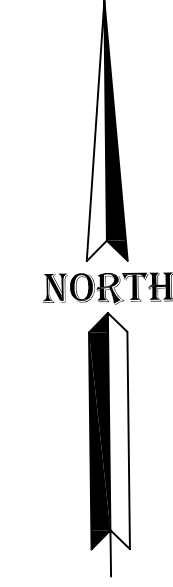
SCALE
 AS NOTED
DRAWN BY
 RG
CHECKED BY
 RG
PROJECT NO.
 201209
DATE
 1/2/14

CONCEPTUAL IMAGES

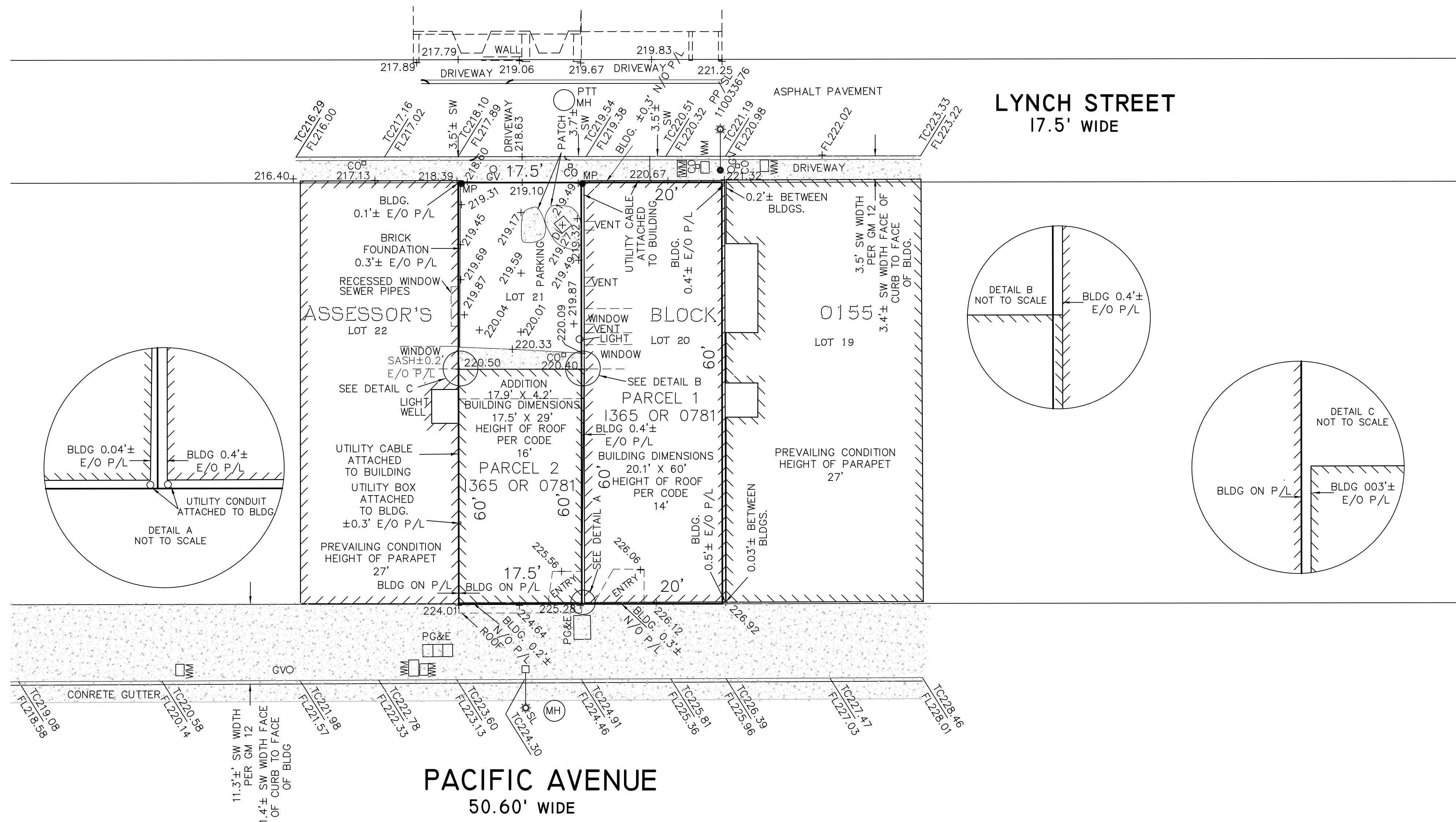
DRAWING NO.
A0.01

USE OF THE PROVIDED ELECTRONIC FILES CONSTITUTES YOUR ACKNOWLEDGEMENT AND ACCEPTANCE OF THE FOLLOWING TERMS AND CONDITIONS:

1. WE MAKE NO REPRESENTATIONS AS TO THE COMPATIBILITY OF THESE FILES WITH YOUR HARDWARE OR SOFTWARE. YOU ACKNOWLEDGE THAT ANOMALIES AND ERRORS CAN BE INTRODUCED INTO THE FILES WHEN THEY ARE TRANSFERRED OR USED IN CONJUNCTION WITH INCOMPATIBLE COMPUTER EQUIPMENT OR SOFTWARE. YOU ACKNOWLEDGE AND SOLELY ACCEPT THE RISKS ASSOCIATED WITH AND/OR THE RESPONSIBILITY FOR ANY DAMAGES TO HARDWARE, SOFTWARE OR COMPUTER SYSTEMS OR NETWORKS RELATED TO ANY USE OF THE FILES. THE FILES ARE BEING FURNISHED "AS IS". WE ARE NOT RESPONSIBLE FOR ANY DAMAGES DONE BY ANY VIRUS OR SIMILAR TYPE PROGRAMS THAT MAY BE RESIDE WITH THESE FILES WITHOUT OUR KNOWLEDGE.
2. DATA CONTAINED ON THESE ELECTRONIC FILES ARE INSTRUMENTS OF OUR PROFESSIONAL SERVICES AND SHALL NOT BE USED BY YOU OR ANYONE ELSE RECEIVING THEM THROUGH OR FROM YOU FOR ANY PURPOSE OTHER THAN AS A CONVENIENCE FOR THE 1364-1370 PACIFIC AVENUE, SAN FRANCISCO, CALIFORNIA PROJECT. ANY OTHER USE OR REUSE BY YOU OR BY OTHERS WILL BE AT YOUR SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO US. YOU AGREE TO MAKE NO CLAIM AND HERBY WAIVE, TO THE FULLEST EXTENT PERMITTED BY LAW, ANY CLAIM OR CAUSE OF ACTION OF ANY NATURE AGAINST, OUR OFFICERS, DIRECTORS, EMPLOYEES, AGENTS OR SUBCONSULTANTS THAT MAY ARISE OUT OF OR IN CONNECTION WITH YOUR USE OF THE ELECTRONIC FILES.
3. YOU SHALL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY, AND HOLD US HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS ARISING OUT OF OR RESULTING FROM YOUR USE OF THESE ELECTRONIC FILES.
4. THIS ELECTRONIC DRAWING FILE IS NOT A CONSTRUCTION DOCUMENT. DIFFERENCES MAY EXIST BETWEEN THIS ELECTRONIC FILE AND CORRESPONDING HARD-COPY CONSTRUCTION DOCUMENTS. WE MAKE NO REPRESENTATION REGARDING THE ACCURACY OR COMPLETENESS OF THE ELECTRONIC FILE YOU RECEIVE. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SIGNED OR SEALED HARD-COPY CONSTRUCTION DOCUMENTS PREPARED BY US AND THE ELECTRONIC FILES, THE SIGNED OR SEALED HARD-COPY CONSTRUCTION DOCUMENTS SHALL GOVERN. YOU ARE RESPONSIBLE FOR DETERMINING IF ANY CONFLICT EXISTS.
5. YOUR USE OF THESE ELECTRONIC FILES DOES NOT RELIEVE YOU OF YOUR DUTY TO FULLY COMPLY WITH THE CONTRACT DOCUMENTS INCLUDING, AND WITHOUT LIMITATION, THE NEED TO CHECK, CONFIRM AND COORDINATE ALL DIMENSIONS AND DETAILS, TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS AND COORDINATE YOUR WORK.
6. BECAUSE INFORMATION PRESENTED ON THE ELECTRONIC FILES CAN BE MODIFIED, UNINTENTIONALLY OR OTHERWISE, WE RESERVE THE RIGHT TO REMOVE ALL REFERENCES OF OWNERSHIP AND/OR INVOLVEMENT BY SAN FRANCISCO SURVEYING COMPANY FROM THEM. UNDER NO CIRCUMSTANCES SHALL DELIVERY OF ELECTRONIC FILES FOR USE BY YOU BE DEEMED A SALE BY US, AND WE MAKE NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE. IN NO EVENT SHALL WE BE LIABLE FOR ANY LOSS OF PROFIT OR ANY CONSEQUENTIAL DAMAGES AS A RESULT OF YOUR USE OF REUSE OF THESE ELECTRONIC FILES



SAN FRANCISCO SURVEYING COMPANY, INC.
 201 HARRISON STREET STE 828
 SAN FRANCISCO, CALIFORNIA, 94105
 415-321-9300
 WWW.SANFRANCISCO SURVEYINGCOMPANY.COM



LYNCH STREET
 17.5' WIDE

PACIFIC AVENUE
 50.60' WIDE

NOTES :

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
 ROOF HEIGHTS ALONG PACIFIC AVENUE FOR THE SUBJECT SITE ARE CALCULATED PER MUNICIPAL CODE AND ARE THE DIFFERENCE IN THE ELEVATION BETWEEN THE MIDPOINT ELEVATION OF THE TOP OF CURB AND THE MID POINT OF THE ROOF. NO ACCESS TO THE ROOFS OF THE ADJOINING PROPERTIES WAS PROVIDED. THE HEIGHTS SHOWN FOR ADJOINERS IS THE DIFFERENCE IN ELEVATION OF THE MID POINT OF THE TOP OF CURB AND THE PARAPET. THESE HEIGHTS ARE PROVIDED AS AN INDICATION OF PREVAILING CONDITIONS.

