



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 04, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard, Open Space and Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>5000 Mission St</b>	Case No.:	<b>2013.0555V</b>
Cross Street(s):	<b>Bertita St and Seneca Ave</b>	Building Permit:	<b>2013.07.30.3164</b>
Block / Lot No.:	<b>6968/008</b>	Applicant/Agent:	<b>Brett Gladstone</b>
Zoning District(s):	<b>NC-3 / 40-X</b>	Telephone:	<b>415-995-5065</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>bgladstone@hansonbridgett.com</b>

### PROJECT DESCRIPTION

The proposal includes legalizing two dwelling units that currently exist on the second story of a two-story mixed use building. Legalization of the units requires variances for rear yard and open space for both units and exposure for the rear unit. No off-street parking is currently provided on site, and none is proposed; therefore, an administrative parking waiver is also being sought.

**PER SECTION 134 OF THE PLANNING CODE**, the property is required to maintain a rear yard of approximately to 22 feet, 8 inches to 21 feet, 10 inches. The existing building extends approximately 11 to 14 feet into the required rear yard; therefore, the proposal to legalize the existing dwelling units on the upper floor will require a variance from the rear yard requirements.

**PER SECTION 135(d) OF THE PLANNING CODE**, the subject property is required to maintain 80 square feet of private open space per unit or 1.33 square feet for each one square foot of private usable open space if the open space common. The two units have a requirement of 212.8 square feet of common open space, which is satisfied in the rear yard, however the units do not have independent access to the rear yard. As such, the legalization of the dwelling units requires a variance from the open space requirement of the Planning Code

