



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 26, 2013**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>3844 Jackson Street</b>	Case No.: <b>2013.0393V</b>
Cross Street(s): <b>Cherry Street/Arguello Blvd.</b>	Building Permit: <b>201304023601</b>
Block / Lot No.: <b>0967/006</b>	Applicant/Agent: <b>Scott Baughman</b>
Zoning District(s): <b>RH-1 / 40-X</b>	Telephone: <b>(415) 824-0478</b>
Area Plan: <b>N/A</b>	E-Mail: <b>scott@charliebarnettassoc.com</b>

## PROJECT DESCRIPTION

The proposal is to construct a deck approximately 5 feet above grade at the rear of the four-story, single-family house. The proposed 357 square-foot deck would extend approximately 13 feet into the rear yard at the second floor level and be approximately 5 feet above grade.

**Section 134 of the Planning Code** requires a minimum rear yard depth of approximately 20 feet for the subject property, measured from the rear property line. The subject property currently provides a 17 foot rear yard. The proposed deck would extend 13 feet into the required rear yard, providing a rear yard of approximately 4 feet depth for the subject property.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Kanishka Burns** Telephone: **415-575-9112** Mail: [kanishka.burns@sfgov.org](mailto:kanishka.burns@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0393V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On June 5, 2013, the Department issued the required Section 311 notification for this project (expires July 4, 2013).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# JACKSON STREET RESIDENCE : REMODEL

3844 JACKSON STREET  
SAN FRANCISCO, CA 94118

## OWNER

MICHAEL AND KIRSTEN GREEN  
3844 JACKSON STREET  
SAN FRANCISCO, CA 94118

## ARCHITECT

CHARLIE BARNETT & ASSOCIATES  
626 HAMPSHIRE STREET  
SAN FRANCISCO, CA 94110  
(415) 824-0478

## CONTRACTOR

TBD

## STRUCTURAL

SEMCO ENGINEERING  
360 LANGTON STREET  
SAN FRANCISCO, CA 94103  
(415) 553-8810  
PROJECT MANAGER: SHAUN E. MOYNAHAN

## APPLICABLE CODES / REGULATIONS

2010 SAN FRANCISCO BUILDING CODE AMENDMENTS (INCLUDES GREEN BUILDING REQUIREMENTS. SEE CHAPTER 13C)  
2010 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS  
2010 SAN FRANCISCO MECHANICAL CODE AMENDMENTS  
2010 SAN FRANCISCO PLUMBING CODE AMENDMENTS  
2007 SAN FRANCISCO HOUSING CODE AMENDMENTS

2010 CALIFORNIA BUILDING CODE (CBC)  
2010 CALIFORNIA HISTORIC BUILDING CODE  
2010 EXISTING BUILDING CODE (CBC)  
2010 CALIFORNIA PLUMBING CODE (CPC)  
2010 CALIFORNIA MECHANICAL CODE (CMC)  
2010 CALIFORNIA ELECTRICAL CODE (CEC)  
2010 CALIFORNIA FIRE CODE (CFC)  
2010 CALIFORNIA ENERGY CODE  
2010 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
SAN FRANCISCO LOCAL CODE & REGULATIONS  
ALL OTHER APPLICABLE STATE & LOCAL CODES, RULES, AND REGULATIONS

## ITEMS UNDER DEFERRED OR SEPARATE PERMIT

1. MECHANICAL, ELECTRICAL PERMIT TO BE SUBMITTED BY CONTRACTOR

## ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR	J.H. JOIST HANGER
AB ANCHOR BOLT	J.B. JOINT BOX
ABV. ABOVE	J.S.T. JOIST
AC AIR CONDITIONING	J.O.I. JOINT
ADJ. ADJUSTABLE	K.D. KILD DRIED
ALUM. ALUMINUM	L.H. LEFT HAND
ASPH. ASPHALT	L.V. LAVATORY
B.O. BOTTOM OF	L.T. LIGHT
B.U.R. BUILT-UP ROOFING	MAX. MAXIMUM
BD BOARD	MED. MEDIUM
BLDG. BUILDING	MFR. MANUFACTURER
BLKS. BLOCKING	MISC. MISCELLANEOUS
BLW. BELOW	MIN. MINIMUM
BM. BEAM	MIR. MIRROR
BRZ. BRONZE	MTD. MOUNTED
B.T.W. BETWEEN	MTL. METAL
C.I. CAST IRON	(N) NEW
C.I.P. CAST IN PIPE	N.T.S. NOT TO SCALE
C.O. CLEAN OUT	NIC NOT IN CONTRACT
CAB. CABINET	O.V. OVER
CL CENTER LINE	O.C. ON CENTER
CLG. CEILING	OPG. OPENING
CLO. CLOSET	P.T. PRESSURE TREATED
CLR. CLEAR	PL. PLATE
CMU CONCRETE MASONRY UNIT	PLAM. PLASTIC LAMINATE
COL. COLUMN	PLYWD. PLYWOOD
CONC. CONCRETE	PNL. PANEL
CONT. CONTINUOUS	PR. PAIR
CSK. COUNTERSINK	PTD. PAINTED
CSMT. CASEMENT	R. RISER
CTR. CENTER	(RE) RE-USE EXISTING
CW. COLD WATER	R.H. RIGHT HAND
DF. DOUGLAS FIR	R.O. ROUGH OPENING
DH. DOUBLE HUNG	R.W.L. RAIN WATER LEADER
DIA. DIAMETER	RAD. / R. RADIUS
DIM. DIMENSION	REINF. REINFORCED
DISP. GARBAGE DISPOSAL	REQ'D. REQUIRED
DN. DOWN	RESIL. RESILIENT
DR. DOOR	RM. ROOM
DTL. DETAIL	RWD. REDWOOD
DW. DISHWASHER	S.A.D. SEE ARCH. DRAWINGS
DWG. DRAWING	S.C. SOLID CORE
DWR. DRAWER	S.C.D. SEE CIVIL DRAWINGS
(E) EXISTING	S.L.D. SEE LANDSCAPE DRAWINGS
EA. EACH	S.P. SLOPE
ELEV. ELEVATION	S.S. STAINLESS STEEL
EQU. EQUAL	S.S.D. SEE STRUCTURAL DRAWINGS
EXP. EXPOSED	ST. STEEL TROWEL
EXT. EXTERIOR	SHELF
F.F. FINISH FLOOR	SHR. SHOWER
F.G. FINISHED GRADE	SIM. SIMILAR
F.O.C. FACE OF CONCRETE	SPK. SPEAKER
F.O.F. FACE OF FINISH	STL. STEEL
F.O.S. FACE OF STUD	STN. STAIN
FD. FLOOR DRAIN	T&G. TONGUE & GROOVE
FDN. FOUNDATION	TREAD
FIN. FINISH	T.O. TOP OF
FLR. FLOOR	T.O.C. TOP OF CONCRETE
FRPR. FIREPROOFING	T.O.P. TOP OF PLATE
FTG. FOOTING	T.O.S. TOP OF STEEL / SLAB
FW. FILTERED WATER	T.O.W. TOP OF WALL
GD. GARBAGE DISPOSAL	T.P.H. TOILET PAPER HOLDER
G.I. GALVANIZED IRON	T.S. TUBE STEEL
G.W.B. GYPSUM WALLBOARD	THK. THICKNESS
GA. GAUGE	TYP. TYPICAL
GL. GLASS	U.O.N. UNLESS OTHERWISE NOTED
H.C. HOLLOW CORE	V.I.F. VERIFY IN FIELD
H.W. HOT WATER	V.T.R. VENT THROUGH ROOF
HB. HOSEBIB	VP. VENT PIPE
HDR. HEADER	W.O. WHERE OCCURS
HOR. HORIZONTAL	W.P. WATERPROOFING
HT. HEIGHT	W.S. WEATHER STRIPPING
HTR. HEATER	WC. WATER CLOSET
I.D. INSIDE DIAMETER	WD. WOOD
INS. INSULATION	WDW. WINDOW
INT. INTERIOR	WH. WATER HEATER

## GENERAL NOTES

### COORDINATION

- IF THESE DRAWINGS ARE NOT 24" x 36" THEY HAVE BEEN REDUCED OR ENLARGED. (DO NOT SCALE DRAWINGS)
- THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
- DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER HIS WORK HAS STARTED THAT THERE ARE DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL EXISTING CONDITIONS, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE ARCHITECT AT NO EXTRA COST TO THE OWNER.
- NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN THE TRADES.
- THE RECOMMENDATIONS OF THE ARBORIST MUST BE FOLLOWED FOR THE DURATION OF CONSTRUCTION. TREE PROTECTION FENCING MUST BE CONSTRUCTED PRIOR TO BUILDING PERMIT ISSUANCE AND MUST REMAIN FOR THE DURATION OF CONSTRUCTION.