DATE OF SURVEY :

TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED UPON A FIELD SURVEY ACTUALLY PERFORMED UPON THE GROUND IN THE MONTHS OF 11, 12/2012 AND 1, 2/2013

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON BASED UPON A FIELD SURVEY ACTUALLY PERFORMED ON THE GROUND. THE UNDERGROUND UTILITY LOCATIONS ARE SHOWN BASED UPON OBSERVABLE SURFACE EVIDENCE (CONDITIONS PERMITTING). THE OWNER AND/OR CONTRACTOR BEARS THE RESPONSIBILITY FOR ADDITIONAL UTILITY RESEARCH AND FIELD SURVEYING REQUIRED TO PROVIDE NECESSARY DESIGN DATA PRIOR TO DESIGN AND CONSTRUCTION.

PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED UPON CITY AND COUNTY OF SAN FRANCISCO DATUM (SEPTEMBER 1970) INTERSECTION HYDE BROADWAY NW CUT CROSS E RIM MH IN WALK ELEVATION= 190.237'.

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE _____

DANE M INCE
 LICENSE NO. 8142
 LICENSE EXPIRES 12/31/2014

LEGEND :

- BLDG BUILDING
- CO CLEAN OUT
- DI DRAIN INLET
- E/O EAST OF
- FL FLOWLINE
- GV GAS VALVE
- MH MAN HOLE
- MP METAL POST
- N/O NORTH OF
- P/L PROPERTY LINE
- P/P POWER POLE
- PG&E PACIFIC GAS AND ELECTRIC
- PTT PACIFIC TELEPHONE AND TELEGRAPH
- S/O SOUTH OF
- S/I STREET LIGHT
- TC TOP OF CURB
- W/O WEST OF
- WM WATER METER
- + 241.14 SPOT ELEVATION
- PROPERTY LINE
- SW SIDEWALK
- GM GRADE MAP

SURVEY REFERENCE:

THE BOUNDARY SURVEY IS BASED UPON THE GRANT DEED SHOWN HEREON. ADDITIONAL DOCUMENTATION REVIEWED AND CONSIDERED:
 BLOCK DIAGRAMS 0151, 0152, 0153, 0154, 0155, 156
 0183, 0184, 0185
 PARCEL MAP NO. 4494
 PARCEL MAP NO. 5197
 PARCEL MAP NO. 5525
 PARCEL MAP NO. 6151
 PARCEL MAP OF 72-74 LYNCH STREET
 PARCEL MAP OF 1385-1387 PACIFIC AVENUE
 CCSF MONUMENT MAP 12
 CCSF GRADE MAP 12
 MONUMENT OF THE FIFTY VARA DISTRICT APPROVED AND MADE OFFICIAL 11/29/1909
 SUPERCEDED MONUMENT MAP 1933 W-8-16
 CCSF FIELD NOTES INDEX NO. 154 ORDER NO 13423M

MAP OF SURVEY

THE LANDS OF HAROLD YU CHUN TANG AND CONNIE YEE K. TANG AS DESCRIBED BY DEED RECORDED IN DOCUMENT NO. 2003-H409706-00 APRIL 14, 2003 REEL I365 IMAGE 0781 OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
 ASSESSOR'S BLOCK 0155, LOTS 20, 21 A PORTION OF THE 50 VARA BLOCK 271
 1364-1370 PACIFIC AVENUE



VIEW LOOKING WEST ON PACIFIC AVE

A



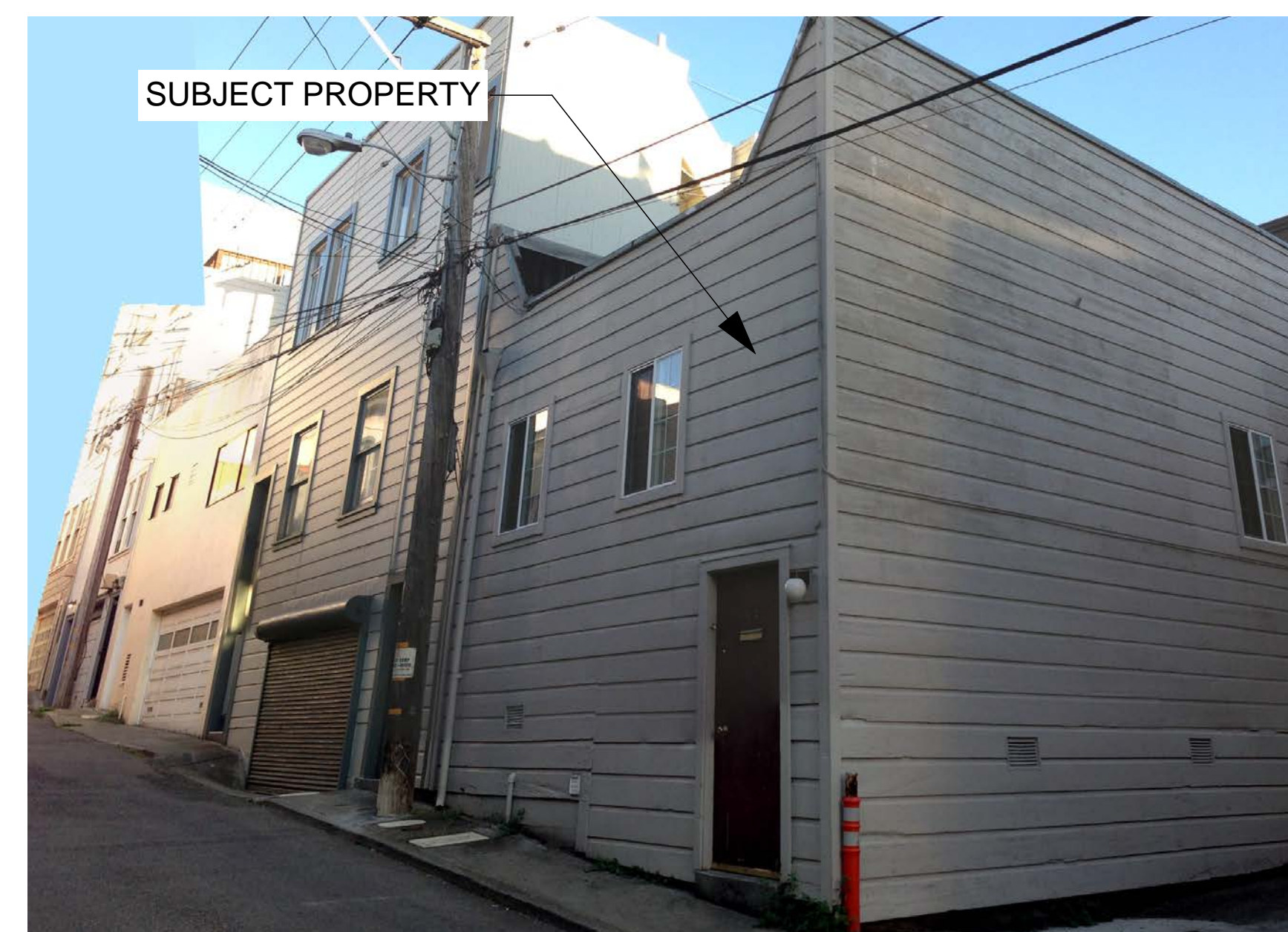
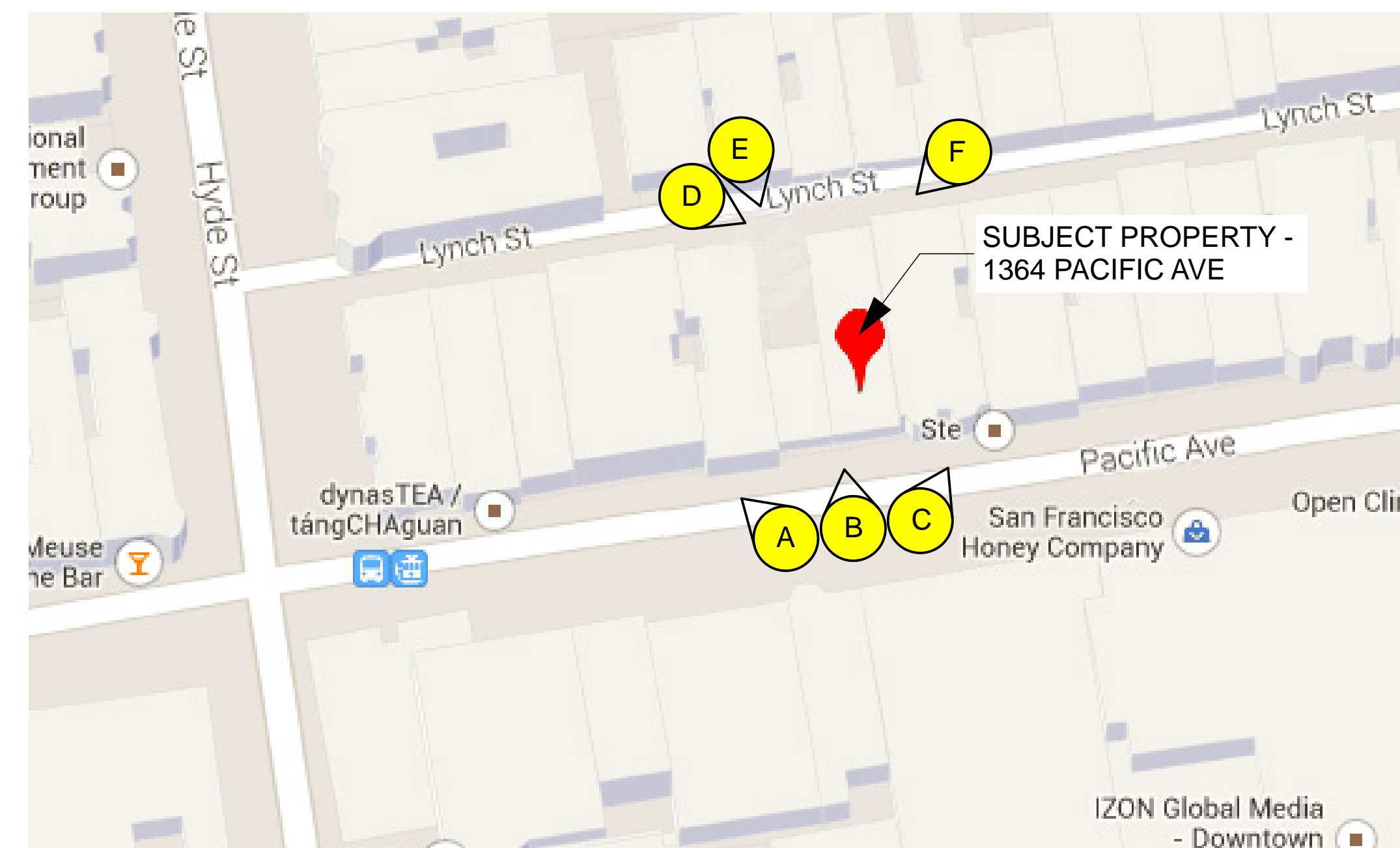
VIEW LOOKING AT FACADE OF SUBJECT PROPERTY