**PER SECTION 140 OF THE PLANNING CODE**, the subject property is required to have windows of each unit face directly on an open area. Since the rear yard of the subject property is not code compliant, the rear unit does not meet the exposure requirements. As such, the rear unit requires a variance from the exposure requirement of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Jessica Look** Telephone: **415.575.6812** Mail: [jessica.look@sfgov.org](mailto:jessica.look@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0555V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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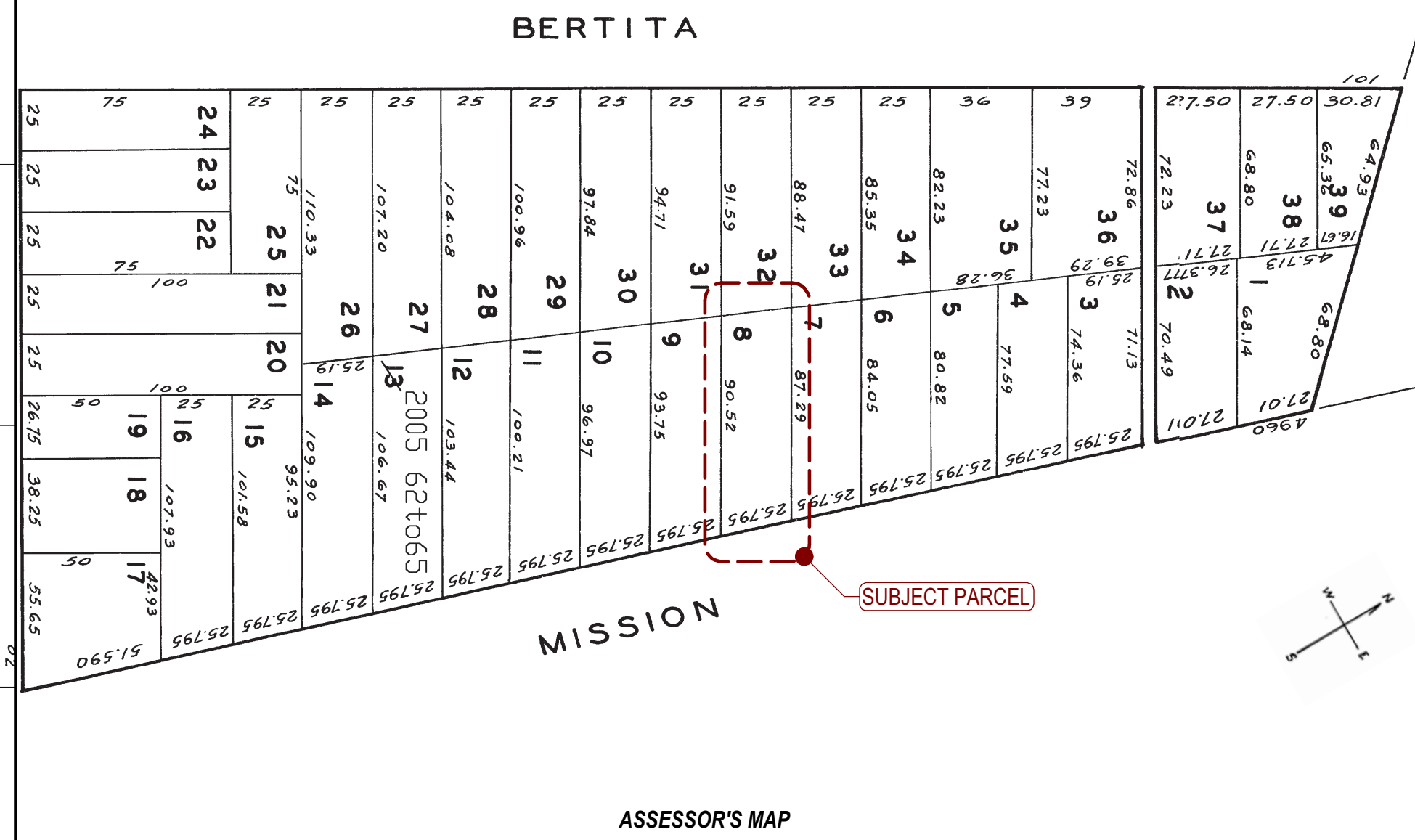
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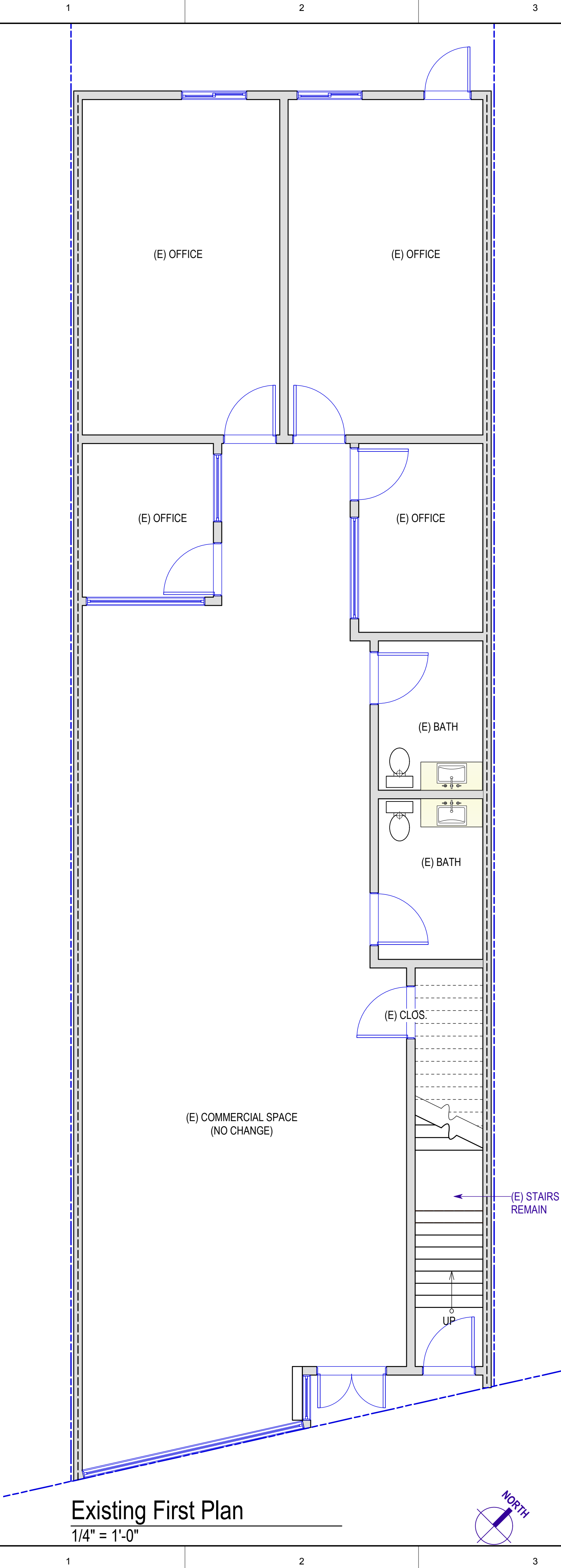
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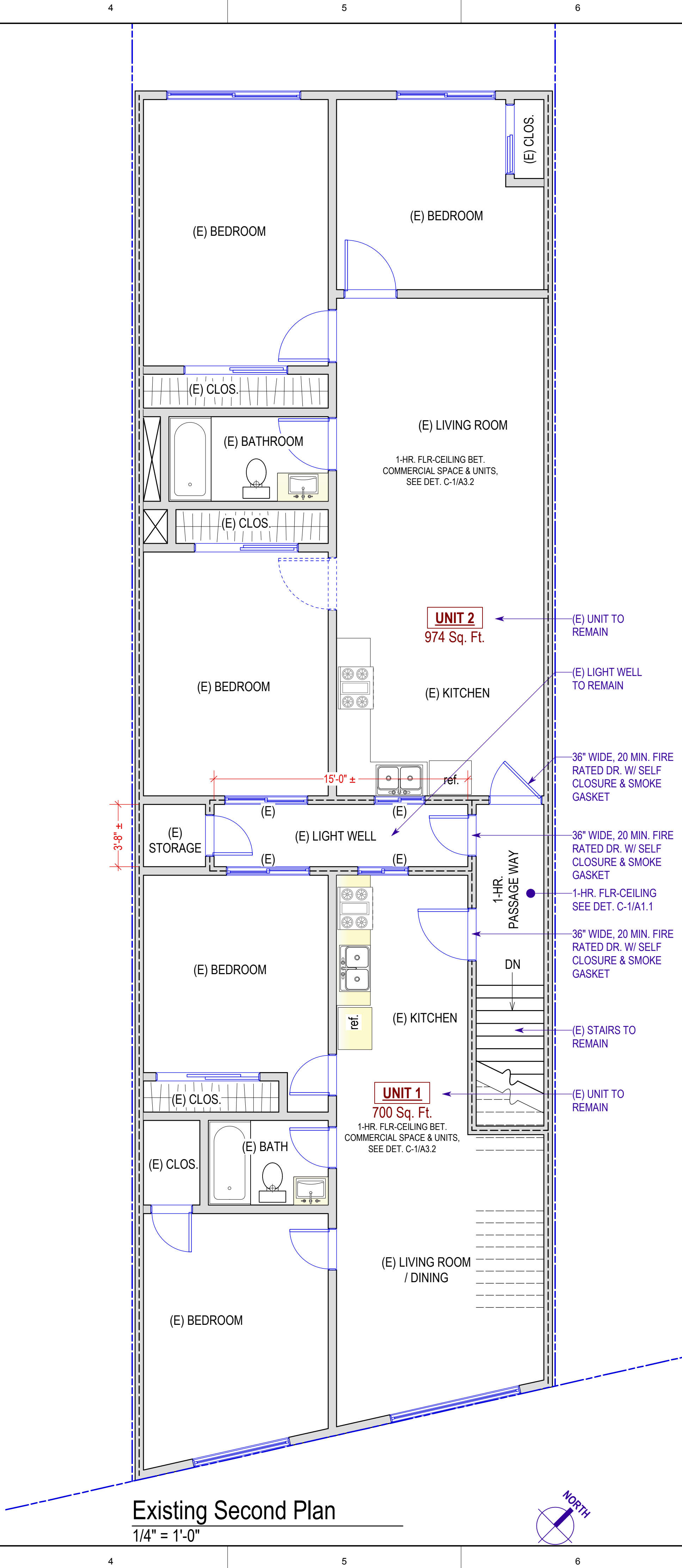
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<p>1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.</p> <p>2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL..</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK, VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.</p> <p>5. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.</p> <p>6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.</p> <p>7. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.</p> <p>8. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.</p> <p>9. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.</p> <p>11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.</p> <p>12. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.</p> <p>13. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF , OR INSTALLATION OF ANY ITEM OF WORK.</p> <p>14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS, PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.</p> <p>15. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.</p> <p>16. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.</p> <p>17. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.</p> <p>18. ALL NEW SMOKE DETECTORS TO E HARD WIRED.</p>			1. CONVERSION OF AN EXISTING COMMERCIAL SPACE TO TWO RESIDENTIAL UNITS OVER AN EXISTING COMMERCIAL UNIT			<p><u>ARCHITECTURAL</u></p> <p>A-0.1 COVER SHEET</p> <p>A-1.1 SITE PLANS, &amp; NOTES</p> <p>A-2.1 EXISTING FLOOR PLANS</p> <p>A-3.1 BUILDING ELEVATIONS (FRONT &amp; REAR)</p> <p>A-3.2 BUILDING ELEVATIONS (LEFT &amp; RIGHT)</p> <p>A-4.1 BUILDING SECTIONS, &amp; DETAILS</p> <p>GP-0.1 GREEN BUILDING CHECKLIST</p>			5000 Mission Street SAN FRANCISCO, CA																																																																																																																																																																																																																																																																																							