### CONTRACTOR DUTIES

- THE CONTRACTOR SHALL:
  - FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN UNLESS OTHERWISE NOTED (U.O.N.). ALL WORK SHALL BE PERFORMED IN A GOOD WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
  - ARRANGE FOR ALL INSPECTIONS AS CALLED FOR IN SECTION 108.4 OF THE 2010 CBC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE DURING THE COURSE OF THE WORK.
- CONTRACTOR SHALL BRACE STRUCTURE AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA.
- ALL SPECIAL INSPECTION AGENCIES, INDIVIDUALS, AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION FOR APPROVAL.
- CONTRACTOR SHALL ENSURE 50% REDUCTION OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT (EXCEPTION SOIL AND LAND-CLEARING DEBRIS), PER CALGREEN 4.408.
- CONTRACTOR SHALL PROVIDE BUILDING OWNER WITH BUILDING AND MAINTENANCE MANUAL, PER CALGREEN 4.410.

### GENERAL

- PROVIDE SEISMIC ANCHORAGE OF ALL APPLIANCES, BOILERS AND WATER HEATERS.
- VERIFY CLEARANCES FOR BOILERS, WATER HEATERS AND APPLIANCES PER MANUFACTURERS' SPECIFICATIONS AND INSTALL ACCORDINGLY.
- PROVIDE EXHAUST VENTILATION TO THE OUTSIDE FROM ALL GAS BURNING APPLIANCES.
- PROVIDE MIN. 100 SQ. IN. EACH UPPER AND LOWER COMBUSTION AIR CLEAR OPENINGS FOR WATER HEATERS, BOILERS, FURNACES, AND OTHER GAS BURNING APPLIANCES. LOCATE OPENINGS WITHIN 12 INCH FROM FLOOR AND WITHIN 12 INCH FROM CEILING.
- ENCLOSED ACCESSIBLE SPACE UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD, PER CBC 1009.6.3.
- PER CBC 406.1.4, THE PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8 INCH TYPE X GYPSUM BOARD OR EQUIVALENT. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR DOORS IN COMPLIANCE WITH SECTION 715.4.3. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019 INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- DENSHIELD OR EQ. TO BE INSTALLED IN ALL WET LOCATIONS IN BATHROOMS. DENSHIELD OR EQ. MUST BE INSTALLED TO A POINT A MIN. OF 72 INCH ABOVE THE SHOWER DRAIN. DO NOT INSTALL A VAPOR BARRIER BEHIND IT AND THE FRAMING. CORROSION RESISTANT FASTENERS MUST BE USED. CONCRETE BOARD REQUIRES A VAPOR BARRIER INSTALLED IN BETWEEN IT AND THE FRAMING. CORROSION RESISTANT FASTENERS MUST BE USED.
- GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE OF TEMPERED / SHATTER PROOF SAFETY GLASS. USE SAFETY GLAZING AT DOORS. GLAZING ADJACENT TO DOORS WITHIN 2' OF THE VERTICAL EDGES OF THE DOOR. GLAZING WITHIN 5 FT. FROM THE TOP AND BOTTOM OF STAIRS. GLAZING LESS THAN 18" ABOVE FLOOR LEVEL. GLAZING IN DOORS AND ENCLOSURES OF TUBS AND SHOWERS, AND GLAZING IN WARDROBE DOORS PER UBC SEC. 2406.4. WINDOWS WITHIN 60 INCHES FROM TUB OR SHOWER FLOOR REQUIRE SAFETY GLAZING.
- VAPOR RETARDER AND CAPILLARY BREAK SHALL BE INSTALLED FOR SLAB ON GRADE FOUNDATION. SHALL HAVE MINIMUM 4" OF 1/2" CLEAN AGGREGATE BASE BETWEEN VAPOR RETARDER AND SLAB IN ACCORDANCE WITH CALGREEN 4.505.
- PROVIDE BACKFLOW PREVENTION VALVE ON MAIN SEWAGE CONNECTION AND ALL POTABLE WATER.
- INSTALL SOLID BLOCKING AS REQUIRED FOR FINISH HARDWARE, CABINETS, TRIM, PLUMBING ACCESSORIES, AND FIXTURES.
- PRE-PRIME KNOTS IN LUMBER WITH ZINSSER'S "BIN" PRIMER SEALER OR APPROVED EQUAL.
- ALL PORTIONS OF WOOD EXPOSED TO WEATHER TO BE OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD.
- ALL CUT OR NOTCHED TREATED WOOD SHALL BE SEALED WITH COPPER GREEN WOOD PRESERVATIVE SEALER.
- ALL EXTERIOR SHEATING TO BE 1/2" THK. PLYWOOD UNLESS OTHERWISE NOTED IN STRUCTURAL DRAWINGS.
- SMOKE DETECTORS SHALL BE HARD-WIRED IN CEILINGS AND EQUIPPED WITH A BATTERY BACKUP IN ACCORDANCE WITH CBC 907. REFER TO ME0.0 FOR MORE INFORMATION.
- PER CBC 420.4.1, FOR NEW CONSTRUCTION AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED; AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. REFER TO ME0.0 FOR MORE INFORMATION.

## SCOPE OF WORK

NEW WOOD DECK WITHIN THE REAR YARD SETBACK. NO NEW FLOOR AREA ADDED.

## PROJECT INFORMATION:

A.P.N. 0967-006  
OCCUPANCY GROUP R-1  
CONSTRUCTION TYPE V  
ZONING DISTRICT RH-1

## EXISTING AREA (NO CHANGES)

LOT AREA 2,705SF  
FIRST FLOOR 1,658SF  
SECOND FLOOR 1,427SF  
THIRD FLOOR 1,265SF  
TOTAL 4,350SF  
GARAGE FLOOR 1,711SF

## DRAWING INDEX

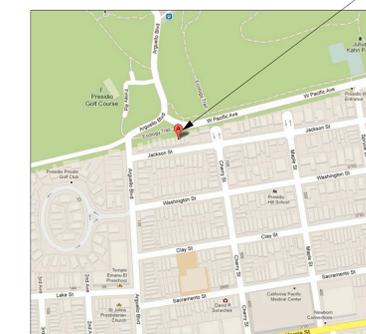
A0.0 COVER SHEET, PROPOSED SITE PLAN AND GENERAL NOTES  
A0.1 EXISTING SITE PLAN  
A0.2 SITE PHOTOS  
A2.3 PROPOSED DECK PLAN  
A3.0 EXTERIOR ELEVATIONS - NORTH  
A3.1 EXTERIOR ELEVATIONS - WEST EXISTING  
A3.2 EXTERIOR ELEVATIONS - WEST PROPOSED  
A3.3 EXTERIOR ELEVATIONS - EAST EXISTING  
S-0 GENERAL NOTES  
S-1 1ST FLOOR/FOUNDATION PLAN/2ND FLOOR FRAMING  
S-2 FRAMING DETAILS