B



VIEW LOOKING EAST ON PACIFIC AVE

C



VIEW LOOKING EAST ON LYNCH ALLEY

D



VIEW OF SUBJECT PROPERTY ON LYNCH ALLEY

E



VIEW LOOKING WEST ON LYNCH ALLEY

F



REVISIONS
NO. DATE ISSUE

NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
ISSUE FOR PERMIT 08.06.13

OWNER
Mr. Harold Tang & Family

1364 Pacific Ave

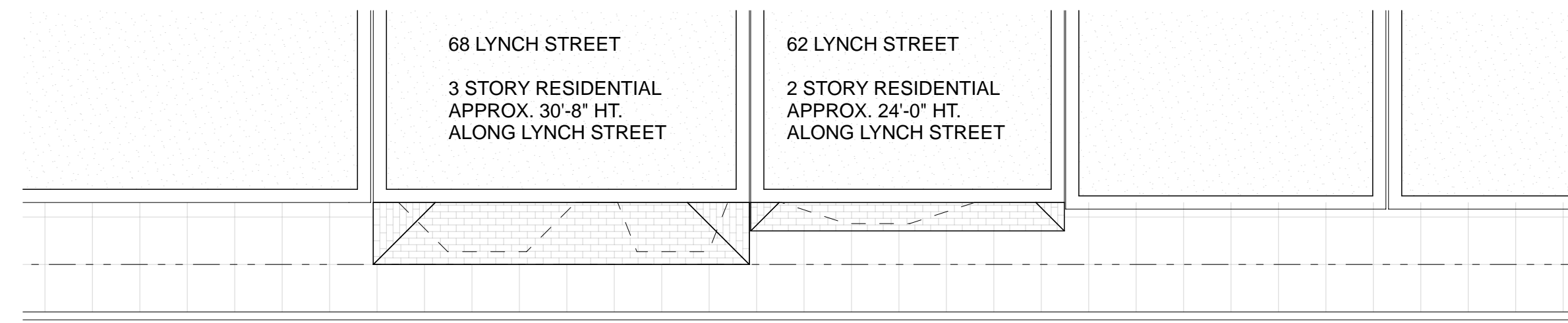
San Francisco, CA 94109
0155/020

SCALE
AS NOTED
DRAWN BY
RG
CHECKED BY
RG
PROJECT NO.
201209
DATE
1/2/14

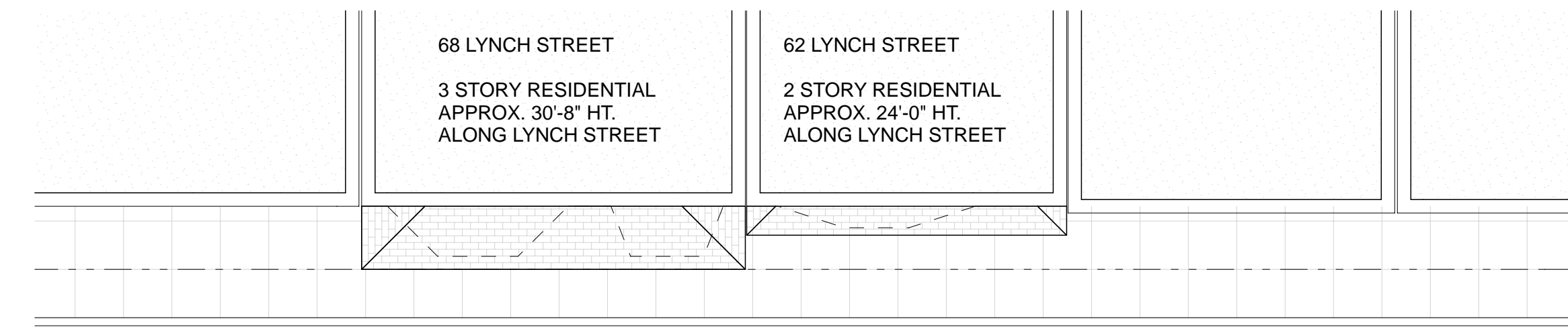
SITE CONTEXT

DRAWING NO.

