



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 24, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 37 Walnut Street	Case No.: 2013.0392V
Cross Street(s): Pacific Avenue	Building Permit: 2011.02.09.9876
Block / Lot No.: 0972/003	Applicant/Agent: Yakuh Askew
Zoning District(s): RH-1	Telephone: 415.810.8077
Area Plan: N/A	E-Mail: yakuh@ya-studio.com

PROJECT DESCRIPTION

The proposal is to authorize horizontal additions that were constructed without the Planning Department's review at the rear of the 3-story, single-family house. The project includes construction of a rear deck with solid north and west property line fences to a height of approximately 15 feet above grade, horizontal additions around the ground-floor bay windows, an approximately 2' by 9' horizontal addition at the second floor and an approximately 3' x 6' horizontal addition at the north side of the third floor.

Planning Code Section 134 requires a rear yard depth of approximately 17 feet for the subject property. The deck and property line fence extend to the rear property line and encroach into the required rear yard. The ground, second and third floor enlargements would extend to within approximately 12 feet of the rear property line and encroach into the required rear yard. Therefore, a variance is required for the project.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sara Vellve** Telephone: **415-558-6263** Mail: sara.vellve@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0392V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES:

1. All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
2. All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
3. Examination of the site and portions thereof which affect this work shall be made by the General Contractor, who shall compare existing conditions with the contract documents and satisfy himself as to the existing conditions under which work is to be performed. Contractor shall at such time ascertain and verify the locations of existing structures.
4. The contract documents describe design intent, and are not intended to be all inclusive. Contractor is responsible for the means and methods to provide complete operational systems & installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
5. Contractor shall be responsible for thorough coordination of trades. All claims for additional work will not be awarded for any and all work related to such coordination.
6. Contractor shall verify all dimensions, elevations and conditions at the site, confirm that the work is buildable as shown, and notify Architect in writing of any discrepancies prior to proceeding with any and all work in question.
7. All dimensions are to finish face of concrete, centerline of steel, face of stud or casework unless otherwise noted. Dimensions noted as "CLR" must be precisely maintained. Dimensions are not adjustable without architect's approval unless noted as "+/-". Verify dimensions marked "V.I.F." prior to commencement of construction, and notify architect of any inconsistencies.
8. All dimensions, notes and details shown on one portion of a drawing shall apply typically to all opposite hand and/or conditions unless otherwise noted.
9. "Align" shall mean to accurately locate finish faces in the same plane.
10. The contract documents are complementary. What is shown or referred to partially or whole on any shall be provided as though shown on all.
11. Do not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans and elevations.
12. Contractor shall verify layout of partitions, doors, electrical outlets, data and telephone outlets, light fixtures, and switches with Architect prior to proceeding with construction. Contractor shall verify that no conflicts exist in locations of any mechanical, telephone, data, electrical, lighting, plumbing, and sprinkler equipment (to include, but not limited to all piping, ductwork and conduit) and that all required clearances for installation and maintenance are provided.
13. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the Contractor.
14. All work listed, shown, or implied on any contract document shall be installed and installed by the Contractor, except where noted otherwise.
15. In case of conflict between the architect's and engineer's drawings in the location of materials and/or equipment, architectural drawings shall govern. The Contractor shall notify the Architect immediately of such conflict.
16. All manufactured articles, materials, and equipment shall be installed, connected, erected, cleaned, and conditioned per the manufacturer's instructions. In case of differences between manufacturer's instructions and the contract documents, the contractor shall notify the architect before proceeding with the work in question.
17. All work noted "By Others" or "N.I.C." shall be provided by owner or under separate contract. Submit to the architect and owner schedule requirements for this "other" work in the construction progress schedule and coordinate as required to assure orderly sequence of installation.
18. The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting any finished areas in or outside the job site. Burning of debris on site shall not be permitted.
19. Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without authorization from the architect or owner's representative. Failure to obtain authorization shall invalidate any claim for additional compensation.
20. Provide fireblocking at all ceilings, floors, furred-down ceilings, soffits, and concealed draft openings per CBC 708.2.1. Fireblocking shall not exceed 10 ft. max. in both vertical and horizontal directions.

31. Some work shall be designated as design / build - deferred submittal. It shall be submitted to the project architect and engineer of record for review and coordination. Following completion review and coordination by architect and engineer of record, the Design Builder is responsible to submit stamped drawings and calculations to the San Francisco Building Department for review and approval along with a letter from Architect and Engineer of record that they have been coordinated and found to be acceptable with no exceptions. Design / Build - deferred submittal work shall include, but is not limited to:
 - Electrical Plans
 - Plumbing Plans
 - Mechanical Plans
 - Sprinkler and Fire Alarm Plans

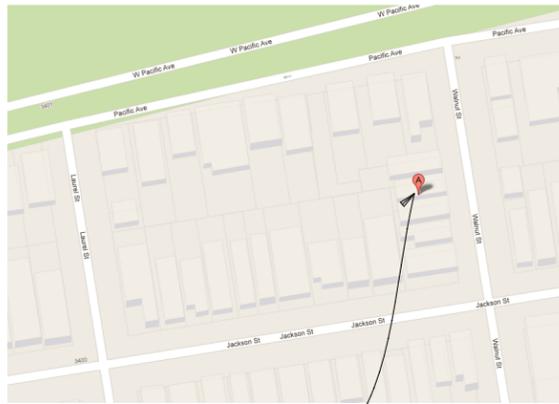
GENERAL CONSTRUCTION NOTES:

1. PROVIDE SMOKE DETECTORS AT BEDROOMS AND HALLWAYS PER CALIFORNIA BUILDING CODE.
2. AT ALL HABITABLE AREAS, RECEPTACLE OUTLETS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. AT 12" O.C. MAXIMUM AND WITHIN 6 FEET FROM END OF WALLS.
 2. ANY WALL SPACE 2' OR MORE FEET WIDE.
 - AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", AND LOCATED SUCH THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTACLE.
 - IN ANY HALLWAY MORE THAN 10' IN LENGTH.
 - ADJACENT TO EACH BATHROOM BASIN LOCATION.
3. GROUND FAULT CIRCUIT INTERRUPT (GFCI) OUTLETS SHALL BE INSTALLED IN REMODELED AREAS AT THE FOLLOWING LOCATIONS:
 - GARAGE
 - BATHROOMS
 - ALL KITCHEN COUNTERTOPS
 - ALL EXTERIOR RECEPTACLES
 - ALL UNFINISHED BASEMENT AREAS
 - WITHIN 6 FEET OF WET BAR SINKS
4. KITCHEN SHALL BE SUPPLIED WITH AT LEAST 2 SEPARATE 20 AMPERE SMALL APPLIANCE CIRCUITS.
5. LAUNDRY SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE CIRCUIT FOR LAUNDRY APPLIANCES.
6. BATHROOM RECEPTACLE OUTLETS SHALL BE ON A DEDICATED 20 AMPERE CIRCUIT AND SEPARATED FROM BATHROOM LIGHTING CIRCUITRY.
7. PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR GRILL TO SERVE DRYER.
8. WALL COVERINGS IN SHOWERS AND SHOWER / TUB COMBINATION UNITS SHALL BE CERAMIC TILE TO A HEIGHT OF +70", OVER APPROVED MORTAR BED OR CEMENTITIOUS TILE UNDERLAYMENT BOARD OVER A VAPOR BARRIER.
9. ALL MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN TUB / SHOWER AREAS ARE TO BE MOISTURE RESISTANT.
10. GLASS ENCLOSURE DOORS AND PANELS SHALL BE LABELED CATEGORY II, WITH ALL DOORS TO SHOWER SWINGING OUTWARD.
11. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.
12. ALL SHOWER AND TUB / SHOWERS ARE TO BE PROVIDED WITH PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE CONTROLS.
13. ALL NEW PLUMBING FIXTURES SHALL BE LOW FLOW WATER SAVING PLUMBING DEVICES.
14. ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:
 1. A CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
 2. THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
 3. INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH.
 4. HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
 5. HANDGRIP SURFACE SHALL BE 1-1/4" TO 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
 6. HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.
15. A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.
16. IN BATHROOMS OR KITCHENS: HIGH EFFICACY LAMPS SHALL HAVE LAMP EFFICACY AS FOLLOWS:
 - < 15 W = MIN. 40 LM/W
 - 15-40 W = MIN. 50 LM/W
 - > 40 W = 60 LM/W
17. PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..
18. PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" X 30" WHERE ATTIC HEIGHT 30" OR GREATER, AS PER C.B.C..
19. AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
20. SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 1. GLAZING IN EGRESS OR EGRESS DOORS
 2. GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS.
 3. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
 4. GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT.
 5. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES
 6. WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.