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SCALE</td></tr><tr><td>CLR</td><td>CLEAR</td><td>O.C.</td><td>ON CENTER</td></tr><tr><td>CNTR</td><td>COUNTER</td><td>OFF</td><td>OFFICE</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>OH</td><td>OPPOSITE HAND</td></tr><tr><td>COL</td><td>COLUMN</td><td>OZ</td><td>OUNCE</td></tr><tr><td>COMPR</td><td>COMPRESSIBLE</td><td>PCC</td><td>PRE-CAST CONCRETE</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>P.L</td><td>PROPERTY LINE</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>PLUMB</td><td>PLUMBING</td></tr><tr><td>CORR</td><td>CORRIDOR</td><td>PLYD</td><td>PLYWOOD</td></tr><tr><td>CPT</td><td>CARPET</td><td>PT</td><td>PRESSURE TREATED</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>PNT</td><td>PAINT/PAINTED</td></tr><tr><td>CTR</td><td>CENTER</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>CTYD</td><td>COURTYARD</td><td>RBR</td><td>RUBBER</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>RCP</td><td>REFLECTED CEILING 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HANDICAPPED	&	AND	HI	HIGH	@	AT	HM	HOLLOW METAL	ABV	ABOVE	HP	HIGH POINT	ACT	ACOUSTIC CEILING TILE	HR	HOURL	AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	AFF	ABOVE FINISHED FLOOR		IMPACT RESISTANT	ALUM	ALUMINUM	IRGWB	GYPSPUM WALLBOARD	APPROX	APPROXIMATE		IN LIEU OF	ANOD	ANODIZED	ILO	INSULATED	ASPH	ASPHALT	INT	INTERIOR	BD	BOARD	LO	LOW	BLDG	BUILDING	MAX	MAXIMUM	BLKG	BLOCKING	MECH	MECHANICAL	BOT	BOTTOM	MEMBR	MEMBRANE	BSMT	BASEMENT	MIN	MINIMUM	BST	BOTTOM OF STAIRS	MO	MASONRY OPENING	BYND	BEYOND	MTL	METAL	CIP	CAST IN PLACE	(N)	NEW	CHNL	CHANNEL	NIC	NOT IN CONTRACT	CJ	CONTROL JOINT	NO	NUMBER	CLG	CEILING	NOM	NOMINAL	CLO	CLOSET	N.T.S.	NOT TO SCALE	CLR	CLEAR	O.C.	ON CENTER	CNTR	COUNTER	OFF	OFFICE	CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND	COL	COLUMN	OZ	OUNCE	COMPR	COMPRESSIBLE	PCC	PRE-CAST CONCRETE	CONC	CONCRETE	P.L	PROPERTY LINE	CONT	CONTINUOUS	PLUMB	PLUMBING	CORR	CORRIDOR	PLYD	PLYWOOD	CPT	CARPET	PT	PRESSURE TREATED	CT	CERAMIC TILE	PNT	PAINT/PAINTED	CTR	CENTER	PVC	POLYVINYL CHLORIDE	CTYD	COURTYARD	RBR	RUBBER	DBL	DOUBLE	RCP	REFLECTED CEILING PLAN	DEMO	DEMOLISH	RD	ROOF DRAIN	DET	DETAIL	RDWD	REDWOOD	D.F.	DRINKING FOUNTAIN	REQD	REQUIRED	DIA	DIAMETER	RM	ROOM	DIMS	DIMENSIONS	S.F.	SQUARE FOOT	DN	DOWN	SIM	SIMILIAR	DR	DOOR	SPEC	SPECIFIED OR SPECIFICATION	DWG	DRAWING	SPK	SPRINKLER	(E)	EXISTING	SSTL	STAINLESS STEEL	EA	EACH	STC	SOUND TRANSMISSION COEFFICIENT	EL	ELEVATION		STANDARD	ELEC	ELECTRICAL	STD	STEEL	ELEV	ELEVATOR/ELEVATION	STL	STRUCTURAL	EQ	EQUAL	STRUCT	SQUARE	EXT	EXTERIOR	SQ.	TONGUE AND GROOVE	EXP JT	EXPANSION JOINT	T&G	TOP OF CURB	EXT	EXTERIOR	TC	TELEPHONE	F.D.	