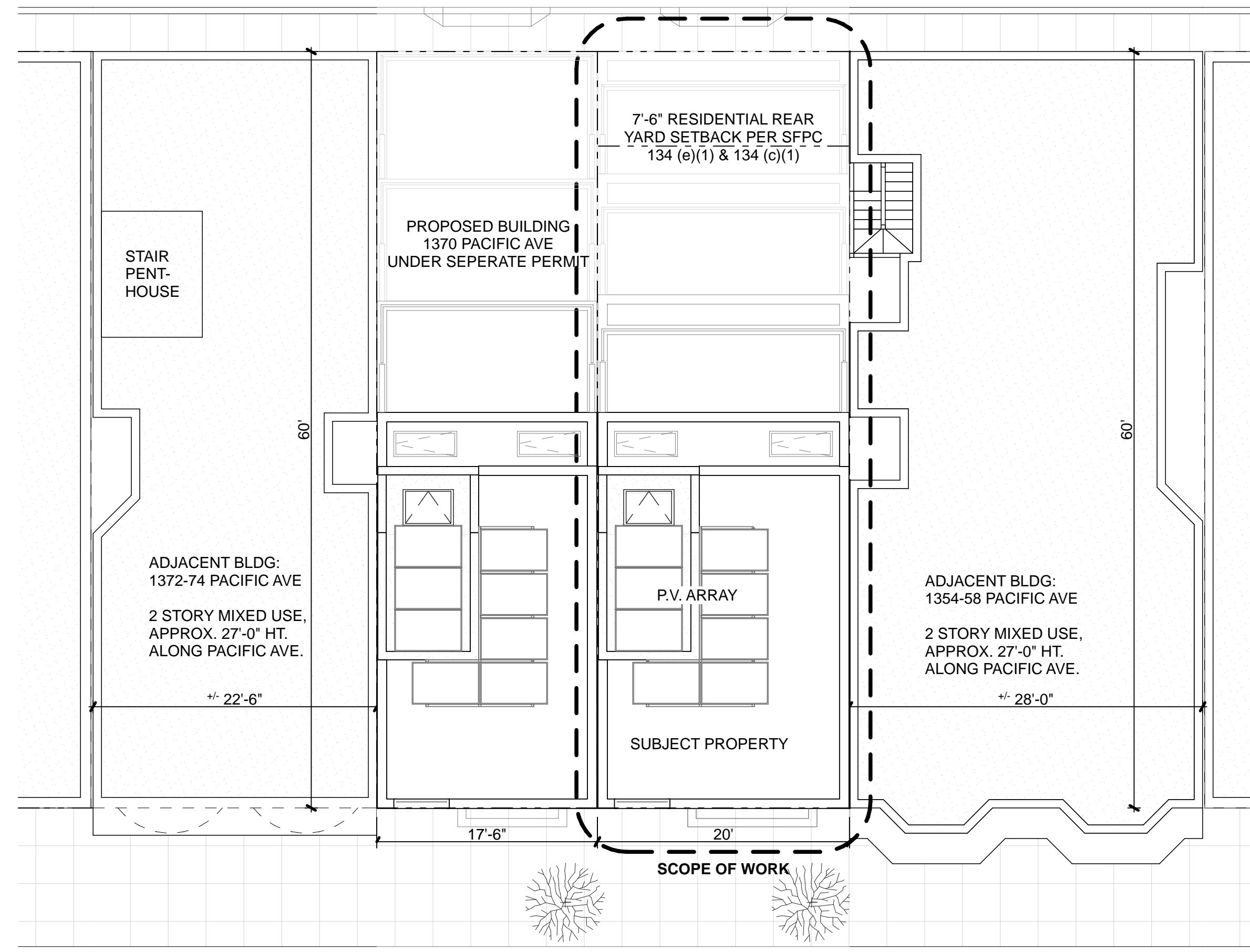
A0.05



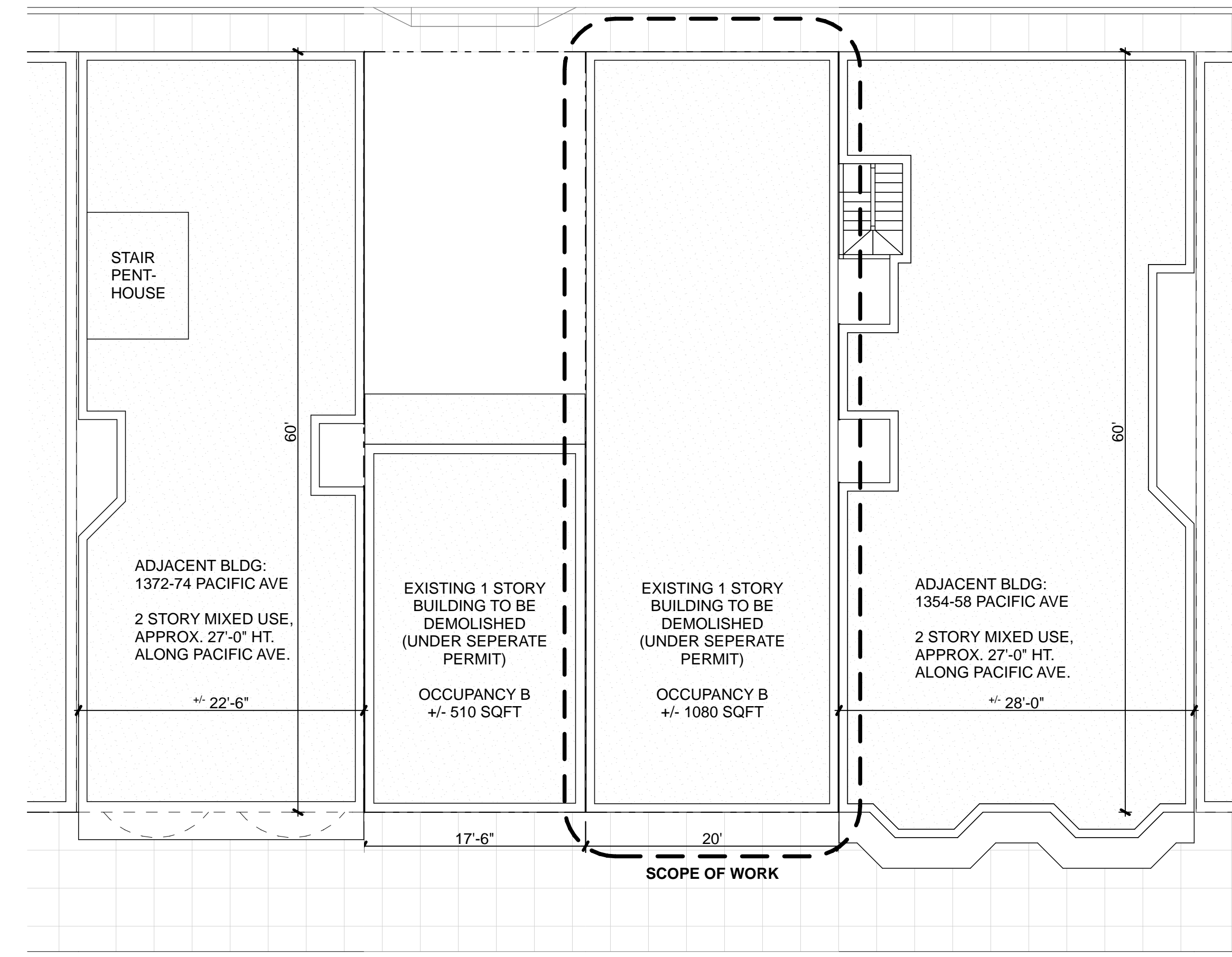
LYNCH STREET (17.50' WIDE)



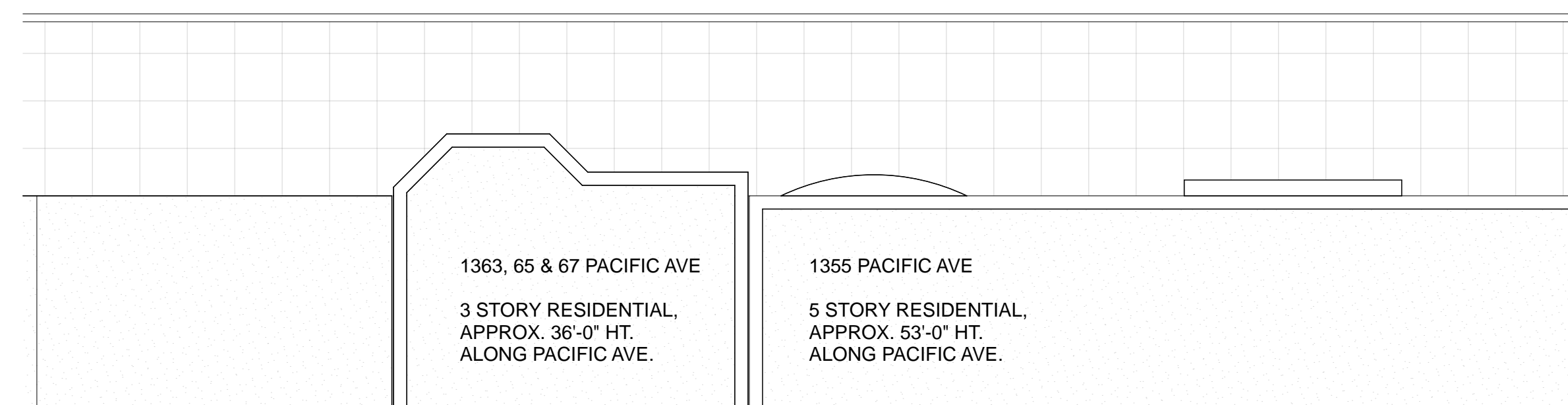
LYNCH STREET (17.50' WIDE)



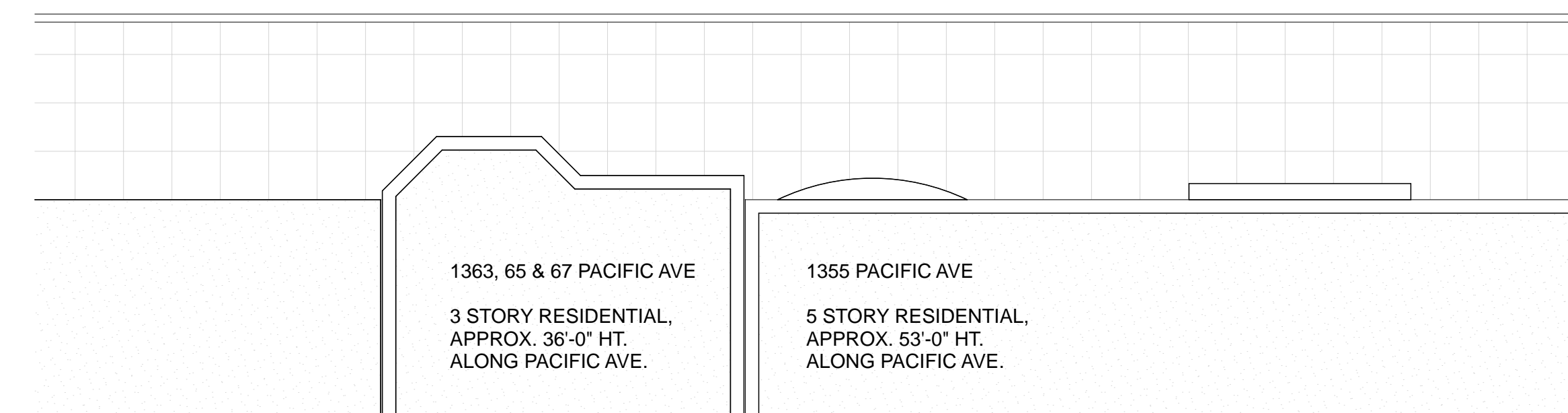
PACIFIC AVE (50.60' WIDE)



PACIFIC AVE (50.60' WIDE)