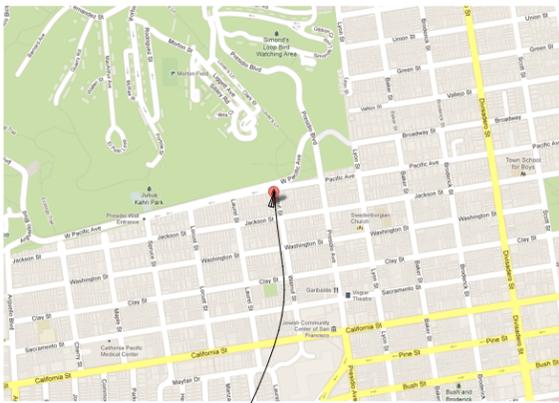
AERIAL VIEW

SUBJECT PROPERTY
37 WALNUT STREET



VICINITY MAP

SUBJECT PROPERTY
37 WALNUT STREET



LOCATION MAP

SUBJECT PROPERTY
37 WALNUT STREET



PROJECT CALCS:

ASSUMED PREVIOUS EXISTING
PRIOR TO PERMIT #2011.02.09.9876:

BASEMENT:	787 SQ.FT.
GARAGE (UNCONDITIONED):	660 SQ.FT.
FIRST FLOOR:	1,469 SQ.FT.
DECK (UNCONDITIONED):	384 SQ.FT.
SECOND FLOOR:	1,402 SQ.FT.
THIRD FLOOR:	1,122 SQ.FT.
DECK (UNCONDITIONED):	241 SQ.FT.
TOTAL CONDITIONED:	4,780 SQ.FT.

AS-BUILT CONDITIONS:

BASEMENT:	872 SQ.FT.
GARAGE (UNCONDITIONED):	663 SQ.FT.
FIRST FLOOR:	1,487 SQ.FT.
DECK (UNCONDITIONED):	169 SQ.FT.
SECOND FLOOR:	1,462 SQ.FT.
THIRD FLOOR:	1,122 SQ.FT.
DECK (UNCONDITIONED):	241 SQ.FT.
TOTAL CONDITIONED:	4,943 SQ.FT.

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE WITH SF ADMMENDMENTS
2010 CALIFORNIA FIRE CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ELECTRICAL
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ENERGY CODE

ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

PROJECT DIRECTORY:

OWNER / BUILDER:
DAVID & BRANDI MORANDI
37 WALNUT STREET
SAN FRANCISCO, CA 9418

ARCHITECT:
YA studio
2407 HARRISON STREET, SUITE 2
SAN FRANCISCO, CA 94110
415.920.1839

SCOPE OF WORK:

PERMIT TO RETROACTIVELY DOCUMENT WORK NOT PREVIOUSLY IDENTIFIED UNDER PERMIT APPLICATION # 2011.02.09.9876, INCLUDING:

REMODEL OF THIRD, SECOND, FIRST, AND BASEMENT. REMODEL ALL BATHS AND KITCHEN. INFILL NORTH WEST CORNER AT SECOND FLOOR, EXPAND REAR BAY WALL AT REAR KITCHEN AREA. ENCLOSE WALKWAY AT BASEMENT. REFRAME REAR WALL AT BASEMENT LEVEL PER PLANS. REPLACE ALL WINDOWS AT REAR PER PLANS.

PROJECT DATA:

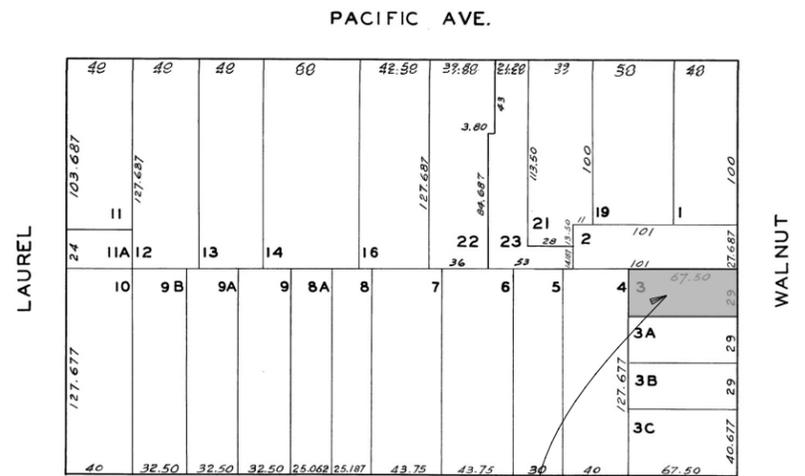
BLOCK / LOT:	0972/003
NEIGHBORHOOD:	PRESIDIO HEIGHTS
ZONING:	RH-1, RESIDENTIAL HOUSE ONE FAMILY
LOT SIZE:	1,957.5 SQ.FT.
LOT DIMENSIONS:	66'-6" X 29'-0"
(E) AND PROPOSED USE:	R-3 (SINGLE-FAMILY)

ASSUMED PREVIOUS EXISTING AND AS-BUILT CONSTRUCTION TYPE: V-B

SHEET INDEX:

ARCHITECTURAL:

- A0.1 COVER, INDEX, DESCRIPTION
- A1.1 SITE PLAN - ASSUMED PREVIOUS EXISTING
- A1.2 SITE PLAN - AS-BUILT CONDITIONS
- A2.1 BASEMENT PLANS
- A2.2 FIRST FLOOR PLANS
- A2.3 SECOND FLOOR PLANS
- A2.4 THIRD FLOOR PLANS
- A3.1 EAST (FRONT) ELEVATIONS
- A3.2 SOUTH ELEVATION - ASSUMED PREVIOUS EXISTING
- A3.3 SOUTH ELEVATION - AS-BUILT CONDITIONS
- A3.4 WEST (REAR) ELEVATIONS
- A3.5 NORTH ELEVATION - ASSUMED PREVIOUS EXISTING
- A3.6 NORTH ELEVATION - AS-BUILT CONDITIONS



JACKSON

SUBJECT PROPERTY
37 WALNUT STREET

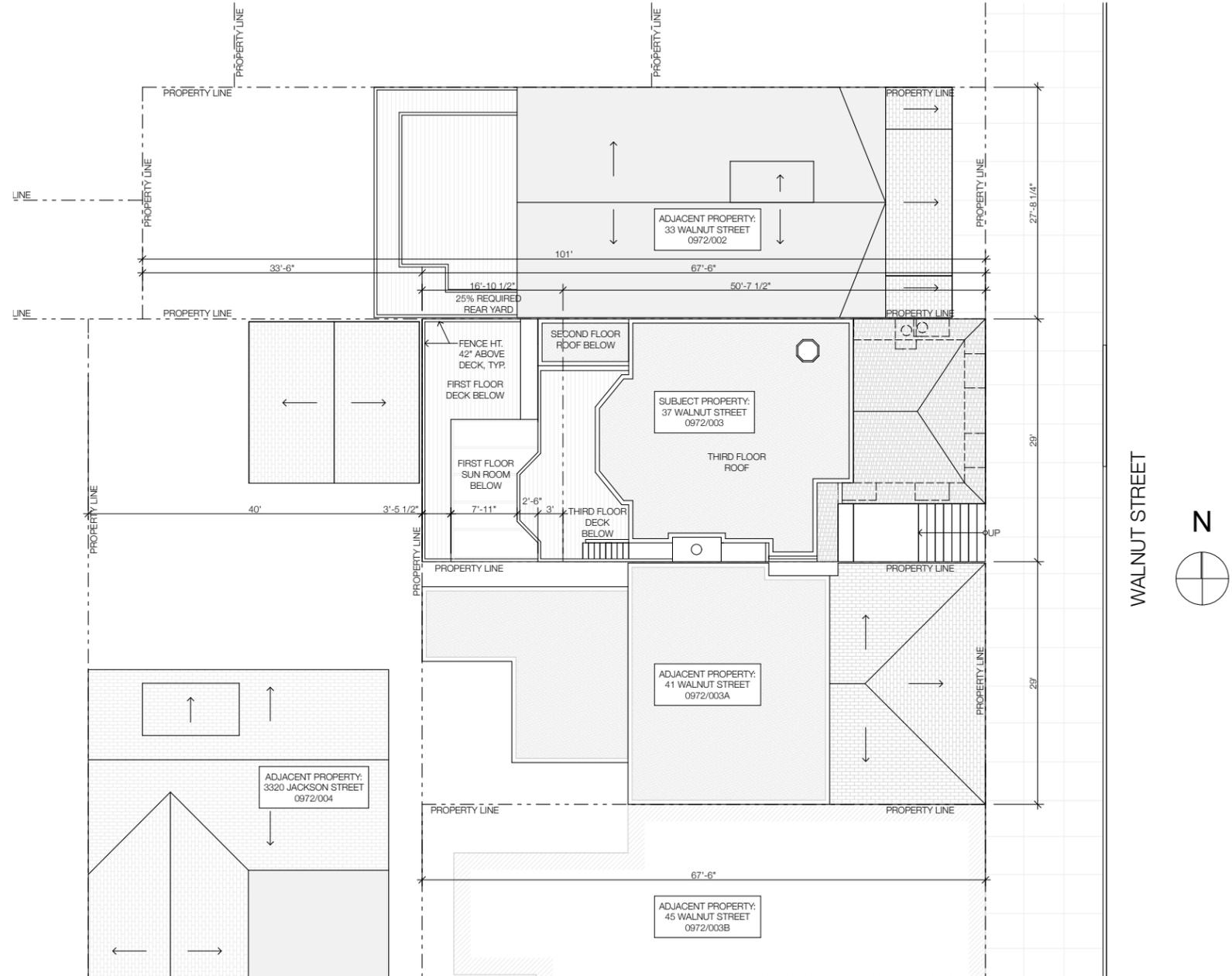
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TITLE:
TITLE SHEET