FLOOR DRAIN	TELE	TOILET	FEC	FIRE EXTINGUISHER CABINET	TLT	TOP OF	FIXT	FIXTURE	TO	TOP OF CONCRETE	FLR	FLOOR	TOC	TOP OF STEEL	FLUOR	FLUORESCENT	TOS	TOILET PAPER DISPENSER	FM	FILLED METAL	TP	TELEPHONE/DATA	FND	FOUNDATION	TST	TOP OF STAIRS	FO	FACE OF	TYP	TYPICAL	F.O.F.	FACE OF FININSH	U.N.O.	UNLESS NOTED OTHERWISE	FURR	FURRING	U/S	UNDERSIDE	GA	GAUGE	V.I.F.	VERIFY IN FIELD	GALV	GALVANIZED	VP	VISION PANEL	G.B.	GRAB BAR	W/	WITH	GND	GROUND	WD	WOOD	GRP	GROUP	W.H.	WATER HEATER	GWB	GYPSPUM WALL BOARD			GYP	GYPSPUM			LOT AREA: 2,221 ± S.F. (E) NUMBER OF UNITS: 1 COMMERCIAL UNIT, & 1 RESIDENTIAL UNIT (N) NUMBER OF UNITS: 1 COMMERCIAL UNIT, & 2 RESIDENTIAL UNITS NUMBER OF STORIES: 2 (NO CHANGE) CONSTRUCTION TYPE: V-B OCCUPANCY GROUP: M & R-3 (NO CHANGE) BLOCK & LOT : 6968-008 ZONING: NC-3 APPLICABLE CODES: 2010 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS  GROSS FLOOR AREA: (E) FIRST FLOOR AREA: 1,938 ± S.F. (NO CHANGE) (E) SECOND FLOOR AREA: 1,902 ± S.F. (NO CHANGE) (E) TOTAL BLDG. GROSS AREA: 3,840 ± S.F. (NO CHANGE)  HABITABLE FLOOR AREA: (E) COMMERCIAL SPACE AREA (FIRST FLR.): 1,769 ± S.F. (NO CHANGE) (E) UNIT 1 FLOOR AREA (SECOND FLR.): 700 ± S.F. (NO CHANGE) (E) UNIT 2 FLOOR AREA (SECOND FLR.): 974 ± S.F. (NO CHANGE)	
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FO	FACE OF	TYP	TYPICAL																																																																																																																																																																																																																																																																																													
F.O.F.	FACE OF FININSH	U.N.O.	UNLESS NOTED OTHERWISE																																																																																																																																																																																																																																																																																													
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GYP	GYPSPUM																																																																																																																																																																																																																																																																																															
NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS									These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.																																																																																																																																																																																																																																																																																							
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Existing First Plan  
1/4" = 1'-0"