SITE PLAN
SCALE: 1/8" = 1'-0" 02



SITE PLAN (E)
SCALE: 1/8" = 1'-0" 01

REVISIONS	NO.	DATE	ISSUE
01.02.14 - PLANNING REVISIONS			

ISSUE
ISSUE FOR PERMIT 08.06.13

OWNER
Mr. Harold Tang & Family

1364 Pacific Ave

San Francisco, CA 94109
0155/020

SCALE
AS NOTED

DRAWN BY
RG

CHECKED BY
RG

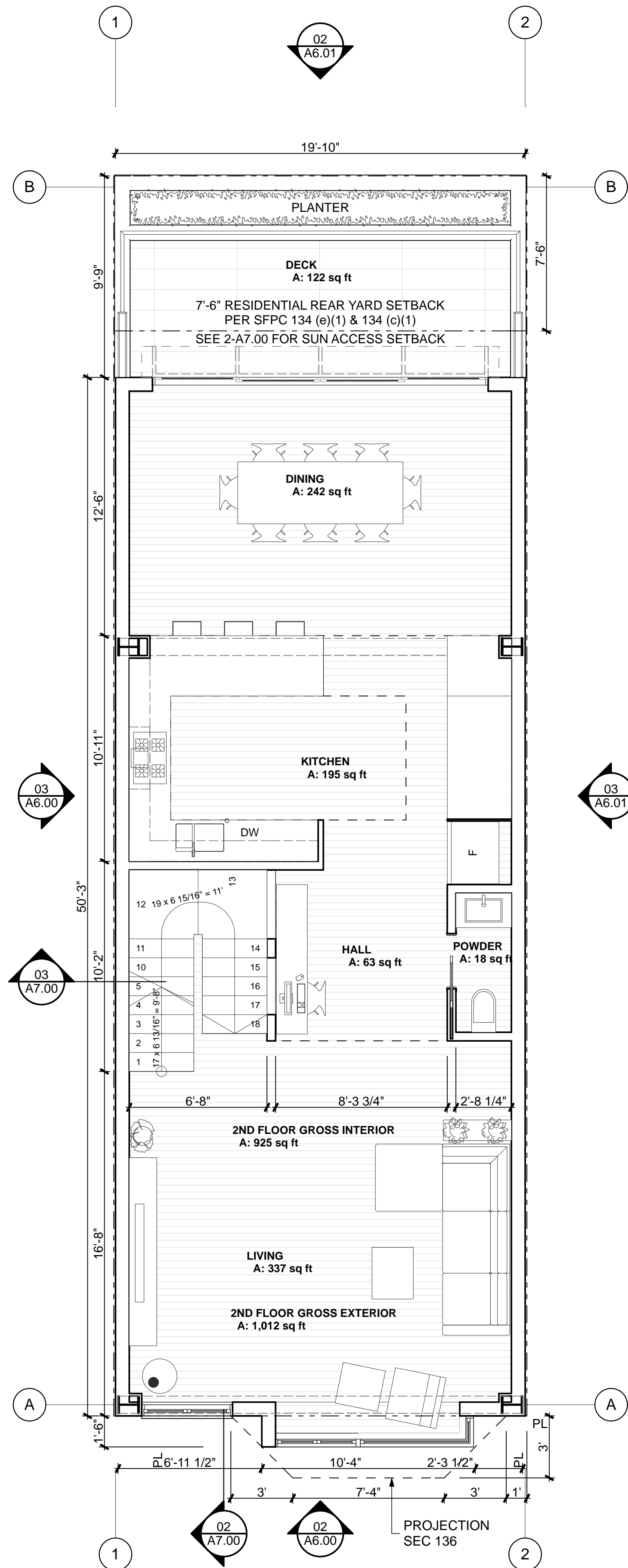
PROJECT NO.
201209

DATE
1/2/14

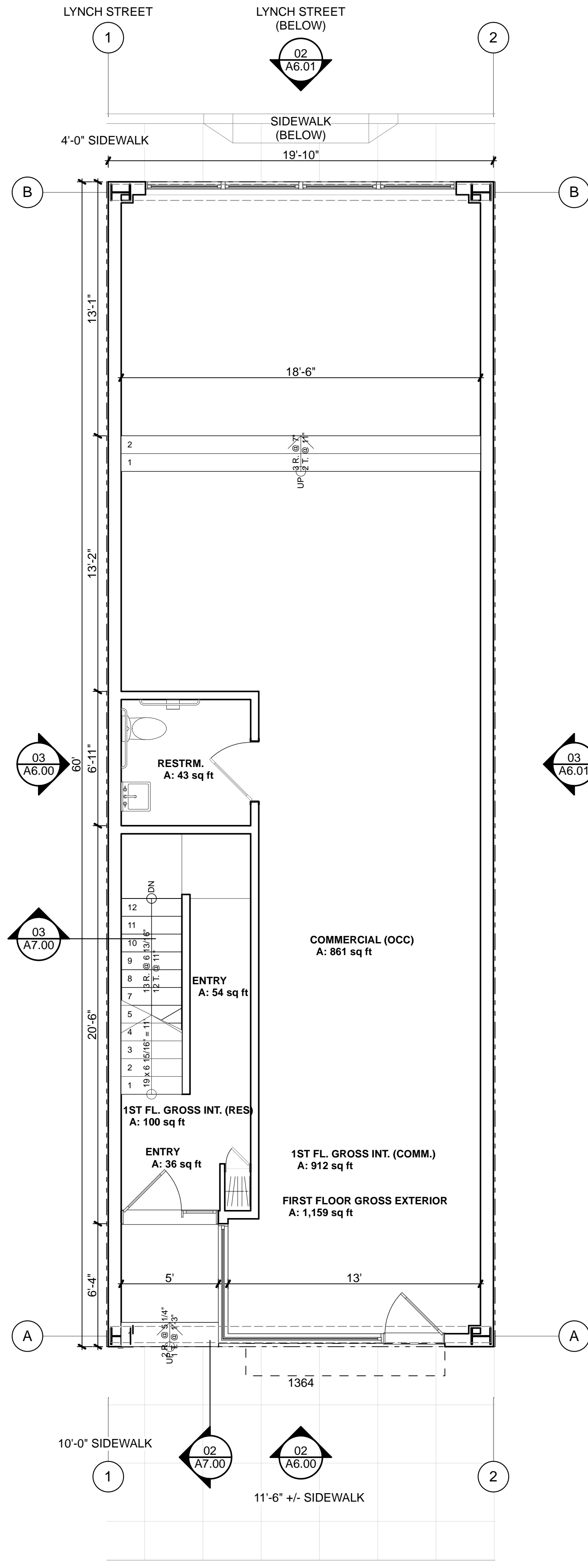
SITE PLAN

DRAWING NO.