## LOCATION MAP

NOT TO SCALE



SUBJECT PROPERTY  
3844 JACKSON STREET



## RECORD:

CHARLIE  
BARNETT  
ASSOCIATES  
ARCHITECTURE  
PLANNING

626 Hampshire Street  
San Francisco, CA 94110  
Tel 415-824-0478  
Fax 415-824-0402

GREEN RESIDENCE  
REMODEL

COVER, SITE PLAN  
& GENERAL NOTES

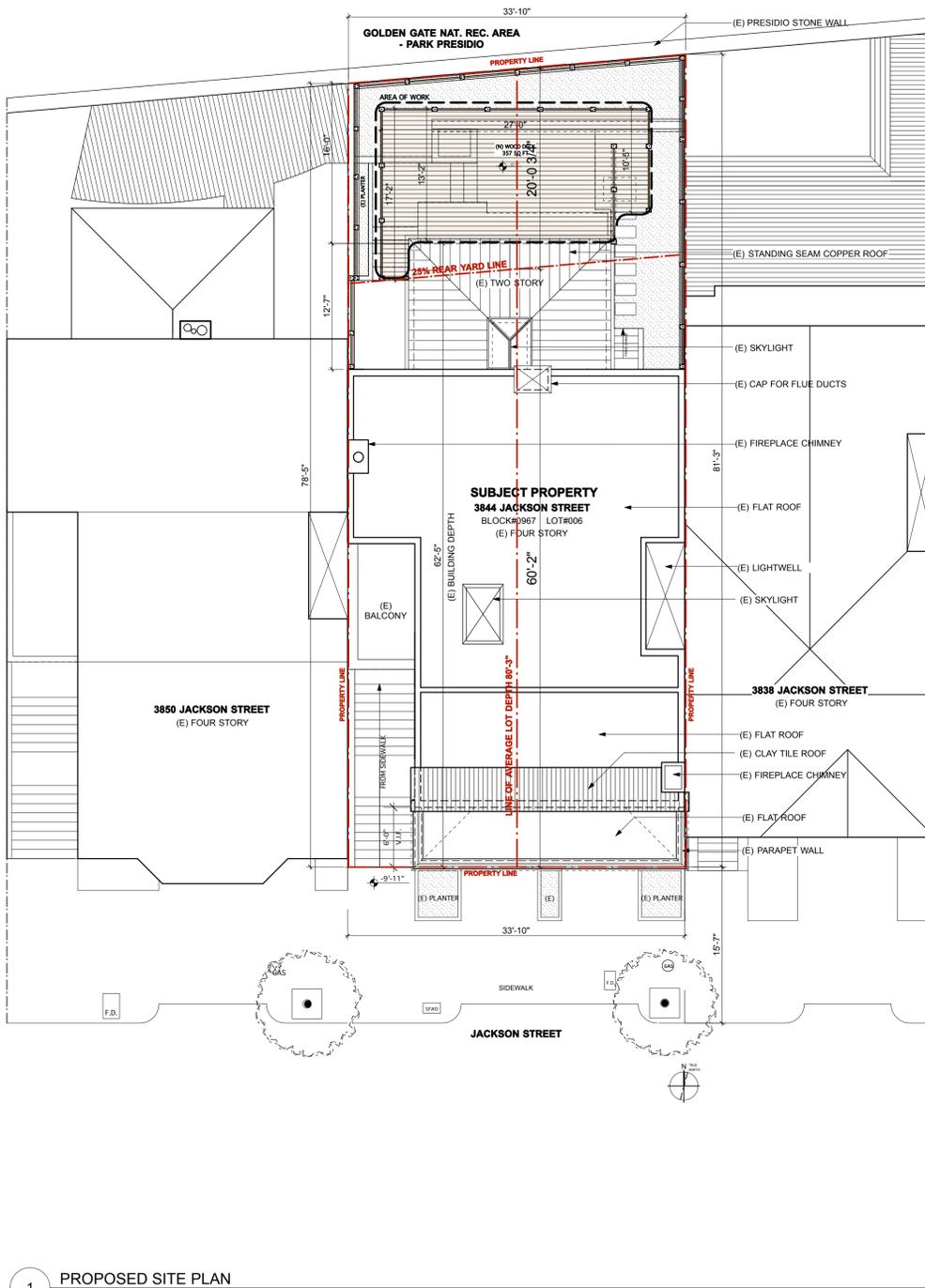
DRAWN BY: smb

ISSUED: 311/VARIANCE

DATE: MAY 7, 2013

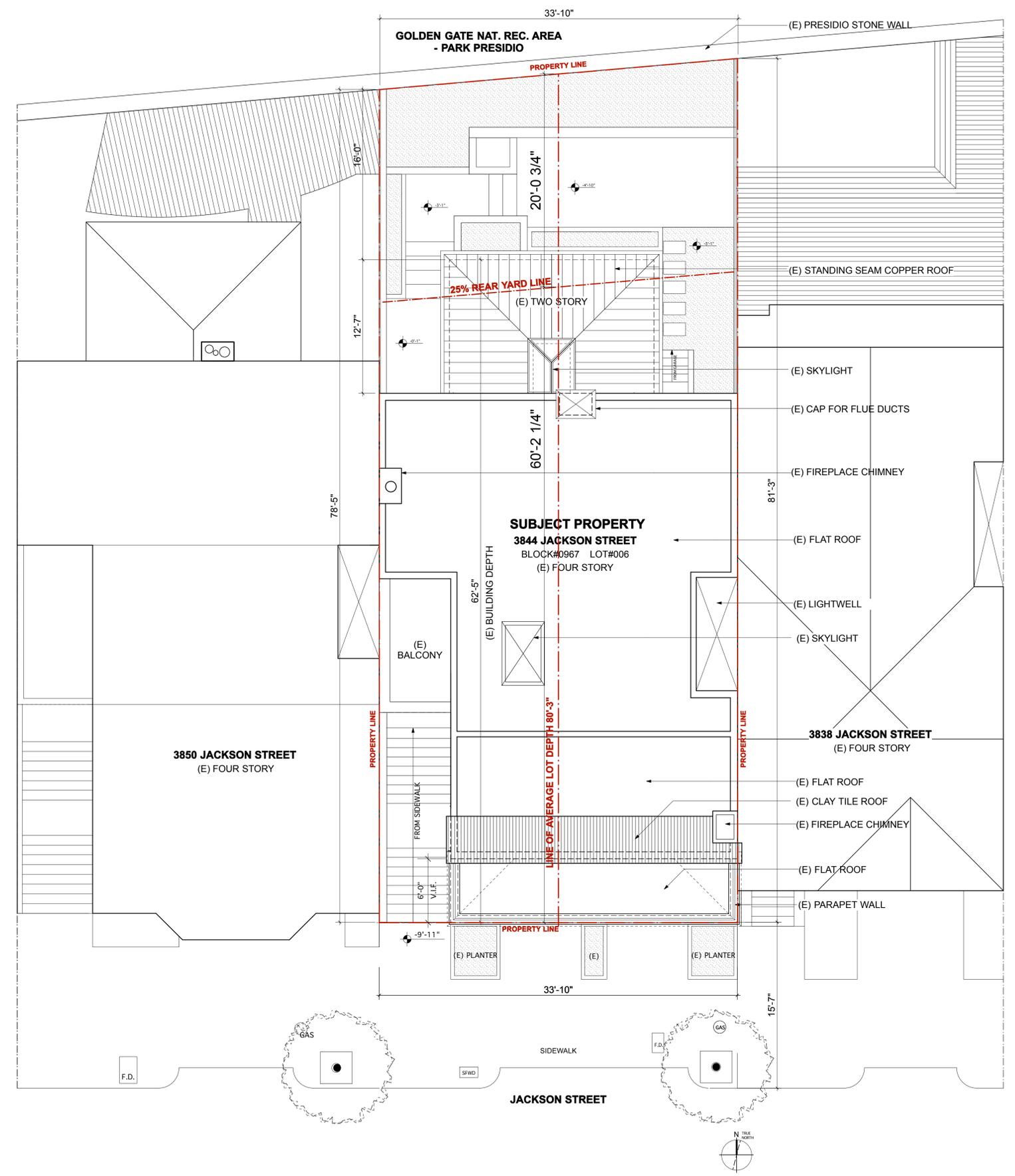
SCALE: AS NOTED

A0.0



1 PROPOSED SITE PLAN  
1/8" = 1'-0"

RECORD:



1 EXISTING SITE PLAN  
3/16" = 1'-0"

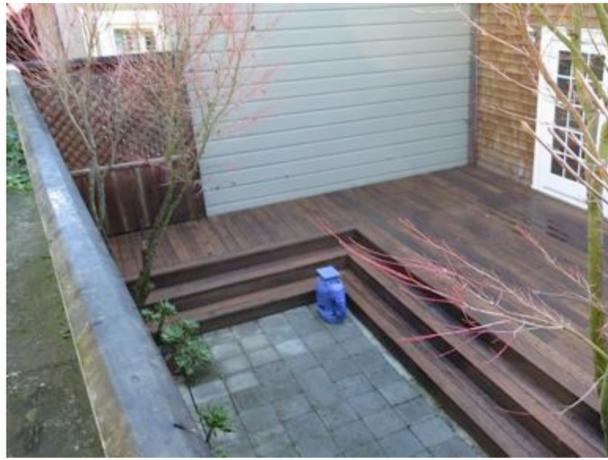
**GREEN RESIDENCE  
REMODEL**

3844 JACKSON STREET  
SAN FRANCISCO, CA 94118  
APN #: 0967-006

**COVER, SITE PLAN  
& GENERAL NOTES**

DRAWN BY: smb  
ISSUED: 311/VARIANCE  
DATE: MAY 7, 2013  
SCALE: AS NOTED

**A0.1**



10 REAR YARD OF THE NEIGHBOR TO THE EAST



7 REAR YARD OF THE NEIGHBOR TO THE WEST - LOOKING EAST



4 REAR YARD OF SUBJECT PROPERTY



1 FRONT OF SUBJECT PROPERTY - 3844 JACKSON STREET



11 REAR YARD OF THE NEIGHBOR TO THE EAST



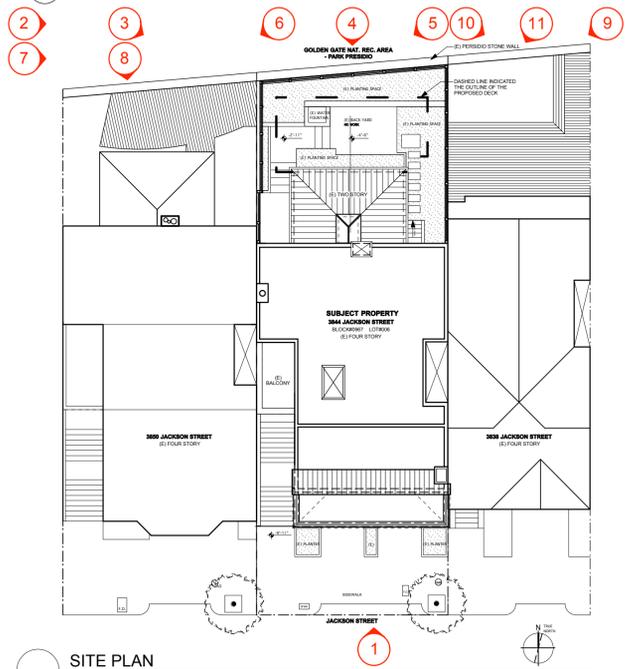
8 NEIGHBOR TO THE WEST



5 REAR OF SUBJECT PROPERTY - LOOKING WEST



2 ALONG PRESIDIO WALL



SITING PLAN  
1" = 10'-0"