Existing Second Plan  
1/4" = 1'-0"

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR., SEE DETAIL W-1 & 2 /A3.1

PROJECT NAME

5000 Mission Street  
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW. SIACONSULT.COM

SHEET TITLE

Floor Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.M.
CHECKED	R.K.
DATE	10/03/2012
REVISED DATE	10/21/2013
JOB NO.	12-1542
SHEET NO.	A-2.1

PROJECT NAME	
--------------	--

**5000 Mission Street**  
**SAN FRANCISCO, CA**



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW. SIACONSULT.COM

**SHEET TITLE**

## Building Elevations (Front & Rear)

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CONSULTING ENGINEERS.

### ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DRAWN A.M.

CHECKED R.K.

DATE 10/03/2012

REVISÉ DATE 10/21/2013

**JOB NO.** 12-1542

**SHEET NO.**

### A-3.1

—

2

3

4

5

6

7

1

10

PROJECT NAME	
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**5000 Mission Street**  
**SAN FRANCISCO, CA**



SIA CONSULTING CORPORATION  
1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
TEL: (415) 922.0200  
FAX: (415) 922.0203  
WEBSITE:WWW. SIACONSULT.COM

**SHEET TITLE**

## Building Elevations (Left & Right)

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### ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

DRAWN A.M.

CHECKED R.K.