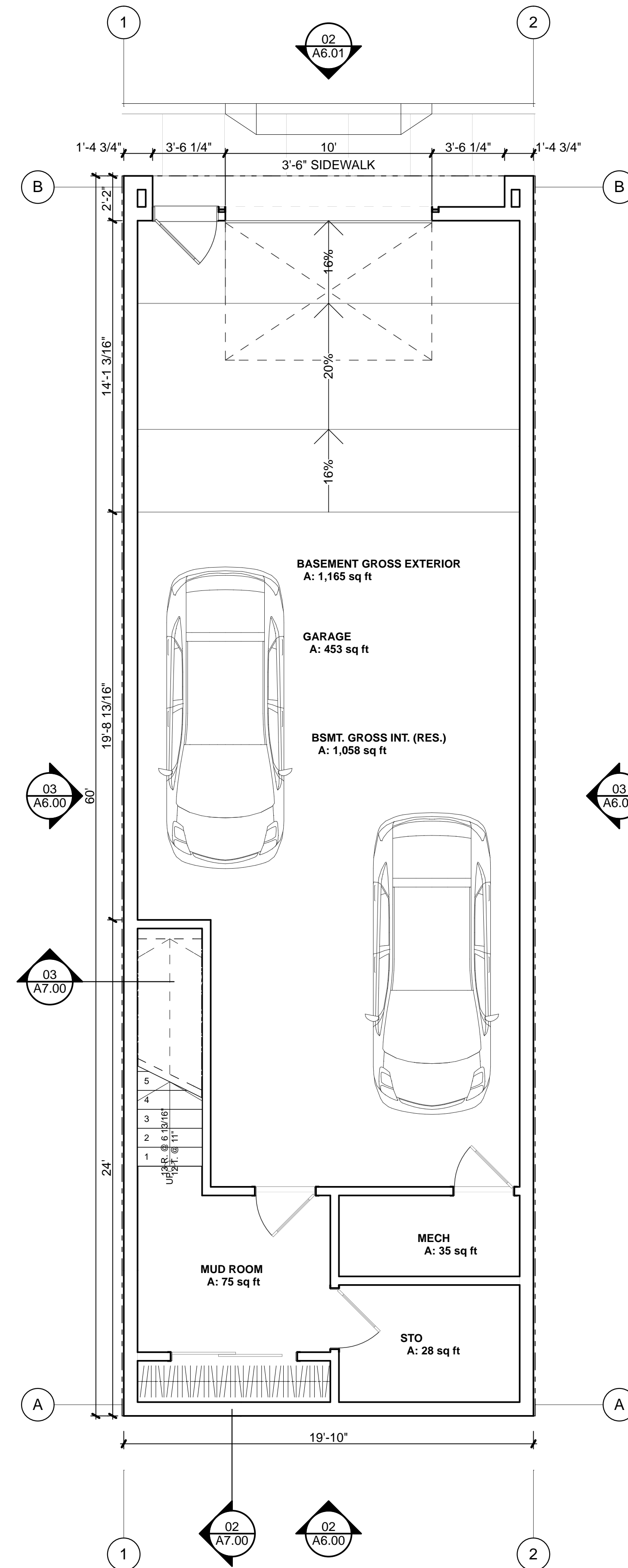
A1.00



STORY 2
SCALE: 1/4" = 1'-0" 03



STORY 1
SCALE: 1/4" = 1'-0" 02



BASEMENT
SCALE: 1/4" = 1'-0" 01

REVISIONS

NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
ISSUE FOR PERMIT 08.06.13

OWNER
Mr. Harold Tang & Family

1364 Pacific Ave

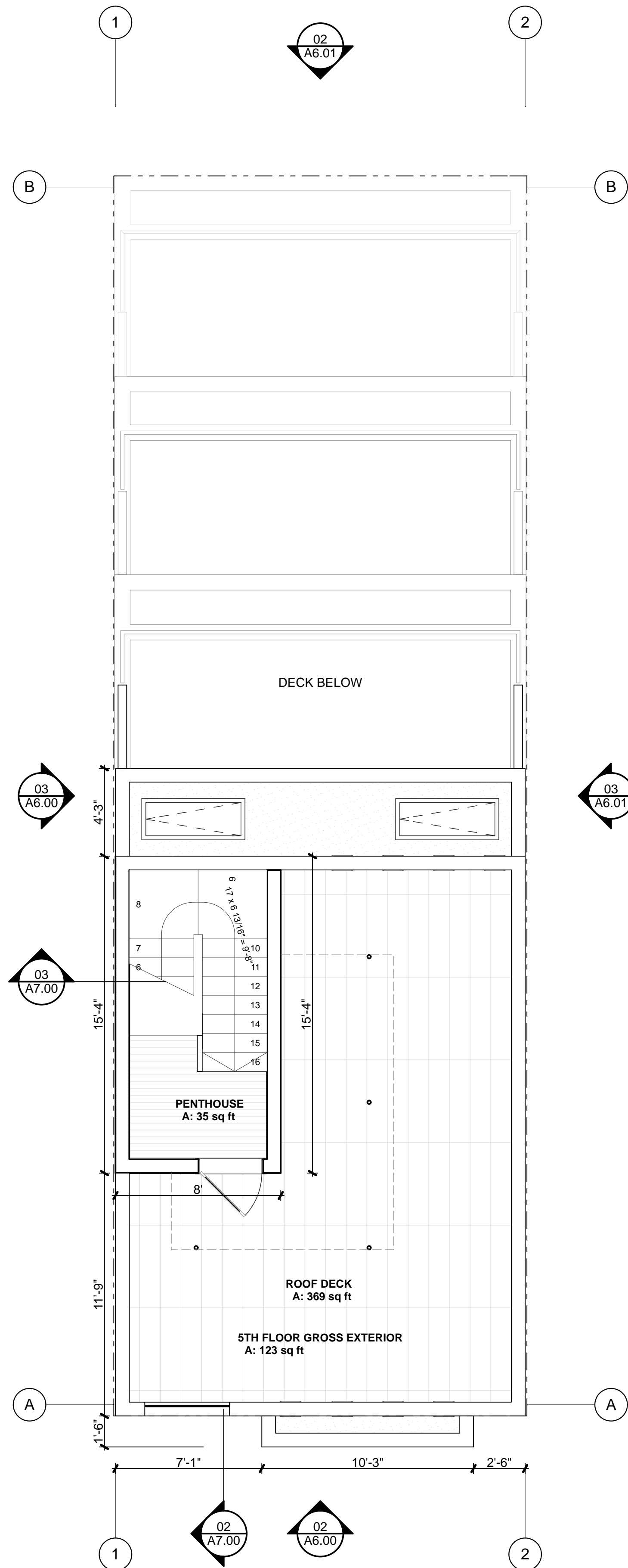
San Francisco, CA 94109
0155/020

SCALE
AS NOTED
DRAWN BY
RG
CHECKED BY
RG
PROJECT NO.
201209
DATE
12/14

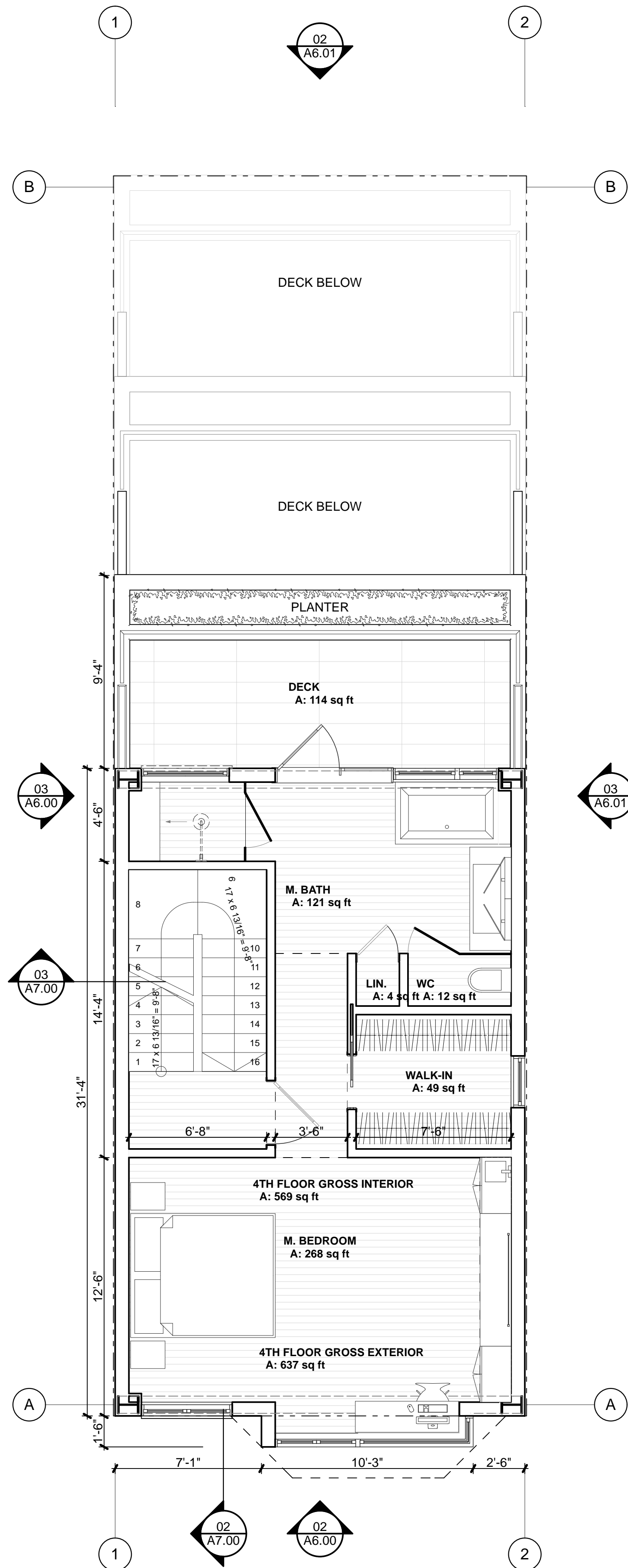
BASEMENT-2ND
PLANS

DRAWING NO.

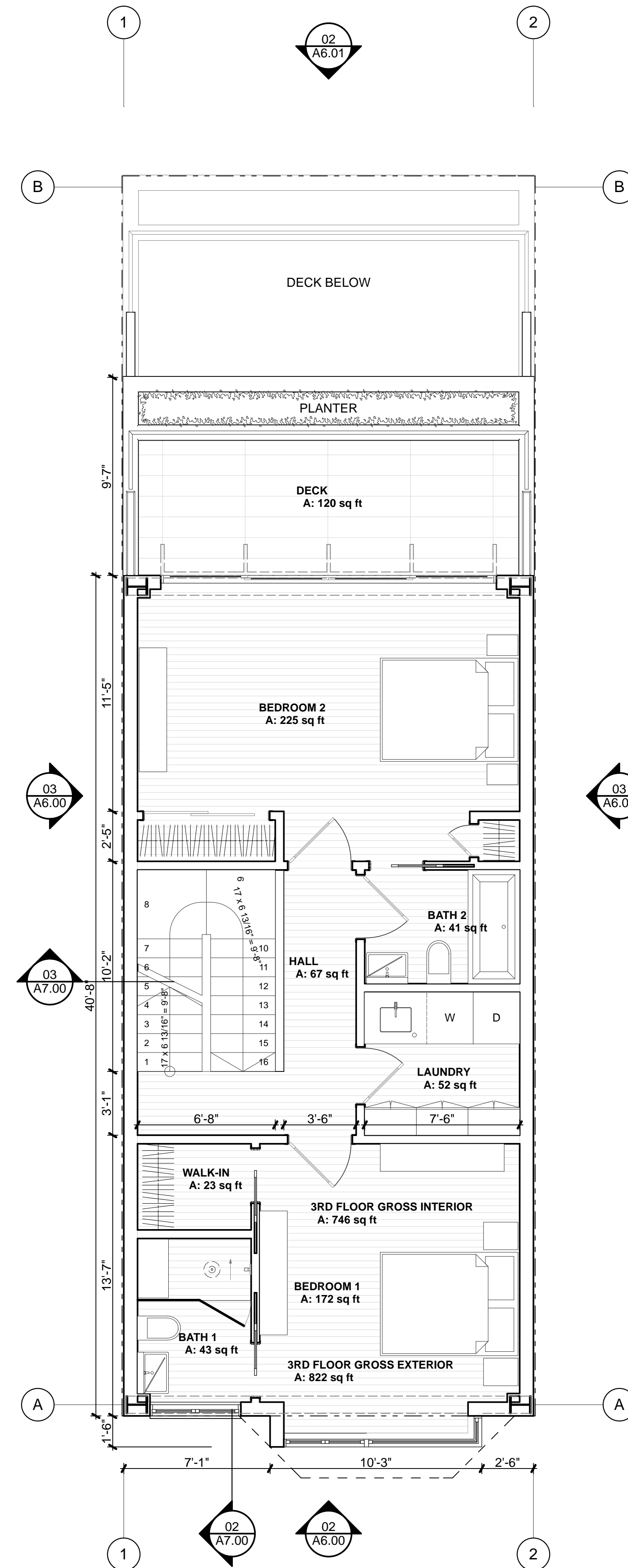
A2.00



ROOF
SCALE: 1/4" = 1'-0" (03)



STORY 4
SCALE: 1/4" = 1'-0" (02)



STORY 3
SCALE: 1/4" = 1'-0" (01)