REV: PRINTING: DATE:
VARIANCE 5/22/13

JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A0.1



1 ASSUMED PREVIOUS EXISTING SITE PLAN PRIOR TO PERMIT APPLICATION # 2011.02.09.9876
 SCALE: 1/8" = 1'-0"

PROJECT
 RESIDENTIAL REMODEL
 BLOCK / LOT: 0972/003
 37 WALNUT STREET
 SAN FRANCISCO, CALIFORNIA, 94118

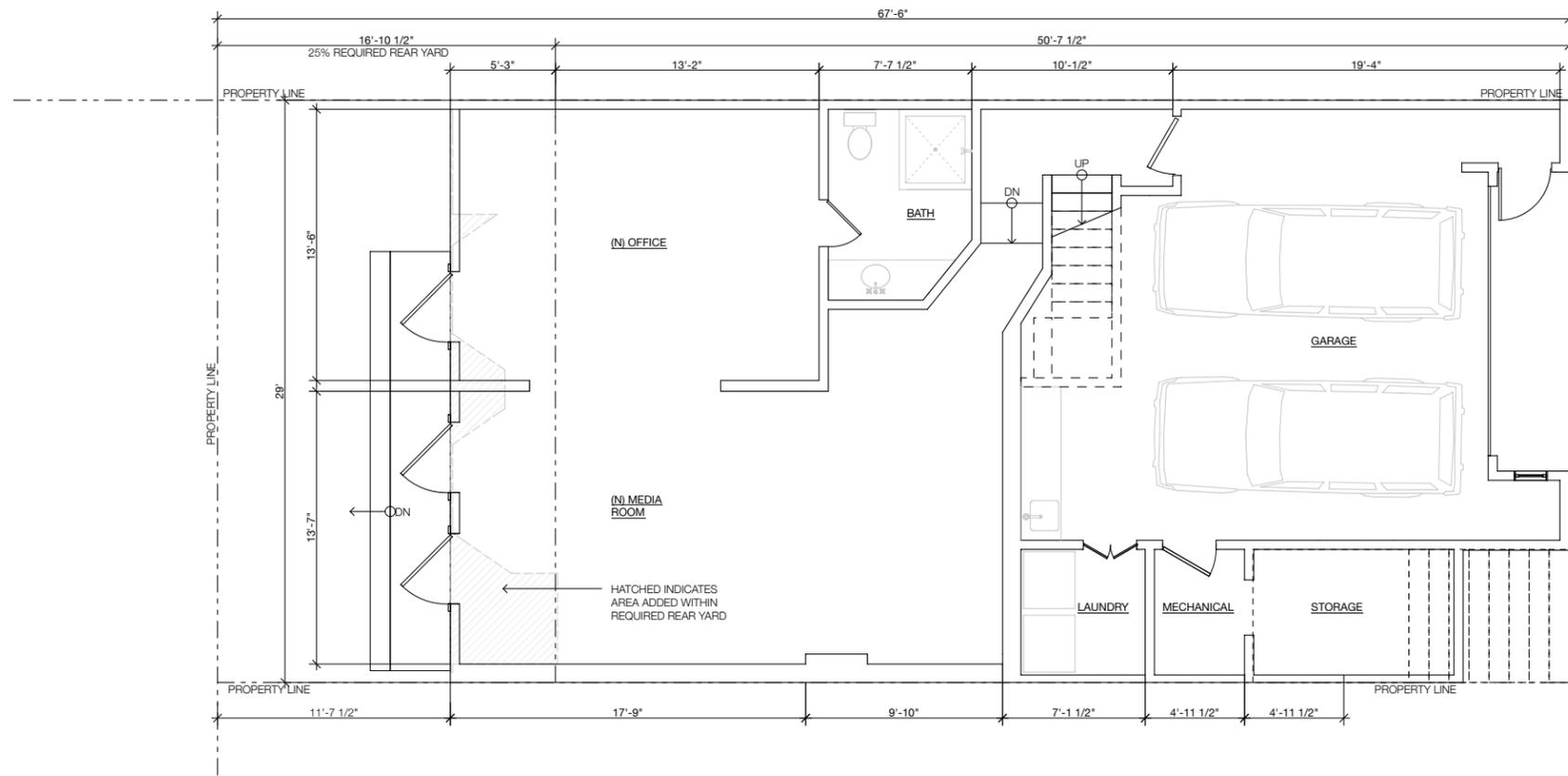
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TITLE:
 EXISTING SITE
 PLAN

REV: PRINTING: DATE:
 VARIANCE 5/22/13

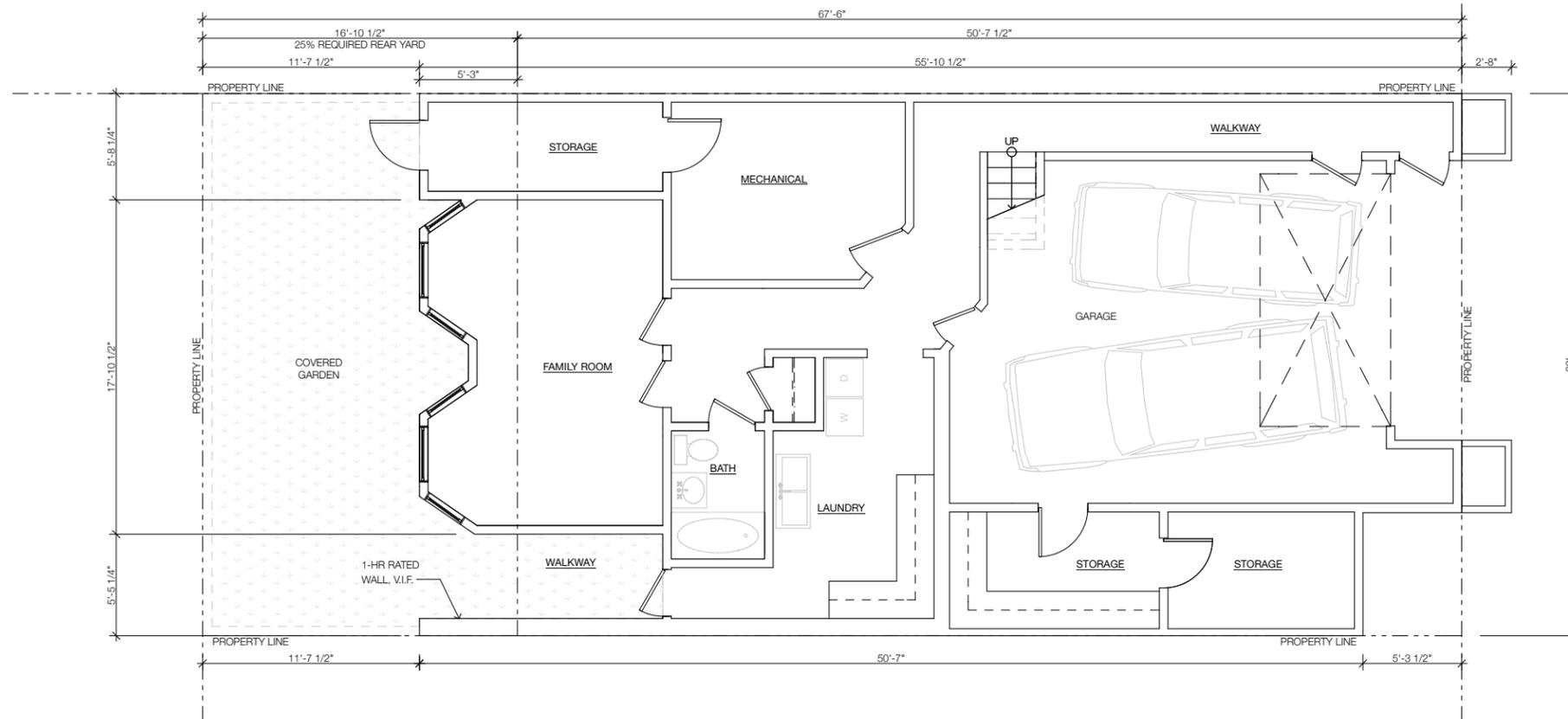
JOB NO: 12035
 DRAWN BY: M.G.
 CHECKED BY: Y.A.
 PRINTED: 5/22/13
 SHEET:

A1.1



2 BASEMENT PLAN AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"



1 BASEMENT PLAN ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

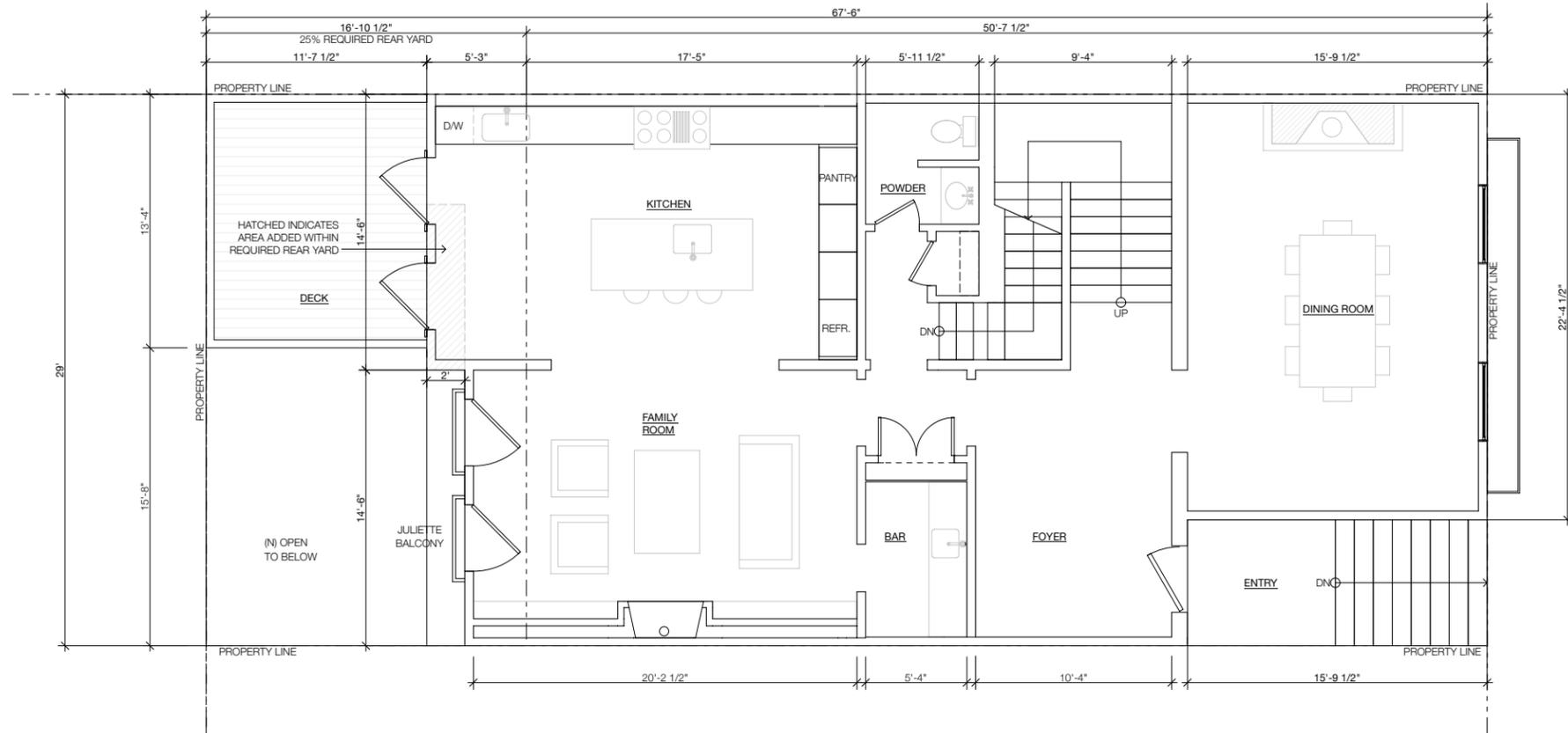
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TITLE:
BASEMENT PLANS

REV: PRINTING: DATE:
VARIANCE 5/22/13

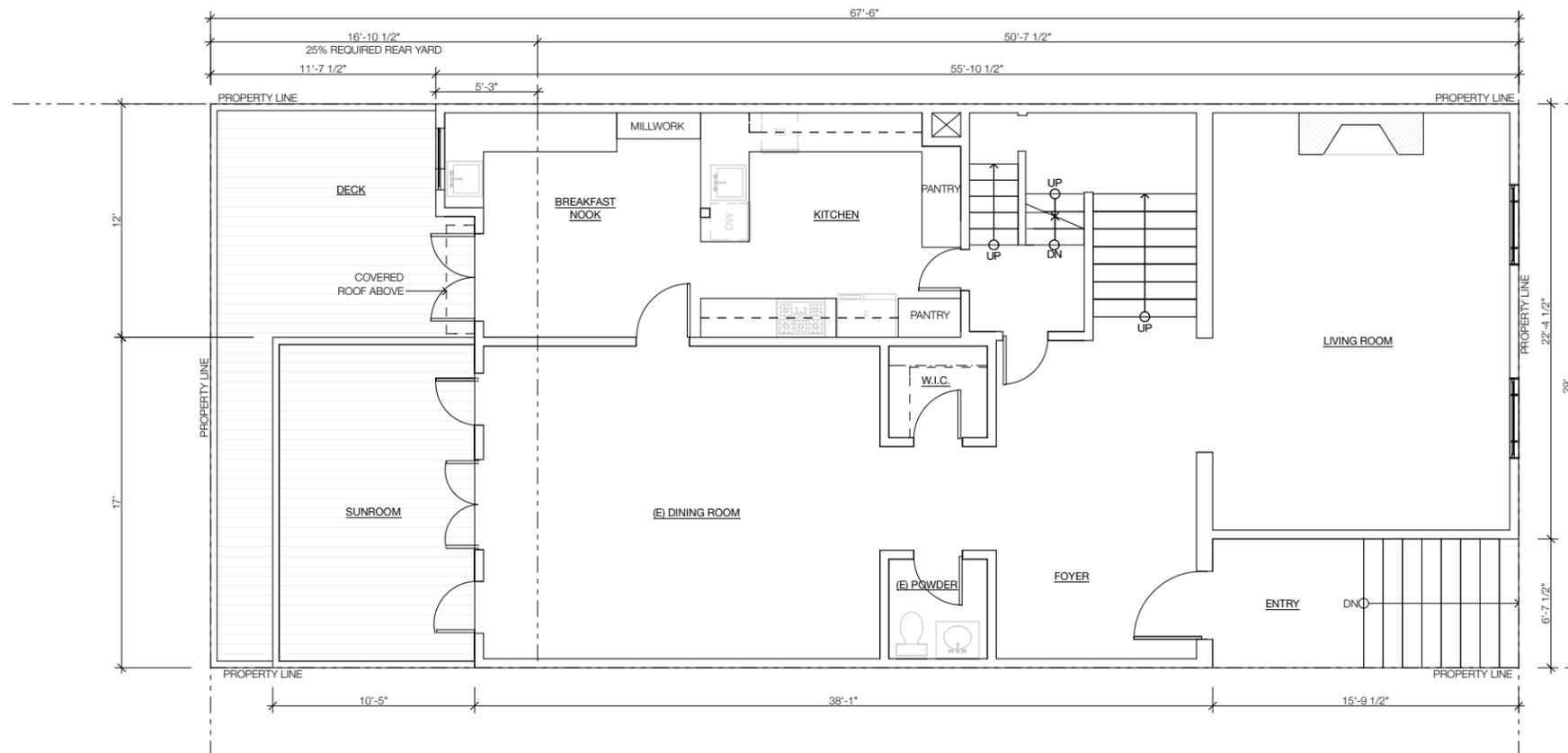
JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A2.1