DATE 10/03/2012

REVISÉ DATE 10/21/2013

**JOB NO.** 12-1542

**SHEET NO.**

## A-3.2

—

2

3

4

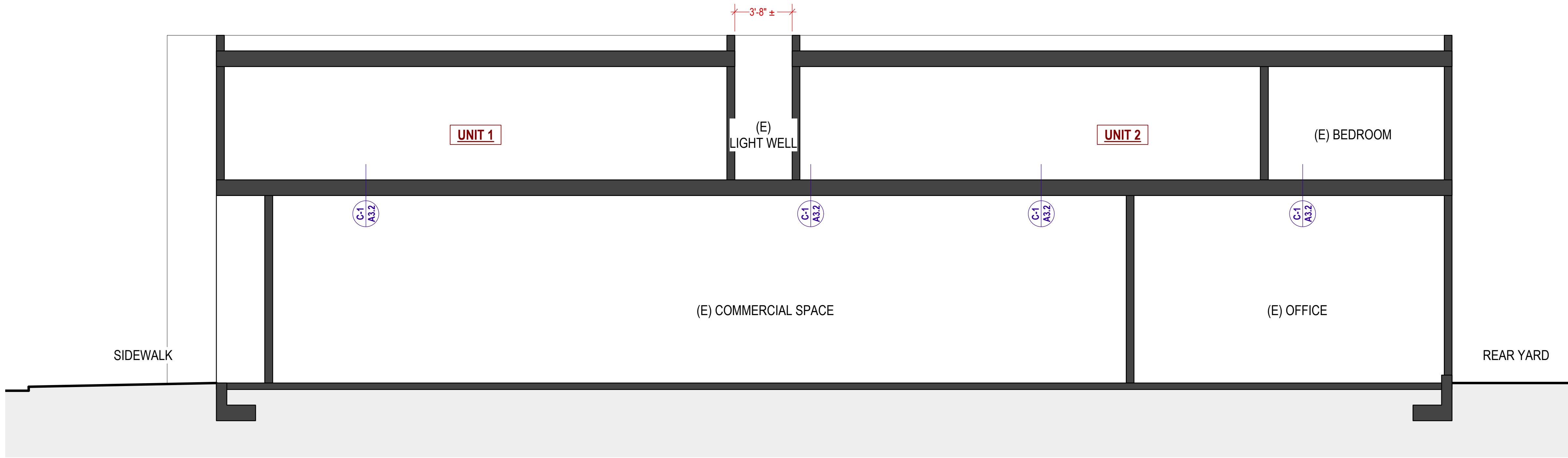
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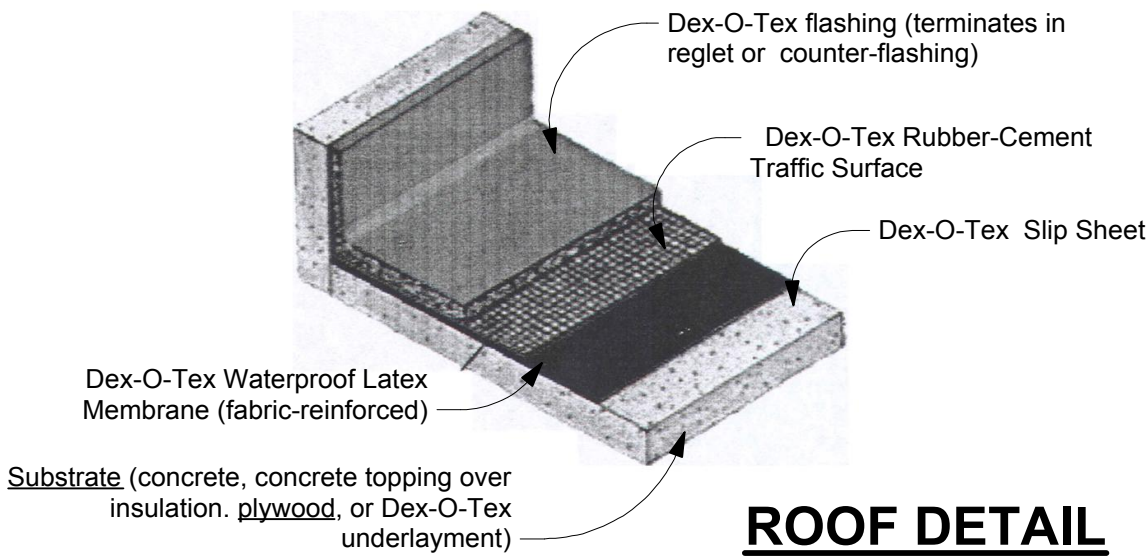
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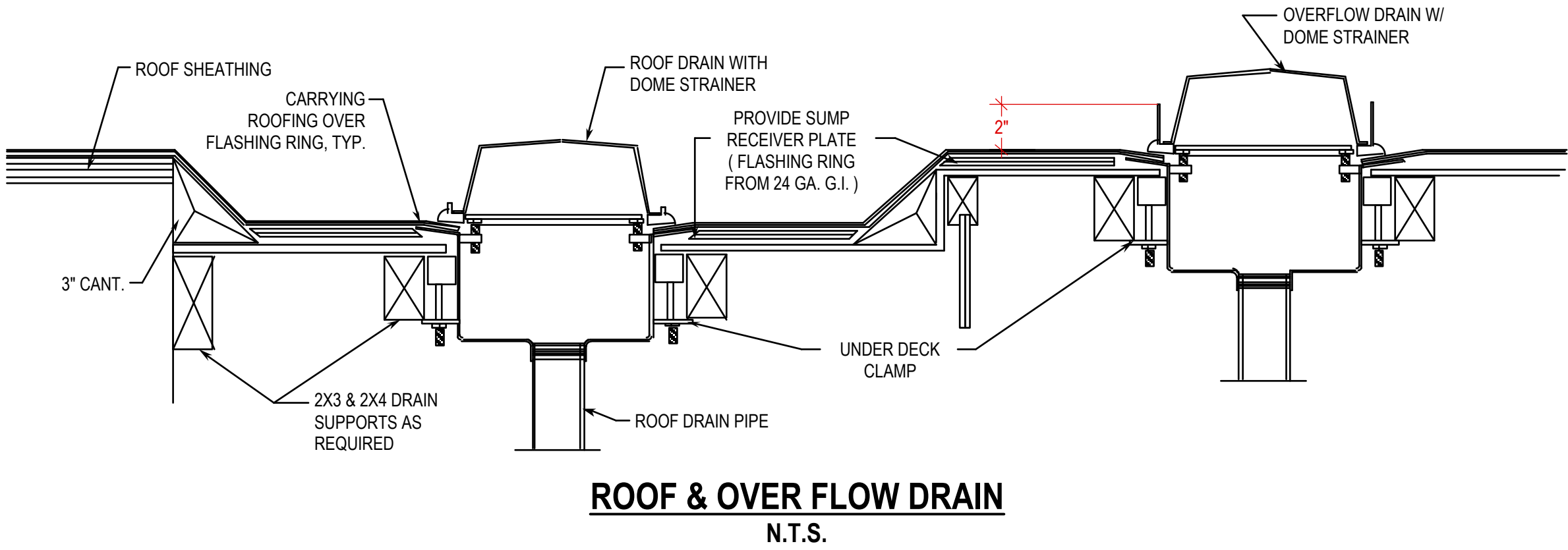
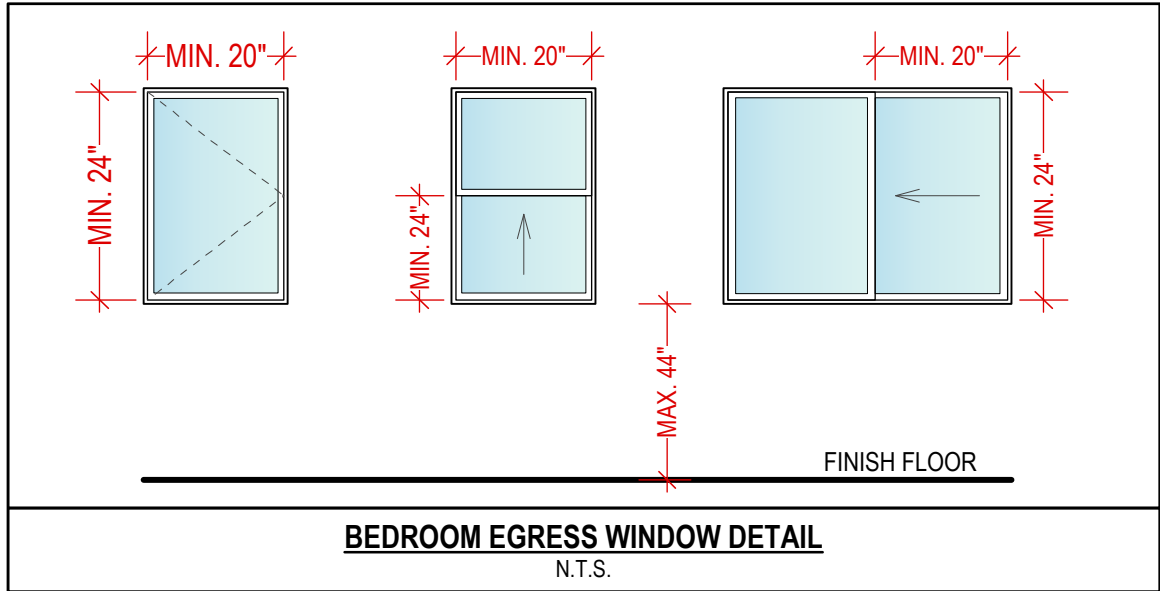
Existing Section A-A  
1/4" = 1'-0"