REVISIONS

NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
ISSUE FOR PERMIT 08.06.13

OWNER
Mr. Harold Tang & Family

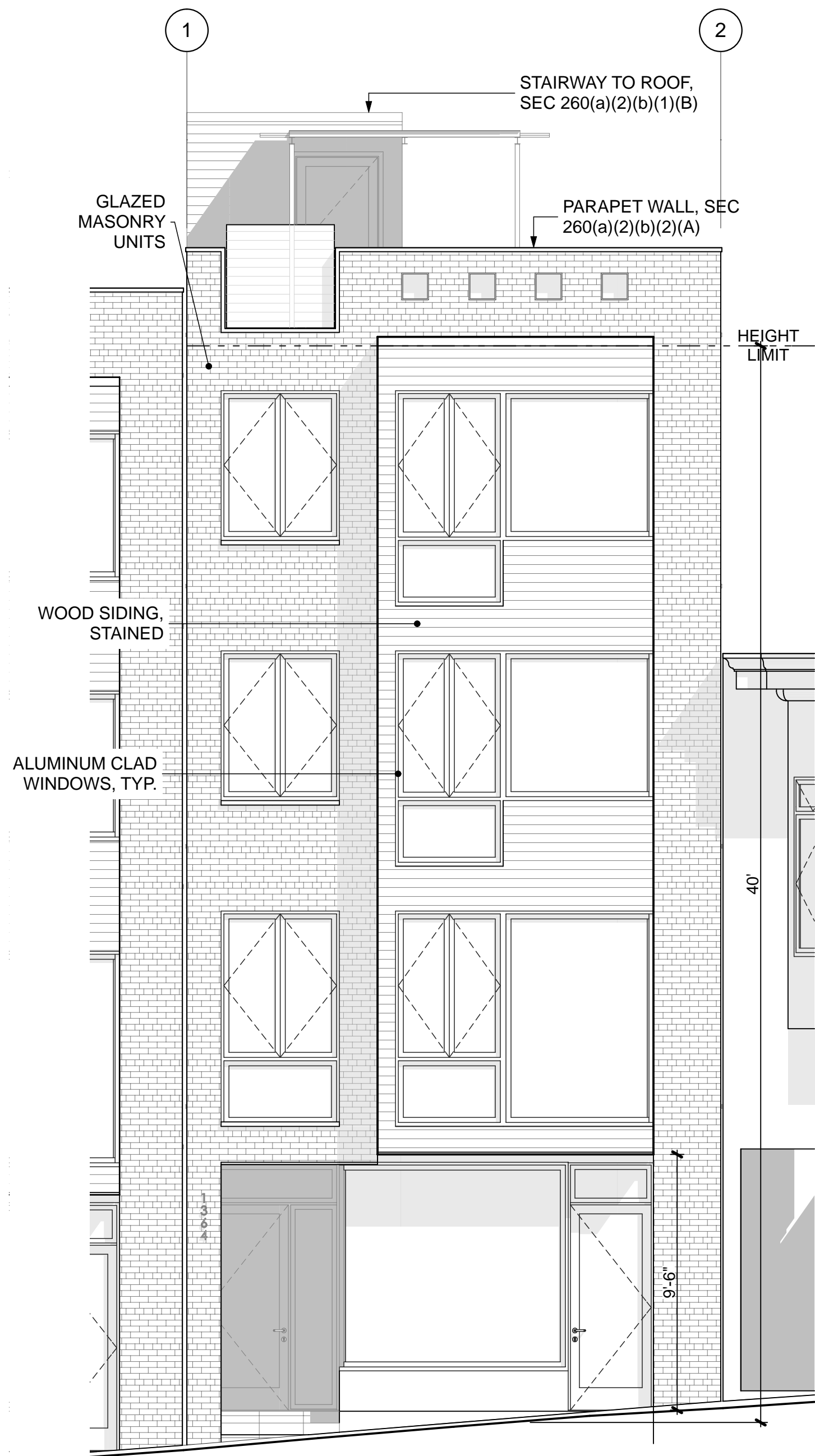
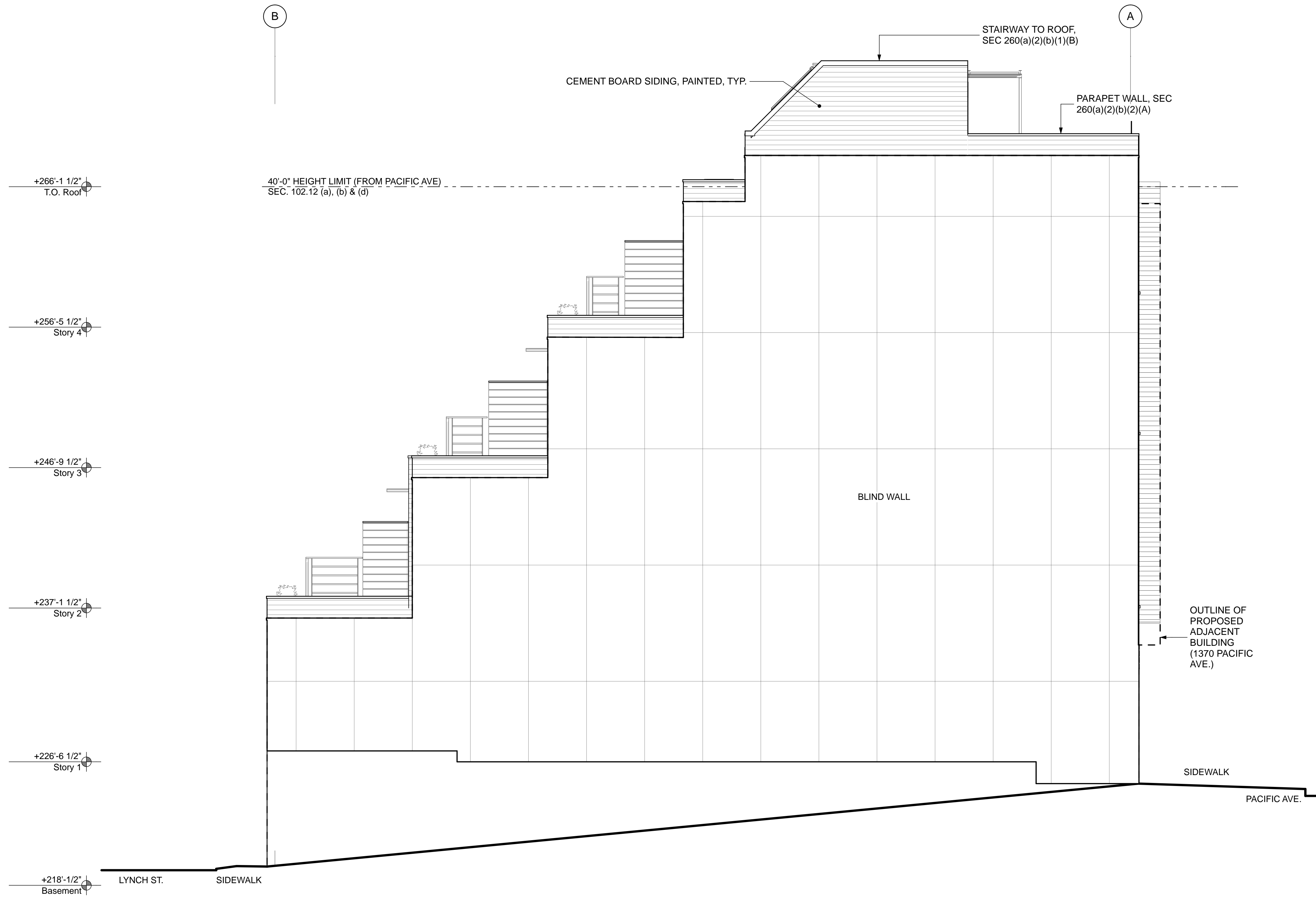
1364 Pacific Ave

San Francisco, CA 94109
0155/020

SCALE
AS NOTED
DRAWN BY
RG
CHECKED BY
RG
PROJECT NO.
201209
DATE
12/14

3RD-ROOF PLANS

DRAWING NO.
A2.01



REVISIONS NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
 ISSUE FOR PERMIT 08.06.13

OWNER
 Mr. Harold Tang & Family

1364 Pacific Ave
 San Francisco, CA 94109
 0155/020

SCALE
 AS NOTED
 DRAWN BY
 RG
 CHECKED BY
 RG
 PROJECT NO.
 201209
 DATE
 1/2/14

ELEVATIONS

DRAWING NO.