2 FIRST FLOOR PLAN AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"



1 FIRST FLOOR PLAN ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

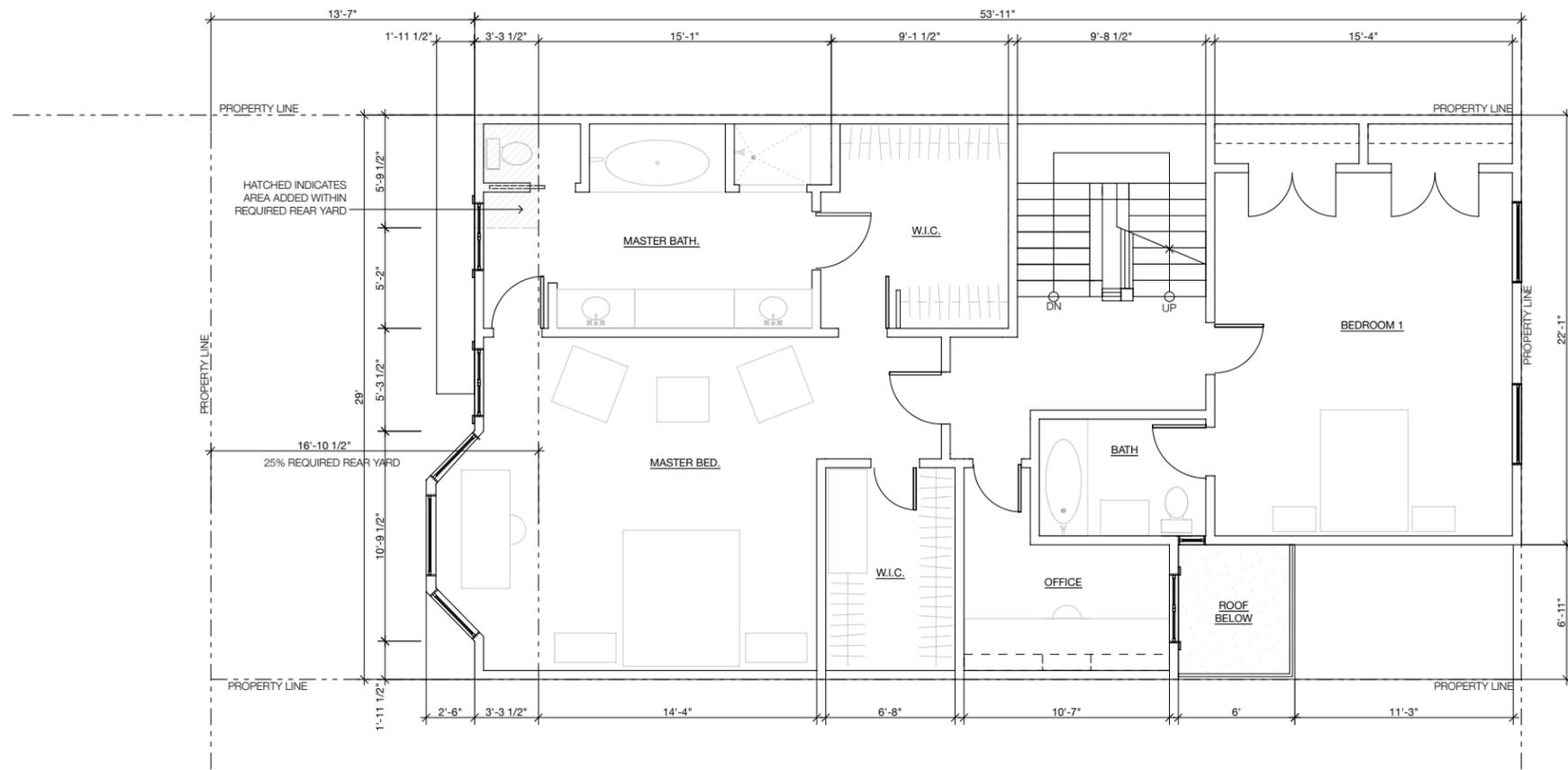
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FIRST FLOOR
PLANS

REV: PRINTING: DATE:
VARIANCE 5/22/13

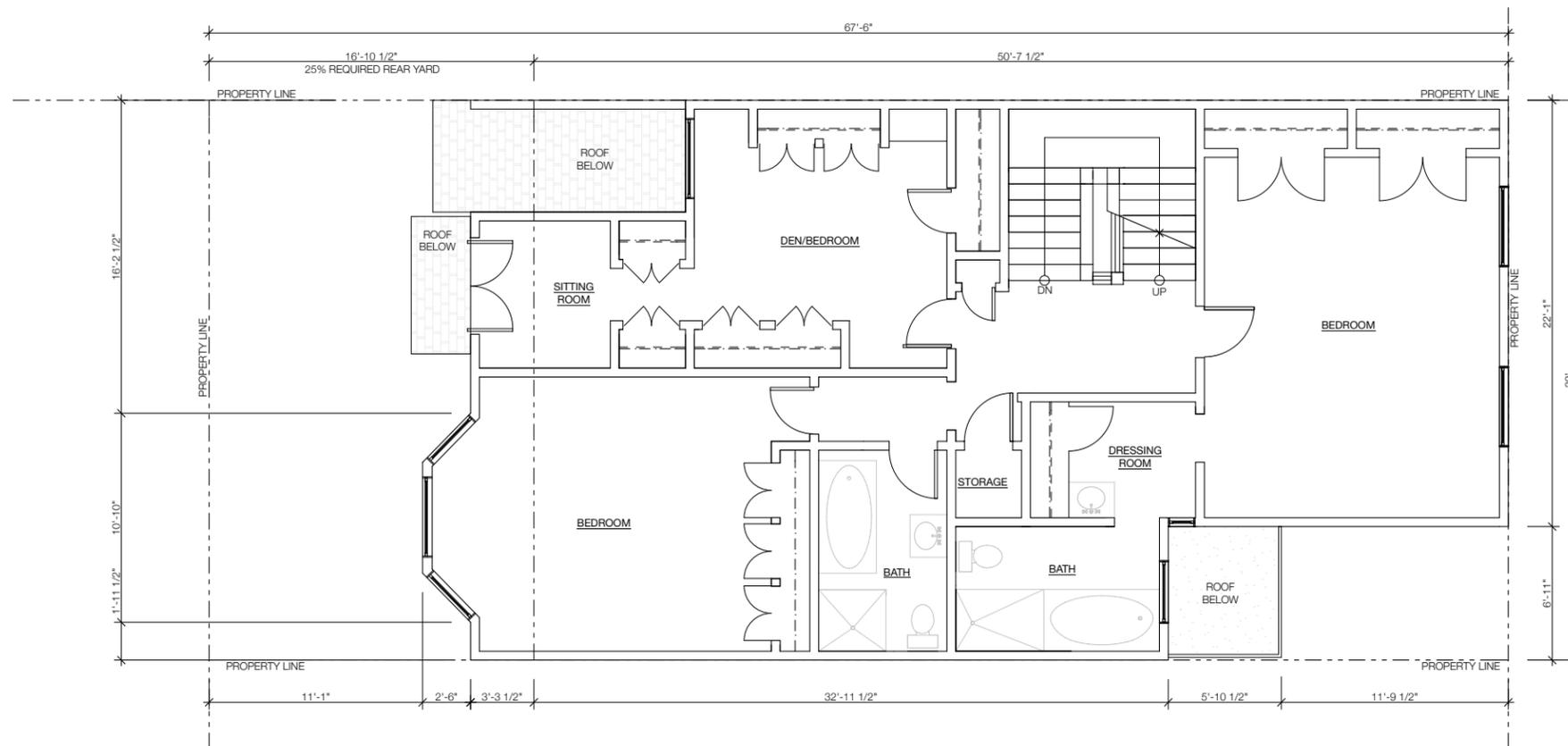
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DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A2.2