9 NEIGHBOR TO THE EAST - LOOKING WEST

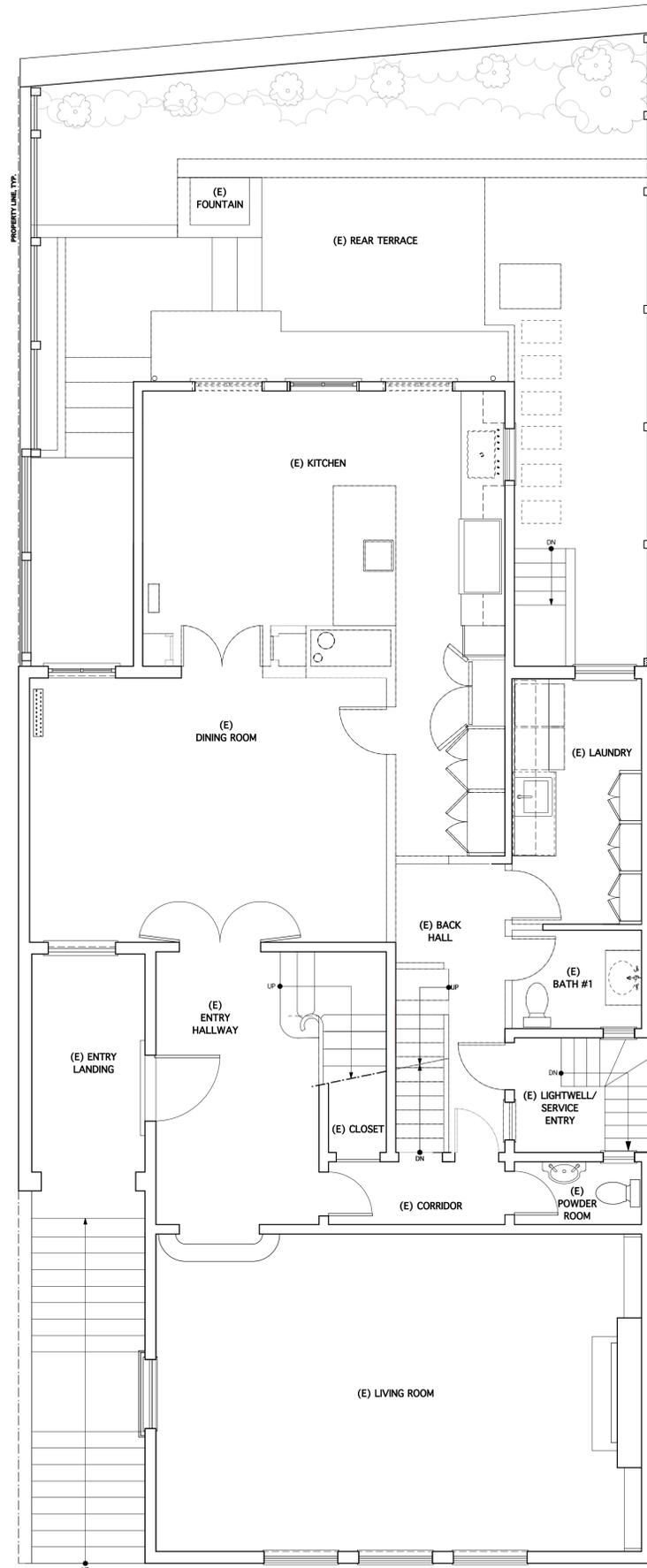


6 REAR YARD OF THE NEIGHBOR TO THE WEST

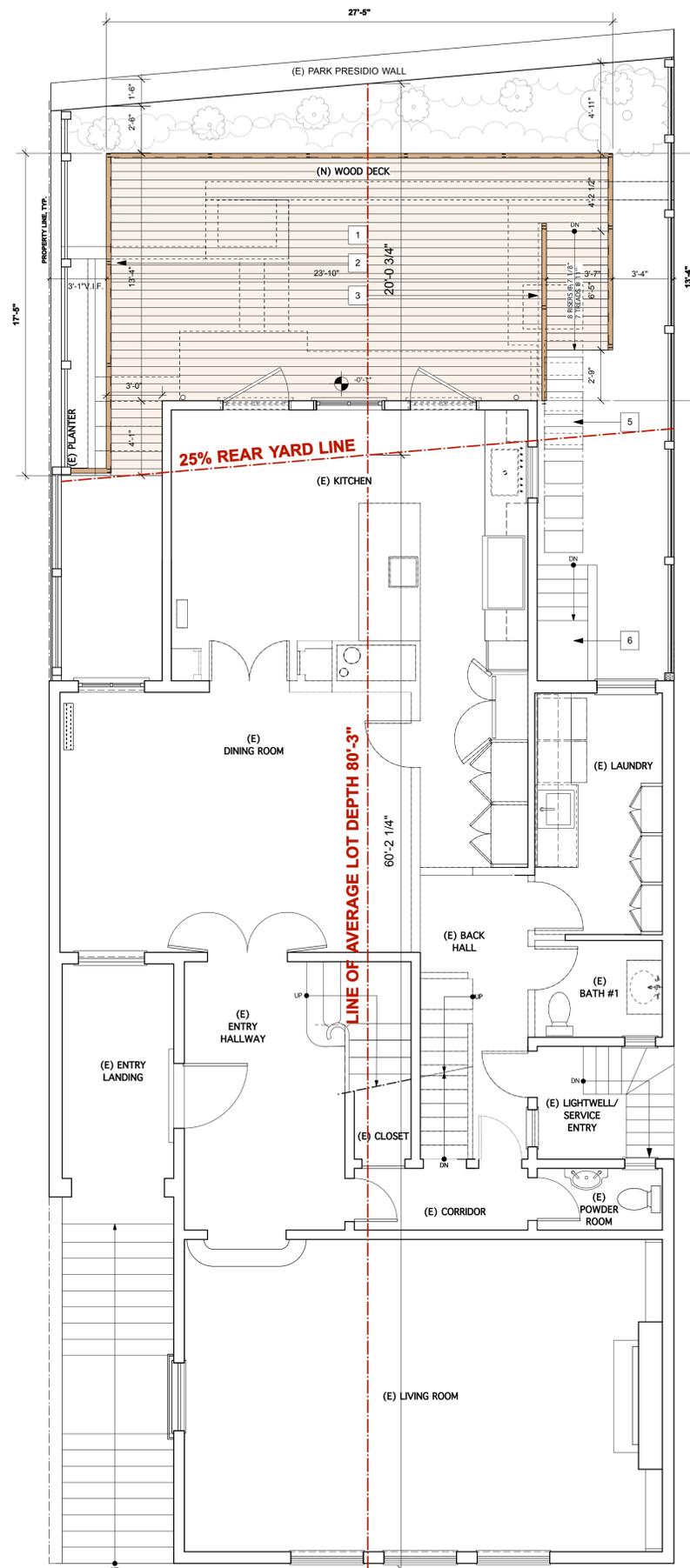


3 REAR OF SUBJECT PROPERTY

**RECORD:**



1 EXISTING SECOND FLOOR



2 PROPOSED SECOND FLOOR

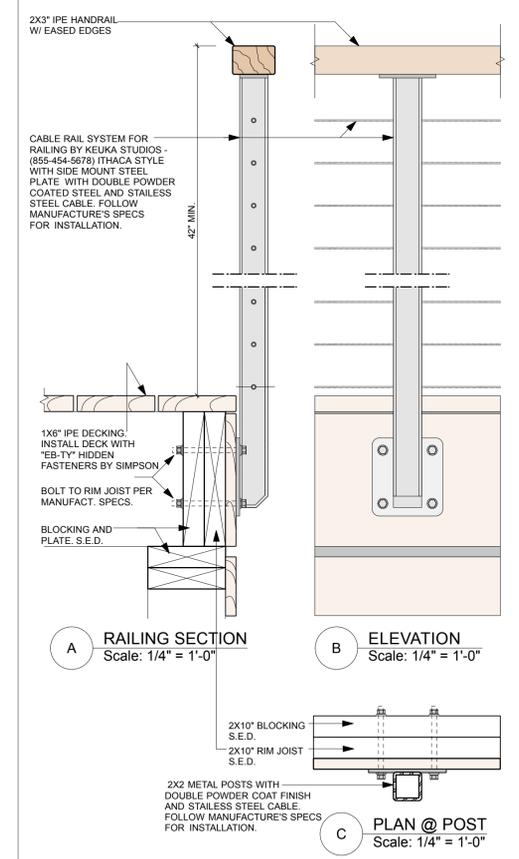
**GENERAL NOTES - FLOOR PLAN**

1. PROPOSED SCOPE OF WORK LIMITED TO AREA NOTED ON DRAWINGS. CONTRACTOR TO PROTECT OTHER AREAS THROUGHOUT CONSTRUCTION.
2. CONTRACTOR TO FAMILIARIZE SELF WITH CONTACTS ON THIS SHEET AND CONDUCT A PRE-DEMO MEETING WITH ARCHITECT PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
3. ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD.
4. ALL 2X6" WALLS TO HAVE R19 INSULATION AND 2X4" TO HAVE R13 INSULATION. ROOF AND CEILINGS TO HAVE R30 INSULATION. FLOORS TO HAVE R19 INSULATION. SEE TITLE 24 REPORT FOR ADDITIONAL INFORMATION.
5. ALL BUILDING PENETRATIONS TO BE WEATHERSTRIPPED, CAULKED AND SEALED.
6. PROVIDE NON-SLIP FINISH AT ALL EXTERIOR WALKING SURFACES, PAVING AND STAIRS.
7. EXTERIOR LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD IF SWINGS OVER LANDING, AND UP TO 7 1/4" DROP WITH RAMP IF INSWING. PER CRC 311.3.1.
8. DOOR OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDING OR FLOOR NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD, PER CRC 311.3.2.
9. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT EXCEED 1/4" PER FT. (2%), PER CRC 311.3.
10. STAIR HANDRAIL AND GUARD TO BE PROVIDED IN ACCORDANCE WITH CRC 311.7. SEE A3.0 FOR MORE INFORMATION.

**KEY NOTES- FLOOR PLAN**

- 1 NEW IPE 1x6 DECK, OPEN STAIR AND 42" TALL GUARDRAIL. SEE THE DETAIL BELOW FOR MORE INFORMATION.
- 2 RELOCATE GFI TO DECK LEVEL.
- 3 MOVE HOSE BIB TO DECK LEVEL.
- 4 NOT USED
- 5 EXISTING STEPPING STONES TO BE REUSED IN NEW LOCATION
- 6 EXISTING STAIR

**RAILING DETAILS**

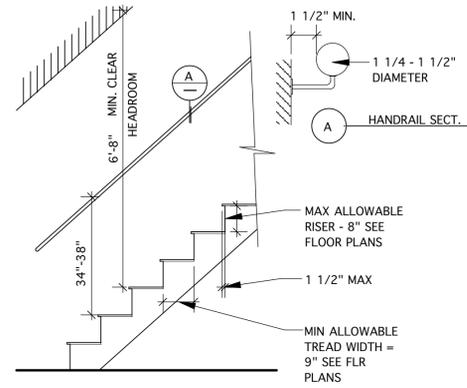


**LEGEND**

- (N) WALL (W/ BATT INSULATION)
  - (E) WOOD FRAMING TO REMAIN
  - (E) WALL TO BE REMOVED
- N TRUE NORTH  
BENCHMARK ELEVATION