Building Sections,  
& Details

Crossfield Products Corp.

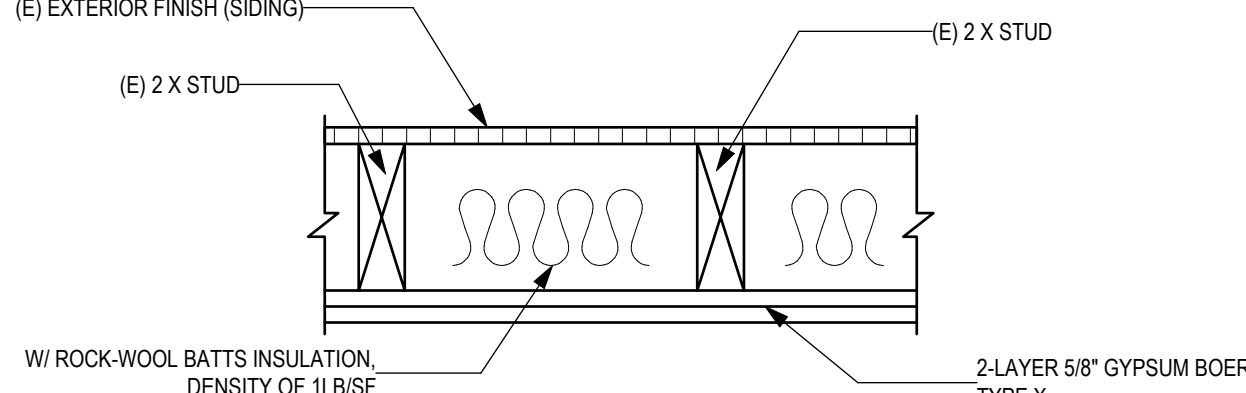


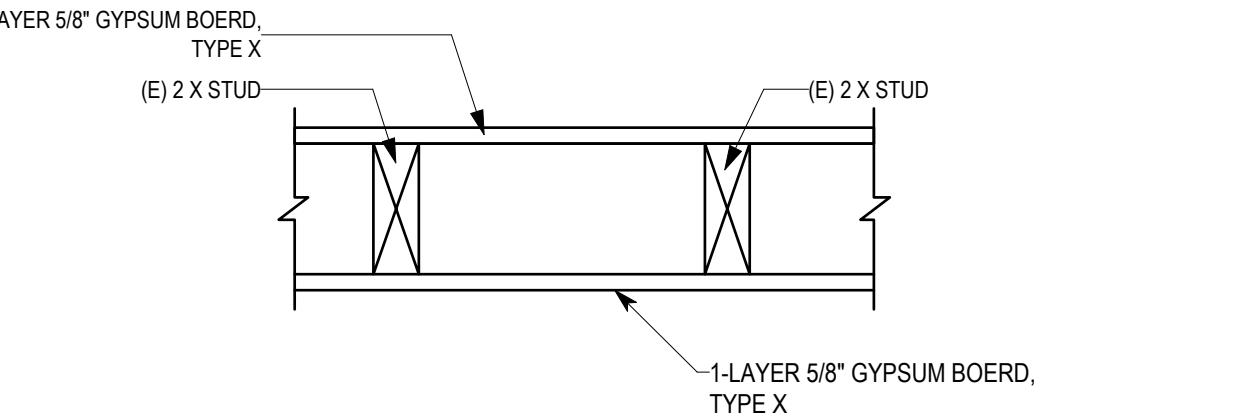
ROOF DETAIL



ROOF & OVER FLOW DRAIN  
N.T.S.

C-1	(E) FLOOR-CEILING SYSTEMS, WOOD-FRAMED	
SYSTEM DESCRIPTION		SKETCH AND DESIGN DATA
GA FILE NO. FCF 5110		1 HOUR FIRE
WOOD JOISTS, GYPSUM PLASTER, RESILIENT CHANNELS		50 to 54 STC SOUND
1/2" 1:2-1:3 gypsum-sand plaster applied over 3/8" type X gypsum lath applied at right angles to resilient furring channels 16" o.c. with three 3/4" Type S drywall screws at each furring channel 3" wide woven wire strips applied over gypsum lath and parallel to and directly over resilient channels with 7/8" Type S drywall screws with diamond washers 16" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor.		Approx. Ceiling Weight: 6.25psf Fire Test: SFT-42, 5-7-66 Sound Test: CK 6712-5, 6-9-67 ILC & Test: (68 C & P) CK 6712-5, 6-9-67
Sound tested with 3" glass fiber insulation batts in joist space, sound deadening felt, and carpet and pad. A face layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.		