2 SECOND FLOOR PLAN AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

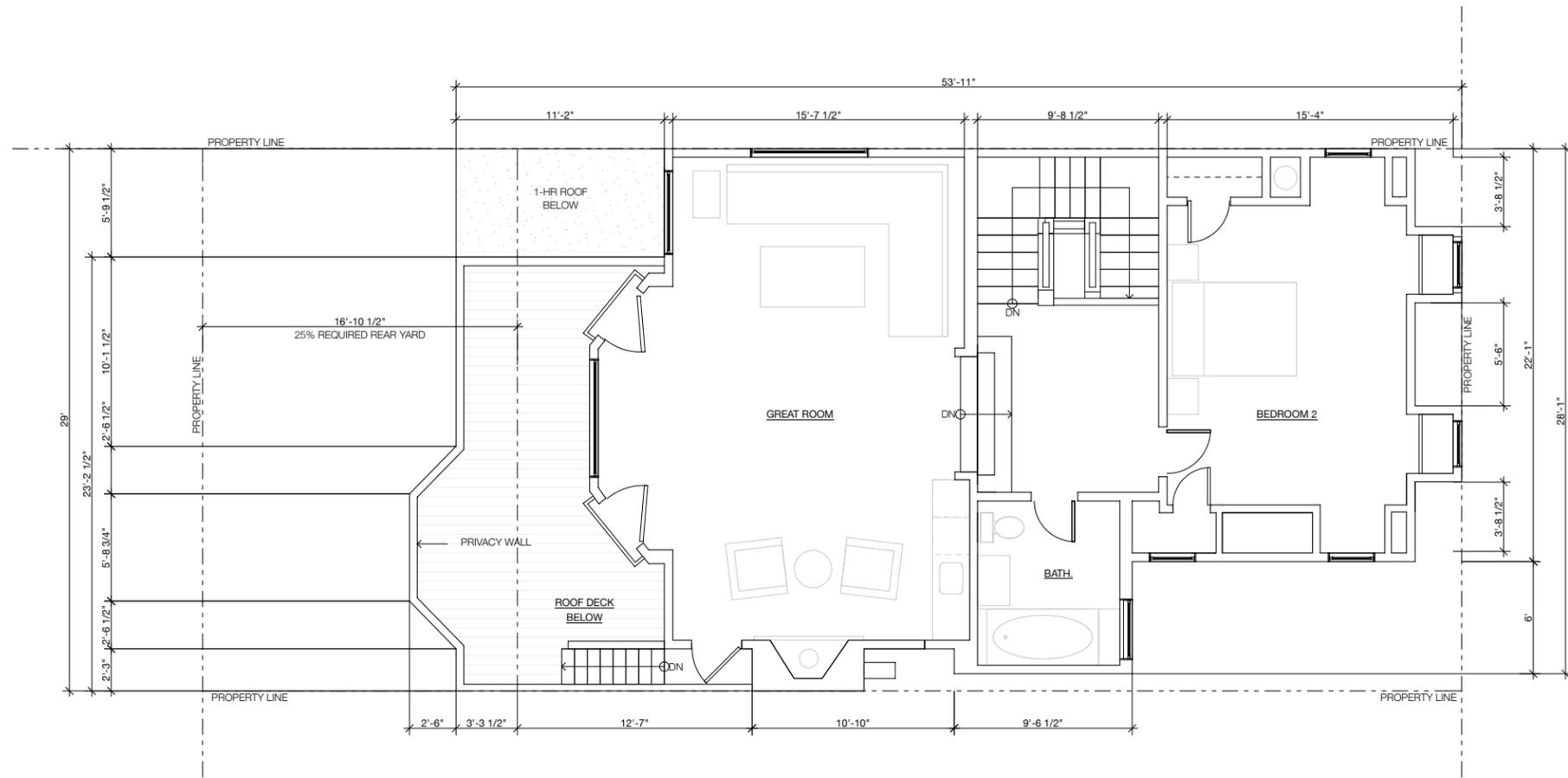
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TITLE:
SECOND FLOOR
PLAN

REV: PRINTING: DATE:
VARIANCE 5/22/13

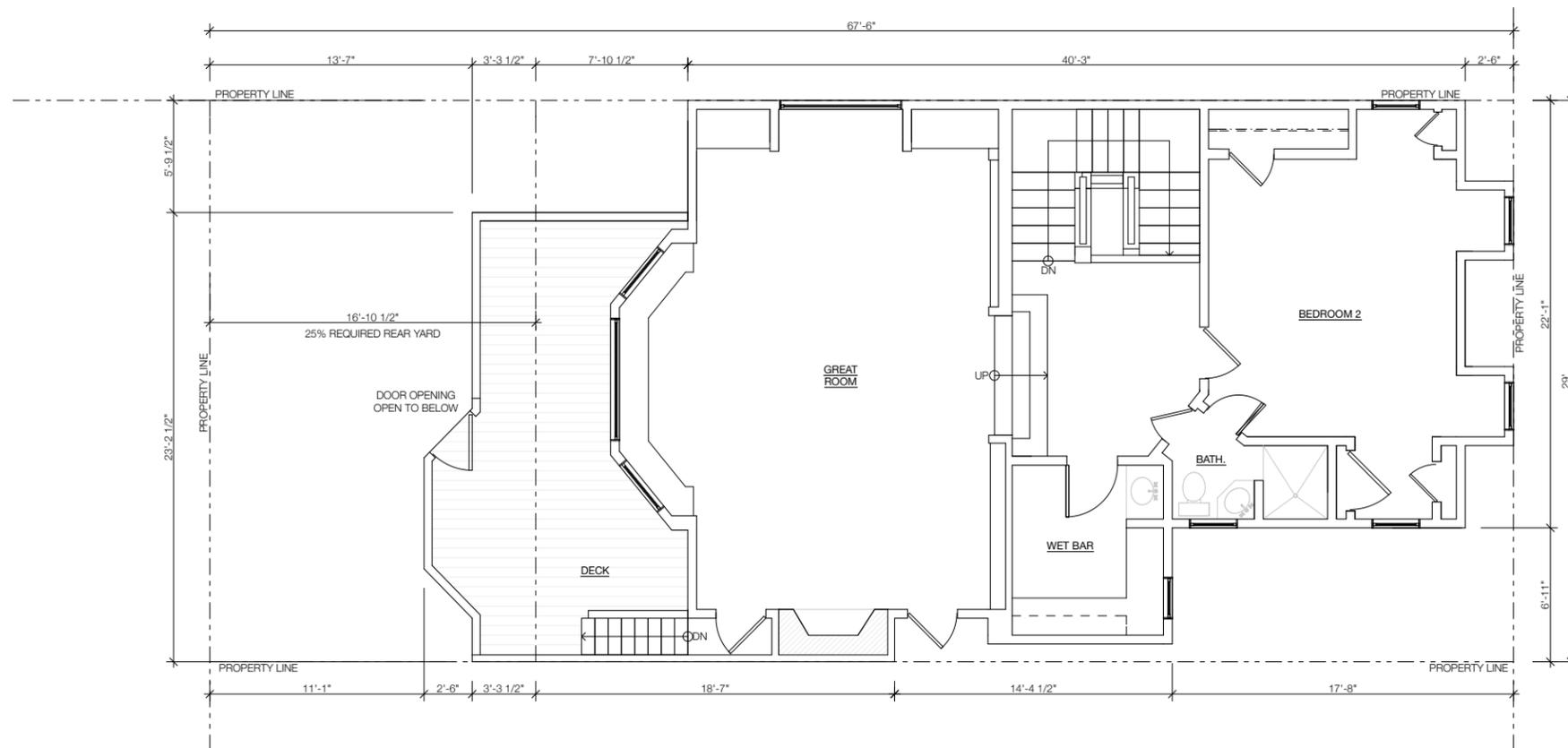
JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A2.3