**RECORD:**

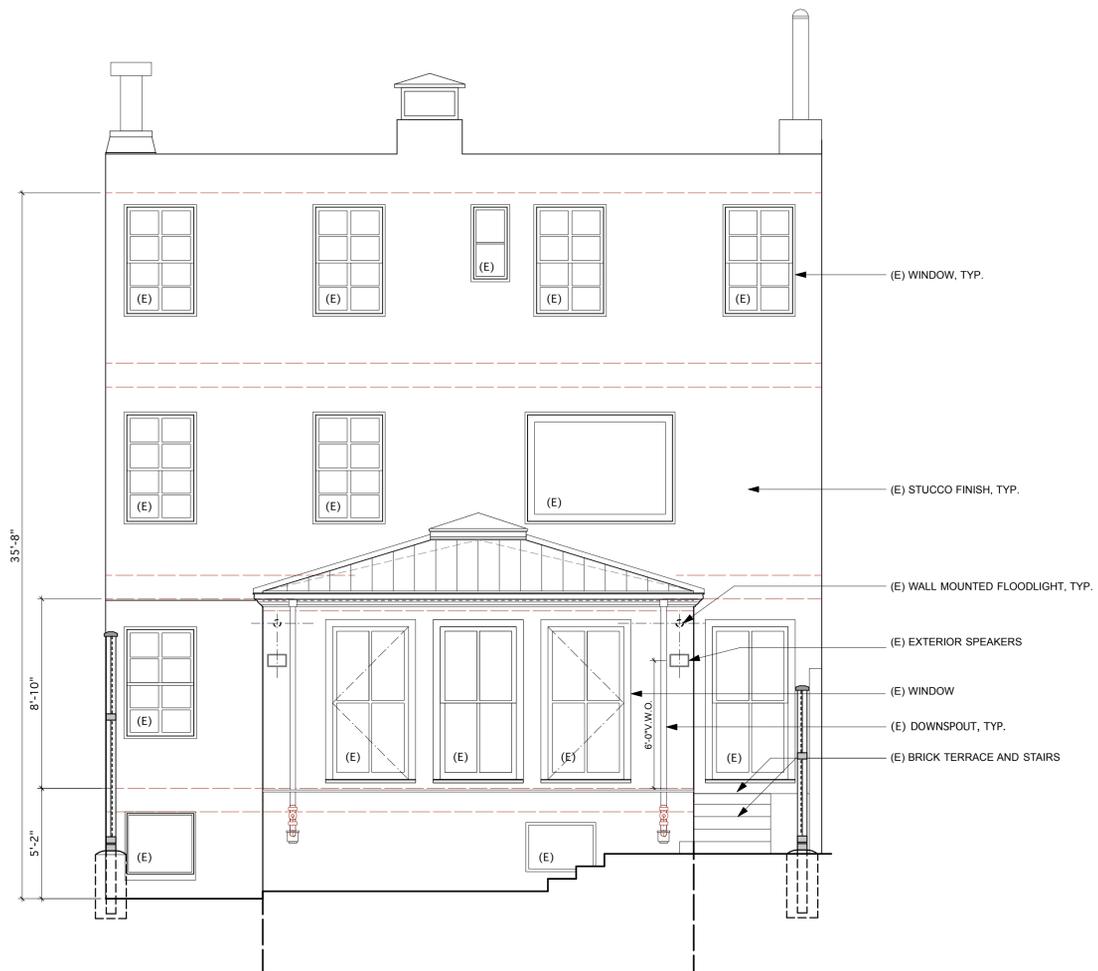
**RECORD:**



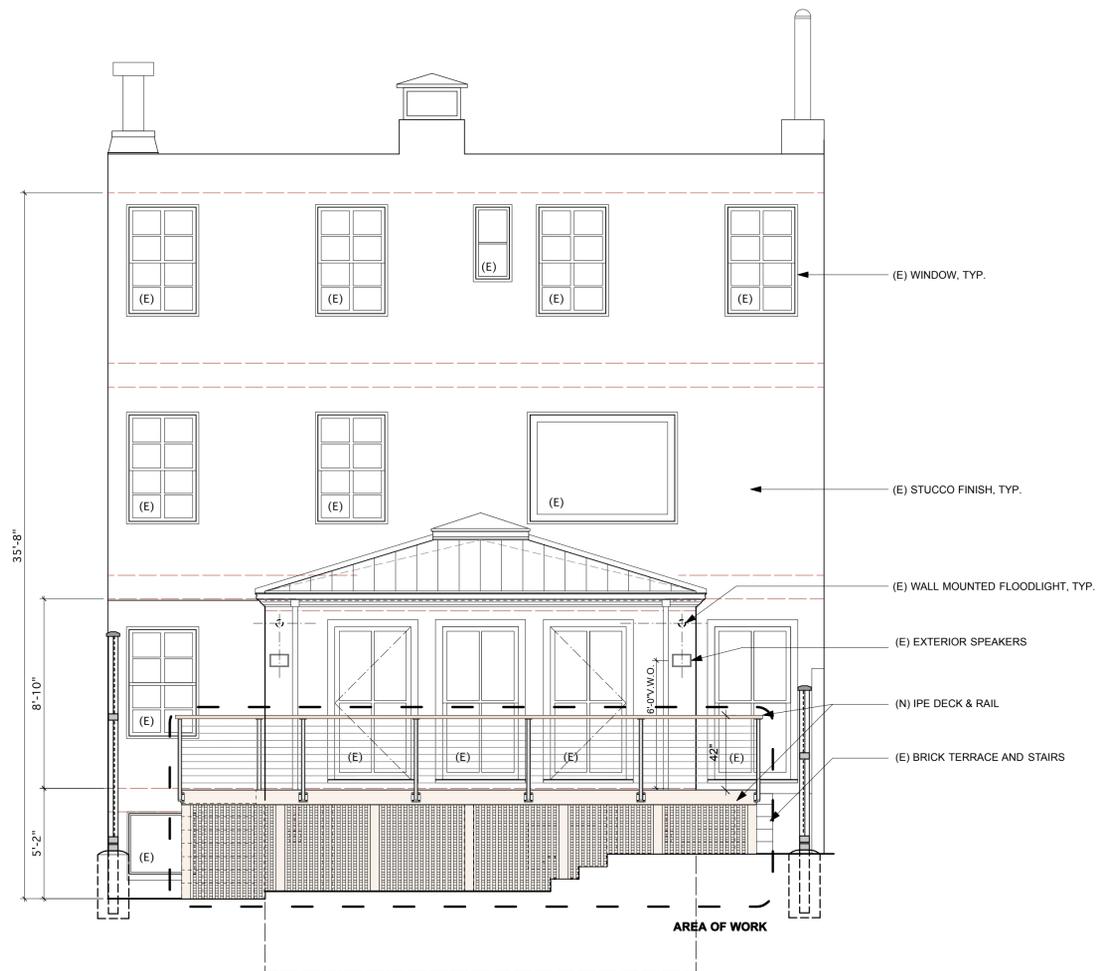
Guards: §R312, 2010 CRC

Guards shall be located along open-sided walking surfaces, including, stairs, ramps, an landings that are located more than 30 inches above the floor or grade below. The top of guardrails shall not be less than 42 inches in height. Guards whose top rail serves as a handrail, shall have a height not less than 34 inches and not more than 38 inches. The triangular openings formed by the riser, tread and bottom element of the guardrail at the open side of a stairway may be of such size that a sphere of 6 inches in diameter cannot pass through. The top rail of the guardrail must be able to withstand a load per lineal foot of 50 pounds applied horizontally at a right angle. Intermediate rails, panel fillers and their connections shall be capable of withstanding a load of 50 pounds per square foot applied horizontally at right angles over the entire tributary area, including openings and spaces between rails.