W-1	(E) EXTERIOR WALLS AND EXTERIOR PARTITIONS, WOOD-FRAMED TO BE UPGRADED	1 HOUR FIRE
		

W-2	(E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED	1 HOUR FIRE
		

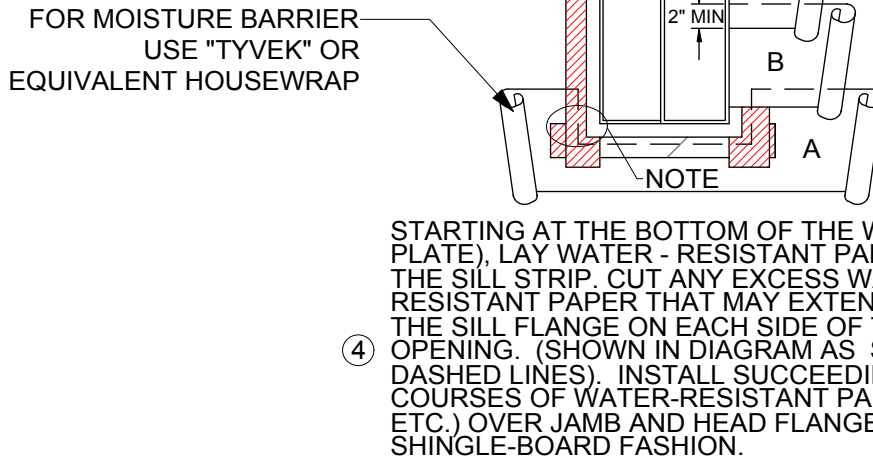
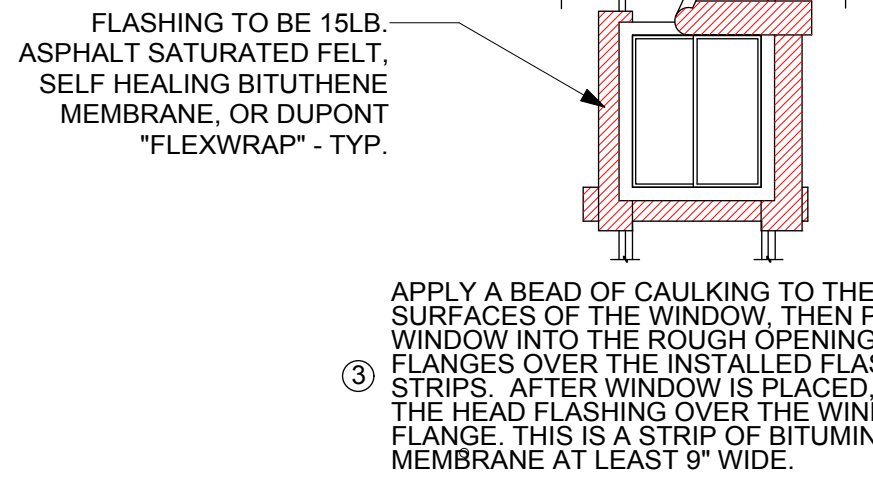
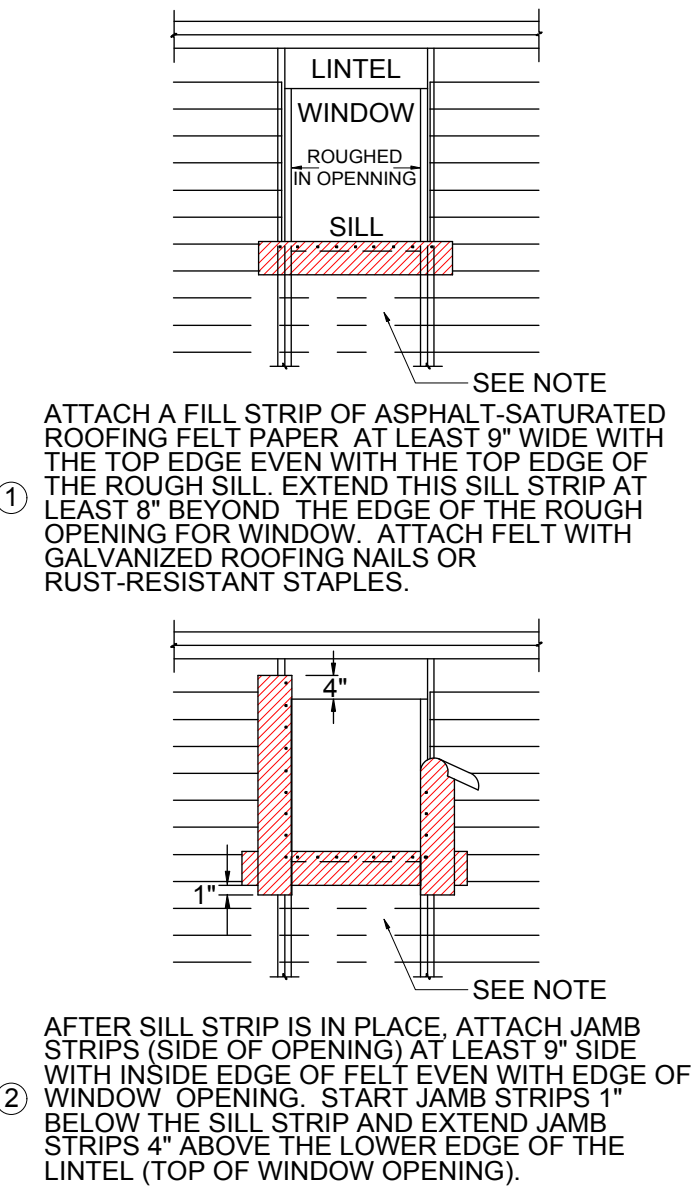
DOOR/WINDOW FLASHING NOTES:

SECTION 1707(B), UNIFORM BUILDING CODE, CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. SINCE UBC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED.

-FOR FLASHING MATERIAL USE 15LB. ASPHALT SATURATED FELT, SELF HEALING BITUMENE MEMBRANE, OR DUPONT "FLEXWRAP"

-FOR MOISTURE BARRIER USE "TYVEK" OR EQUIVALENT HOUSEWRAP

-CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.



DOOR/WINDOW WATER PROOFING /  
INSTALLATION DETAILS

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ISSUES / REVISIONS

NO. DATE DESCRIPTION

DRAWN A.M.

CHECKED R.K.

DATE 10/03/2012

REVISED DATE 10/21/2013

JOB NO. 12-1542

SHEET NO.

A-4.1

# Green Building: Site Permit Checklist

## BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 5000 Mission St.	Block/Lot 6611 / 019	Address 5000 Mission St.
Gross Building Area 4,000 sf +/-	Primary Occupancy NC-3	Design Professional/Applicant: Sign & Date Sia Tahbazof
# of Dwelling Units 2	Height to highest occupied floor 23'-0" +/-	Number of occupied floors 2

## ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Divert at least 65% of construction and demolition debris by complying with the San Francisco Construction & Demolition Debris Ordinance)	●

## GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

## Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

## Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used .

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

## LEED PROJECTS

	New Large Commercial	New Residential Mid-Rise <sup>1</sup>	New Residential High-Rise <sup>1</sup>	Commerical Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)		X				
Overall Requirements:						
LEED certification level (includes prerequisites):	SILVER	SILVER	SILVER	SILVER	SILVER	SILVER
Base number of required points:	50	2	50	50	50	50
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Recycling by Occupants: Provide space for storage, collection, and loading of compost, recycling, and trash. Exceeds requirements of LEED MR prerequisite 1. See Administrative Bulletin 088 for details.	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

## OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. <sup>3</sup>	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 <sup>3</sup>
Type of Project Proposed (Check box if applicable)		
Recycling by Occupants: Provide space for storage, collection, and loading of recycling, compost and trash. (13C.5.410.1, et al) - See Administrative Bulletin 088 for details.	●	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions: See CA T24 Part 11 Section 5.714.9
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r

PROJECT NAME

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SHEET TITLE

## Green Building Checklist

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## ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DRAWN	A.M.
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CHECKED	R.K.
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DATE	10/03/2012
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REVISED DATE	10/21/2013
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JOB NO.	12-1542
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SHEET NO.

GP-0.1