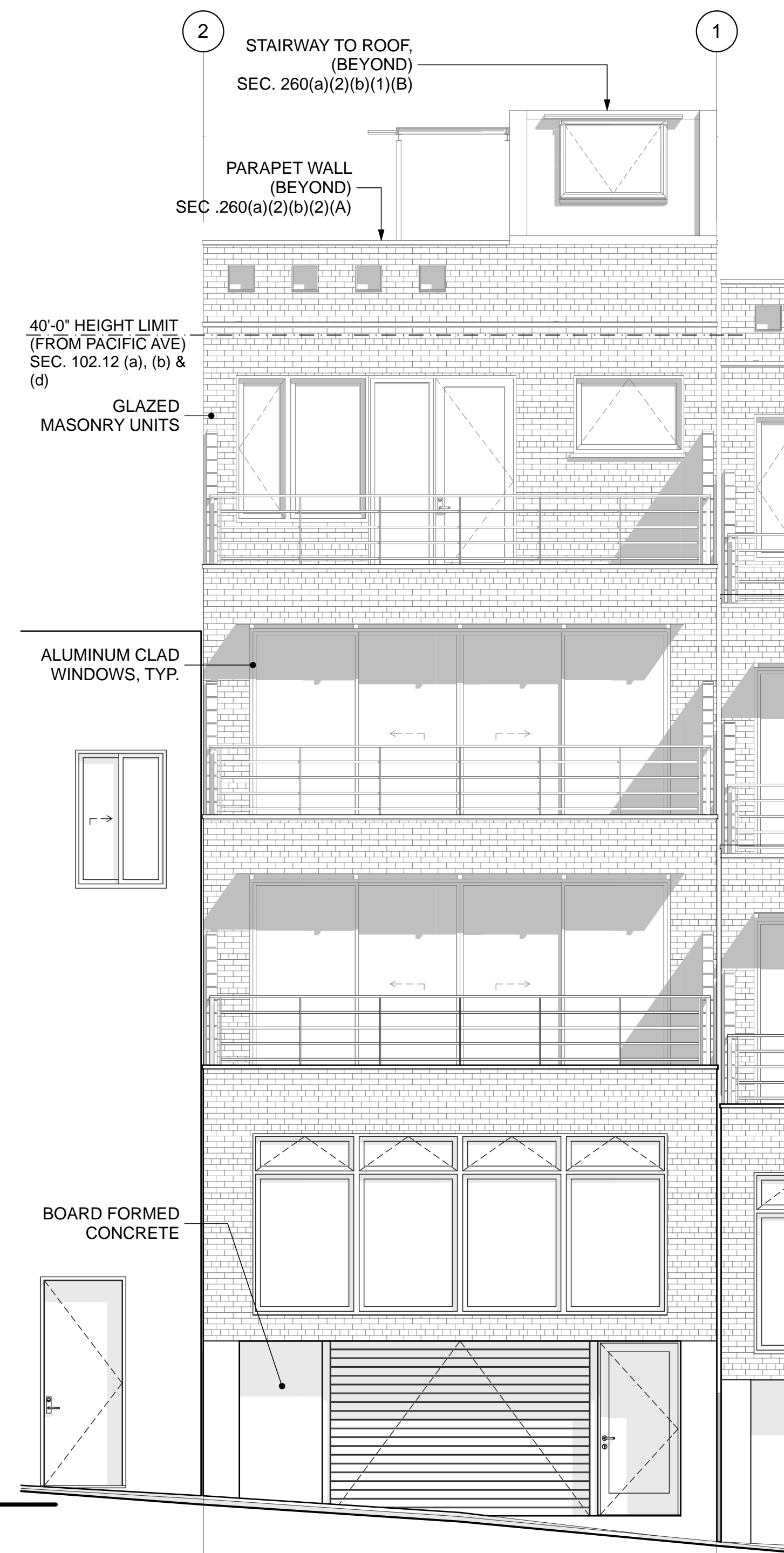
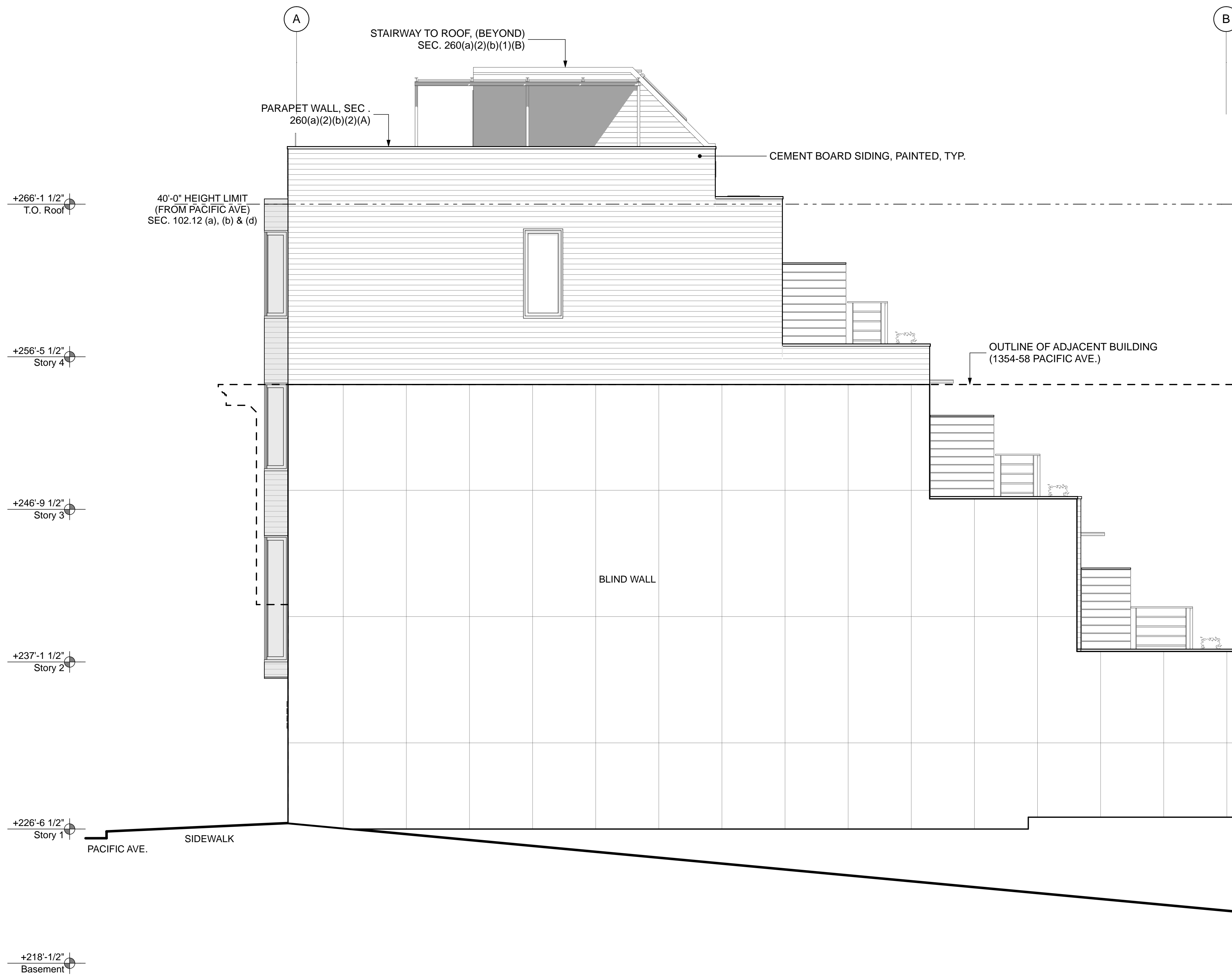
A6.00

WEST ELEVATION (1370)
 SCALE: 1/4" = 1'-0"

03

SOUTH ELEVATION (PACIFIC)
 SCALE: 1/4" = 1'-0"

02



EAST ELEVATION (1370)
 SCALE: 1/4" = 1'-0"

03

NORTH ELEVATION (LYNCH)
 SCALE: 1/4" = 1'-0"

02

NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
 ISSUE FOR PERMIT 08.06.13

OWNER
 Mr. Harold Tang & Family

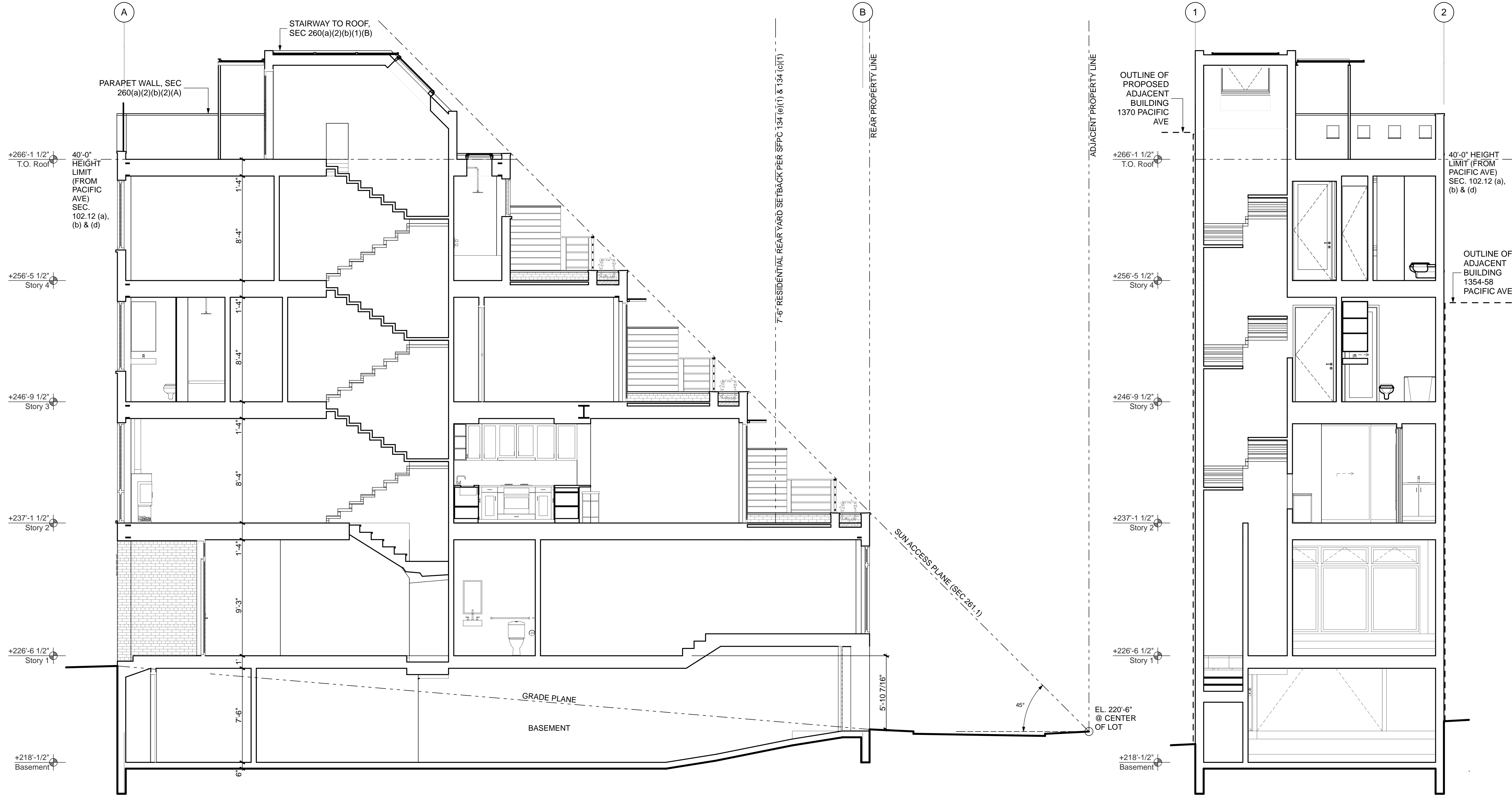
1364 Pacific Ave
 San Francisco, CA 94109
 0155/020

SCALE
 AS NOTED
 DRAWN BY
 RG
 CHECKED BY
 RG
 PROJECT NO.
 201209
 DATE
 1/2/14

ELEVATIONS

DRAWING NO.

A6.01



NO.	DATE	ISSUE
01.02.14		PLANNING REVISIONS

ISSUE
ISSUE FOR PERMIT 08.06.13

OWNER
Mr. Harold Tang & Family

1364 Pacific Ave
San Francisco, CA 94109
0155/020

SCALE
AS NOTED
DRAWN BY
RG
CHECKED BY
RG
PROJECT NO.
201209
DATE
1/2/14

BUILDING SECTIONS

DRAWING NO.
A7.00

SECTION (1370)
SCALE: 1/4" = 1'-0" 02

SECTION (1370)
SCALE: 1/4" = 1'-0" 03