1 STANDARD STAIR REQUIREMENTS  
1/4" = 1'-0"

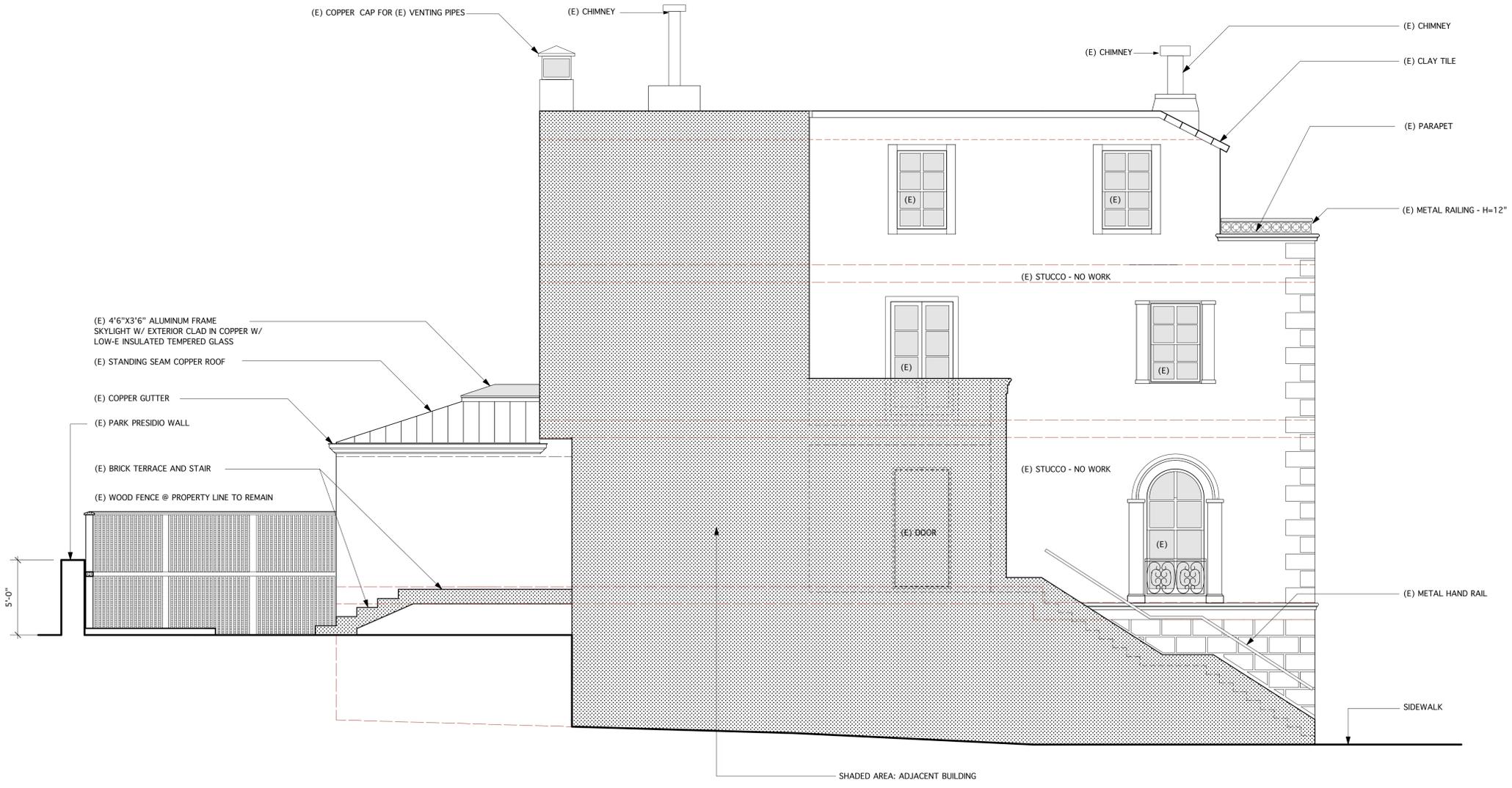


2 NORTH ELEVATION - EXISTING  
1/4" = 1'-0"



3 NORTH ELEVATION - PROPOSED  
1/4" = 1'-0"

**RECORD:**



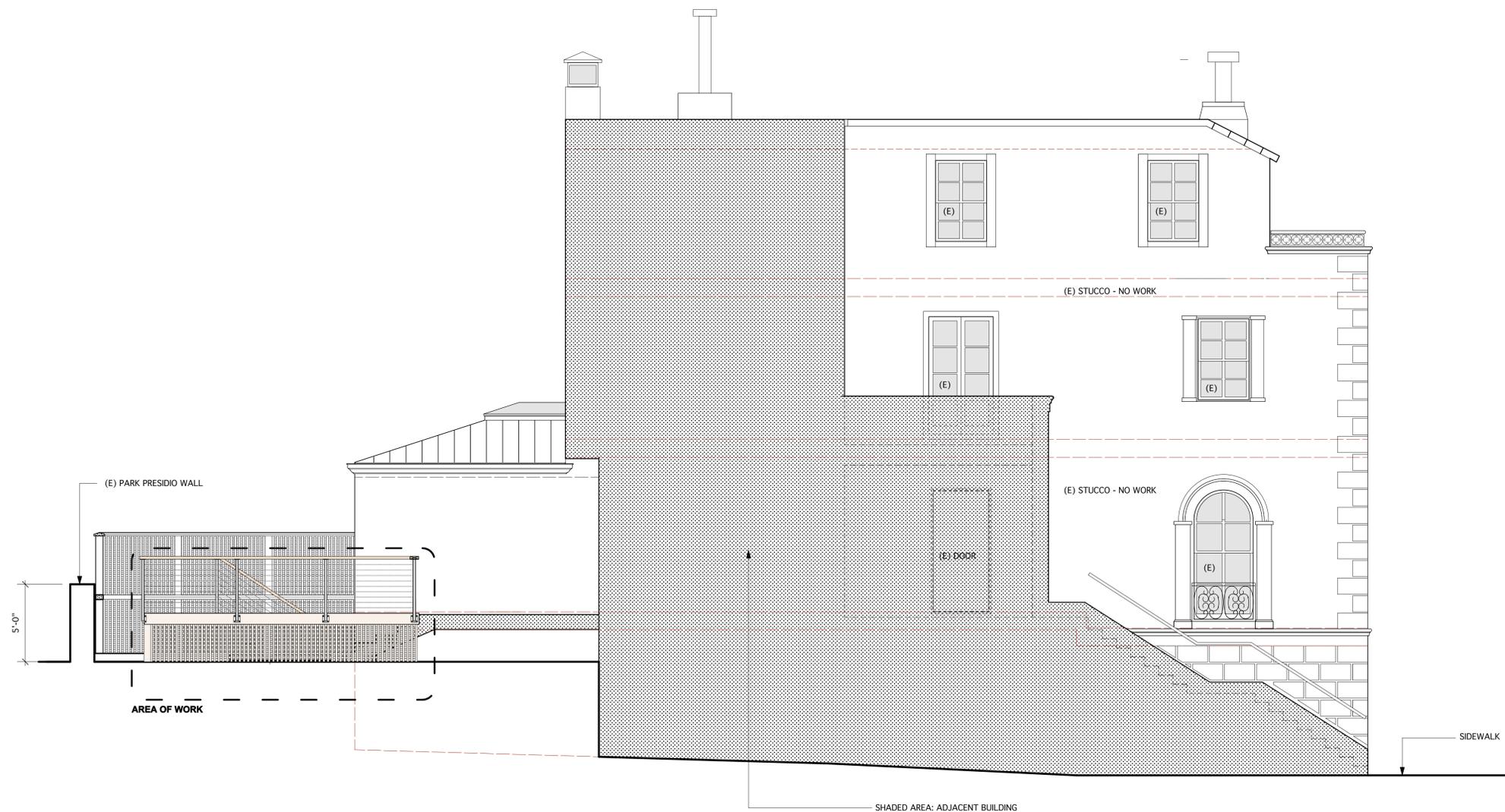
1 WEST ELEVATION - EXISTING  
1/4" = 1'-0"

**GREEN RESIDENCE**  
**REMODEL**  
3844 JACKSON STREET  
SAN FRANCISCO, CA 94118  
APN #: 0967-006

**EXTERIOR ELEVATIONS**  
DRAWN BY: smb  
ISSUED: 311/VARIANCE  
DATE: MAY 7, 2013  
SCALE: NTS

**A3.1**

RECORD:



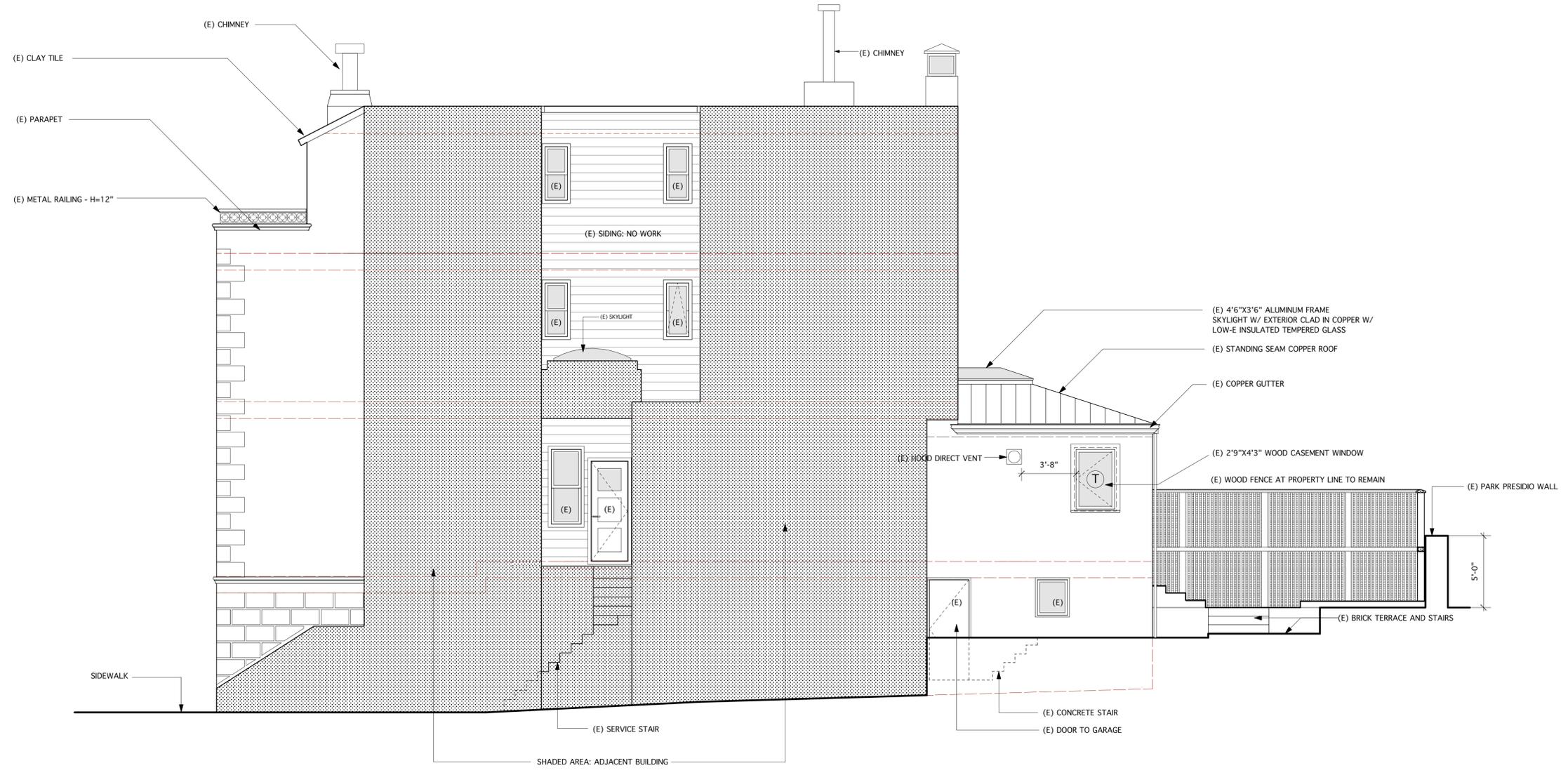
1 WEST ELEVATION - PROPOSED  
1/4" = 1'-0"

**GREEN RESIDENCE**  
**REMODEL**  
3844 JACKSON STREET  
SAN FRANCISCO, CA 94118  
APN #: 0967-006

**EXTERIOR  
ELEVATIONS**  
DRAWN BY: smb  
ISSUED: 311/VARIANCE  
DATE: MAY 7, 2013  
SCALE: AS NOTED

**A3.2**

**RECORD:**



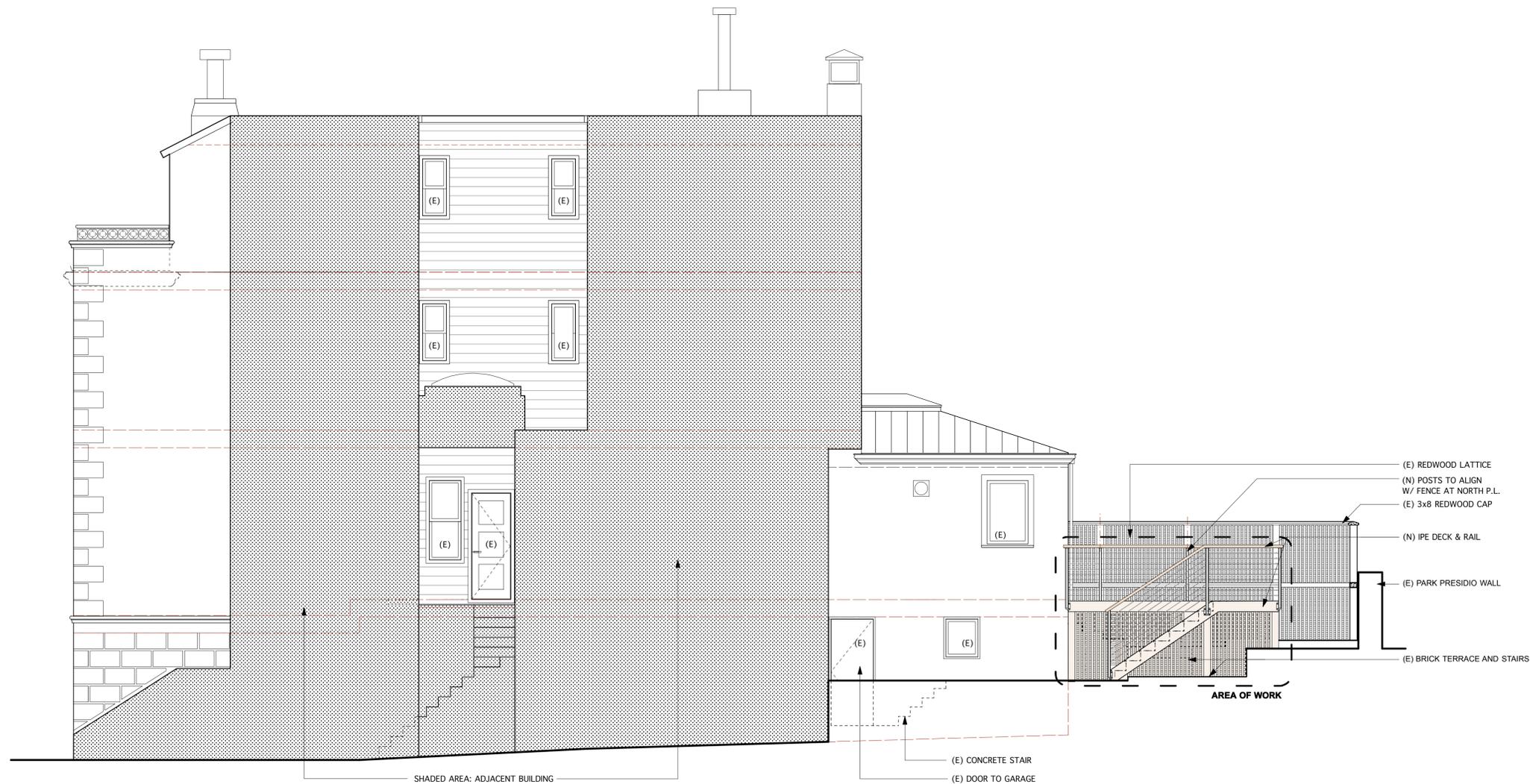
3 EAST ELEVATION - EXISTING  
1/4" = 1'-0"

**GREEN RESIDENCE**  
**REMODEL**  
3844 JACKSON STREET  
SAN FRANCISCO, CA 94118  
APN #: 0967-006

**EXTERIOR  
ELEVATIONS**  
DRAWN BY: smb  
ISSUED: 311/VARIANCE  
DATE: MAY 7, 2013  
SCALE: AS NOTED

**A3.3**

RECORD:



2 EAST ELEVATION - PROPOSED  
1/4" = 1'-0"

**GREEN RESIDENCE**  
**REMODEL**  
3844 JACKSON STREET  
SAN FRANCISCO, CA 94118  
APN #: 0967-006

**EXTERIOR  
ELEVATIONS**  
DRAWN BY: smb  
ISSUED: 311/VARIANCE  
DATE: MAY 7, 2013  
SCALE: AS NOTED

**A3.4**