2 THIRD FLOOR PLAN AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"



1 ASSUMED PREVIOUS EXISTING THIRD FLOOR PLAN PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

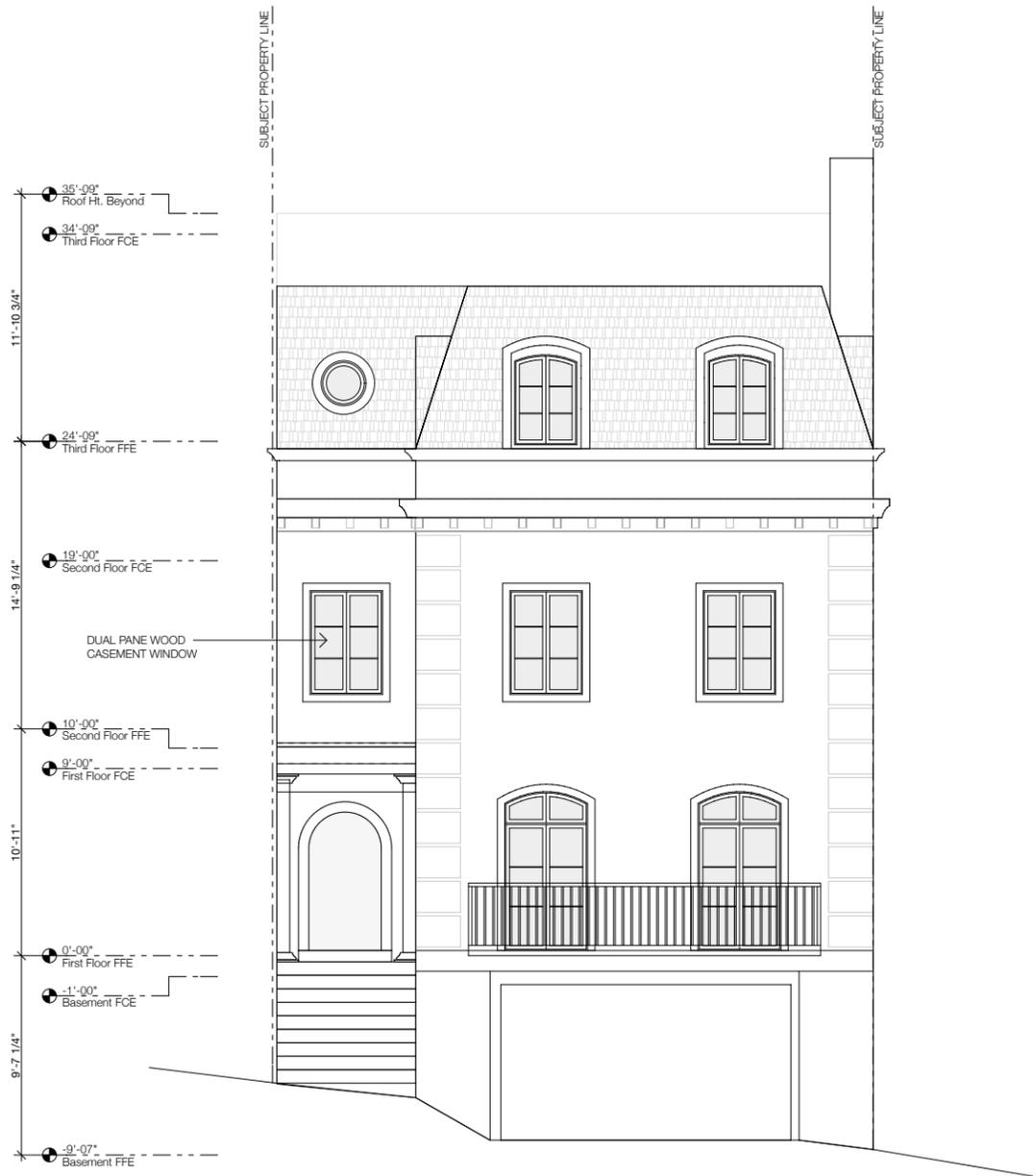
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TITLE:
 THIRD FLOOR
 PLANS

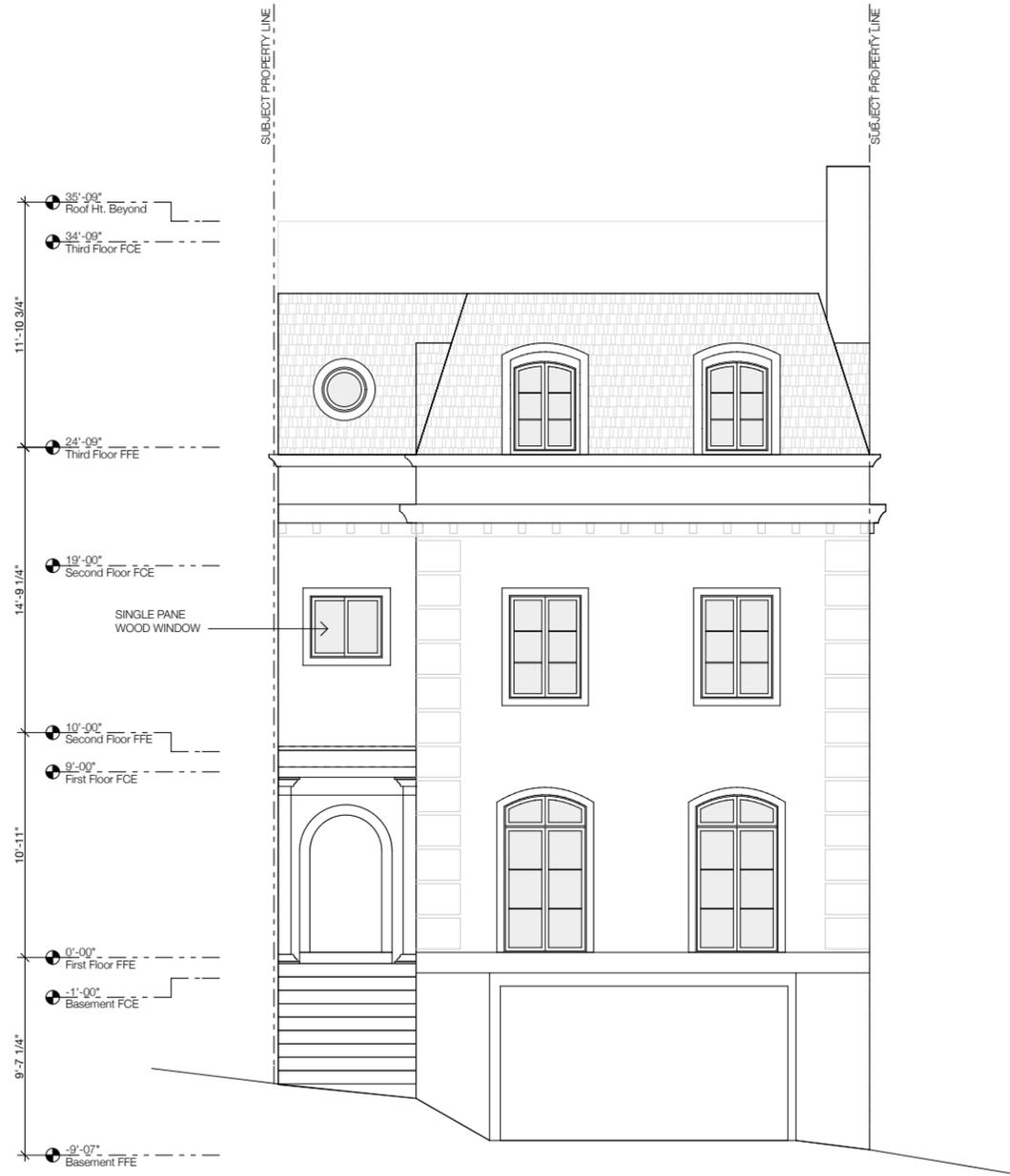
REV: PRINTING: DATE:
 VARIANCE 5/22/13

JOB NO: 12035
 DRAWN BY: M.G.
 CHECKED BY: Y.A.
 PRINTED: 5/22/13
 SHEET:

A2.4



2 FRONT ELEVATION AS-BUILT CONDITIONS SCALE: 1/4"=1'-0"



1 FRONT ELEVATION - ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876 SCALE: 1/4"=1'-0"

PROJECT
RESIDENTIAL REMODEL
BLOCK / LOT: 0972/003
37 WALNUT STREET
SAN FRANCISCO, CALIFORNIA, 94118

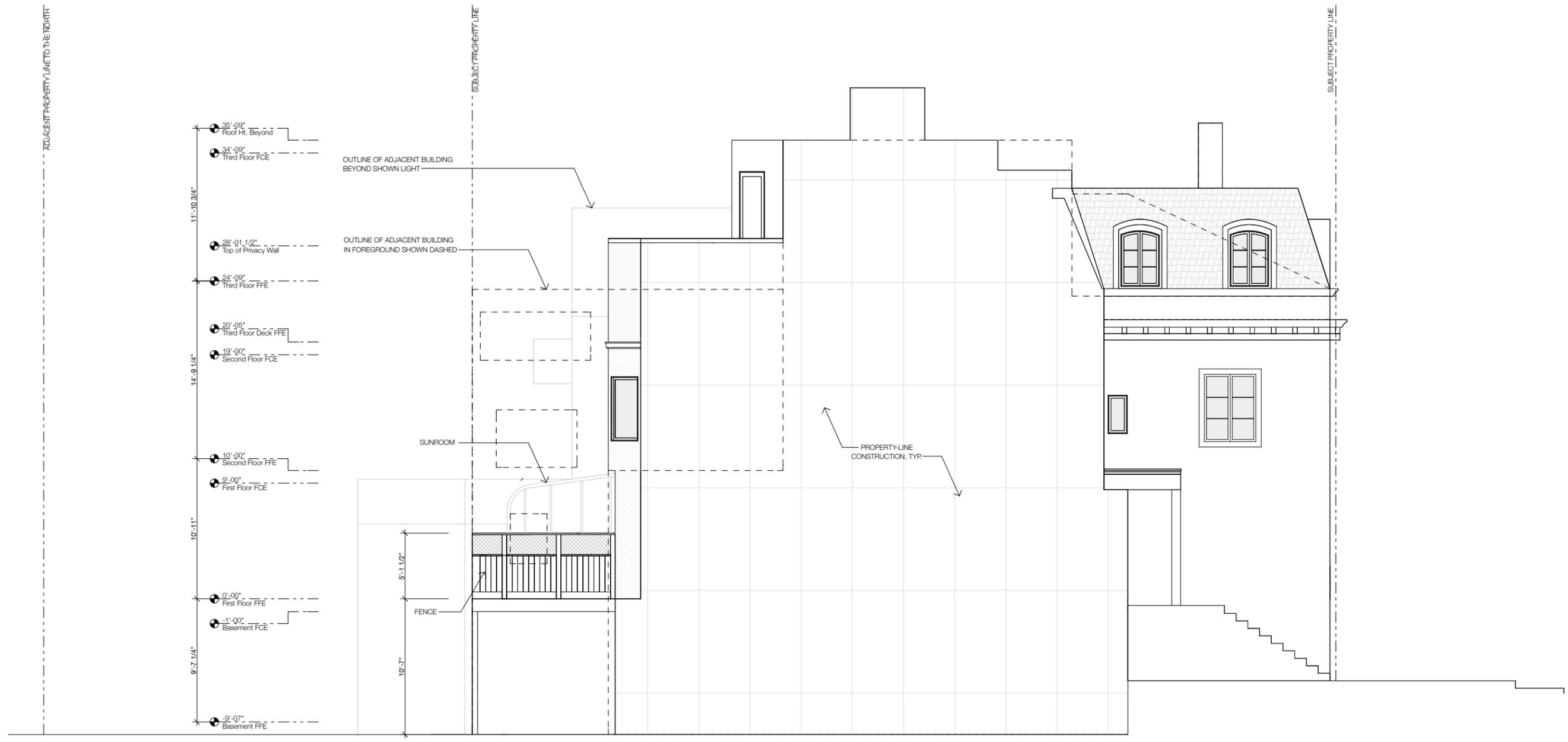
STAMP:

TITLE:
EAST ELEVATIONS

REV: PRINTING: DATE:
VARIANCE 5/22/13

JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A3.1



1 SOUTH ELEVATION - ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

PROJECT
**RESIDENTIAL REMODEL
 BLOCK / LOT: 0972/003
 37 WALNUT STREET
 SAN FRANCISCO, CALIFORNIA, 94118**

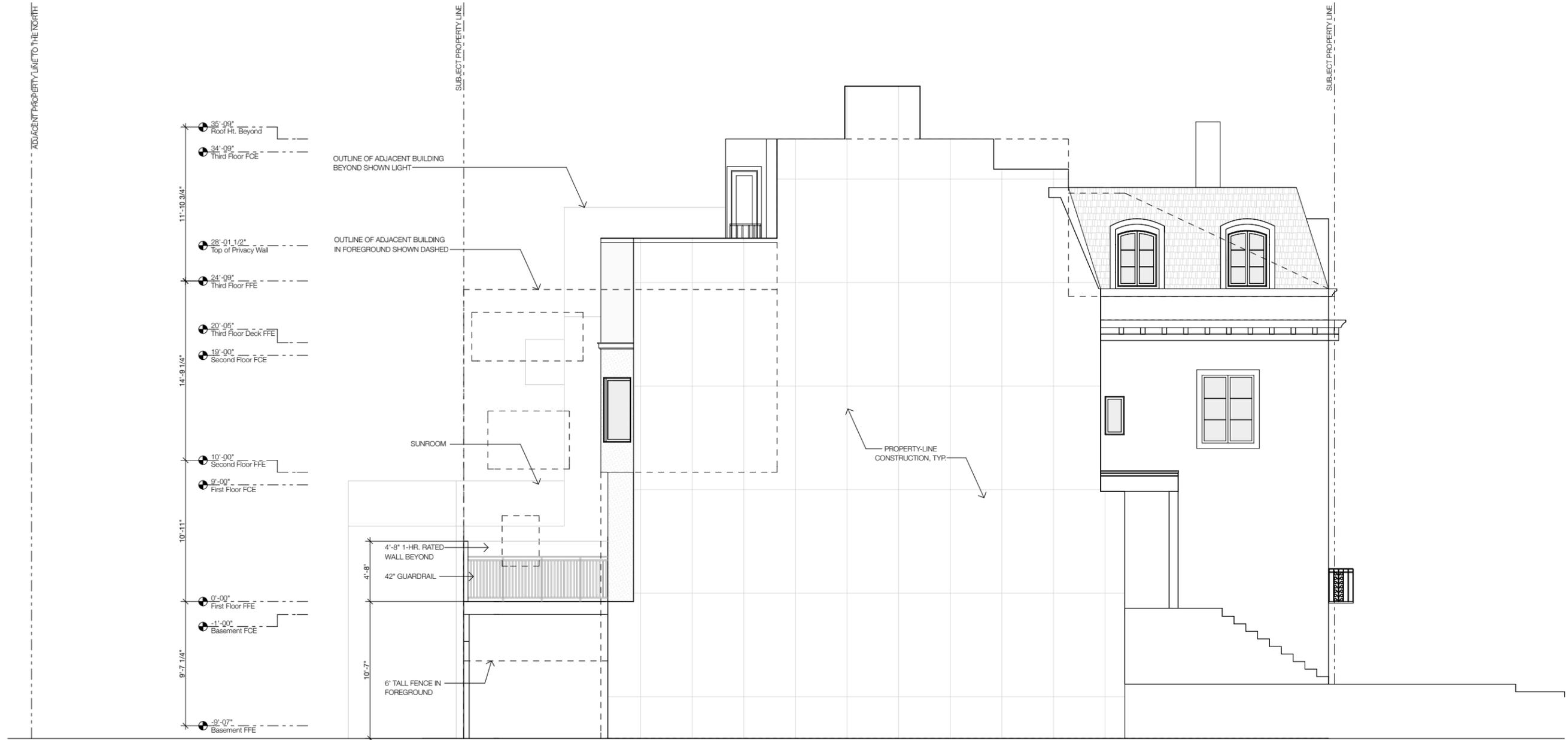
STAMP:

TITLE:
**SOUTH ELEVATION
 - ASSUMED
 PREVIOUS
 EXISTING**

REV: PRINTING: DATE:
 VARIANCE 5/22/13

JOB NO: 12035
 DRAWN BY: M.G.
 CHECKED BY: Y.A.
 PRINTED: 5/22/13
 SHEET:

A3.2
 SHEET 9 OF 13 © Y.A. studio 2011



1 SOUTH ELEVATION AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"

PROJECT
RESIDENTIAL REMODEL
BLOCK / LOT: 0972/003
37 WALNUT STREET
SAN FRANCISCO, CALIFORNIA, 94118

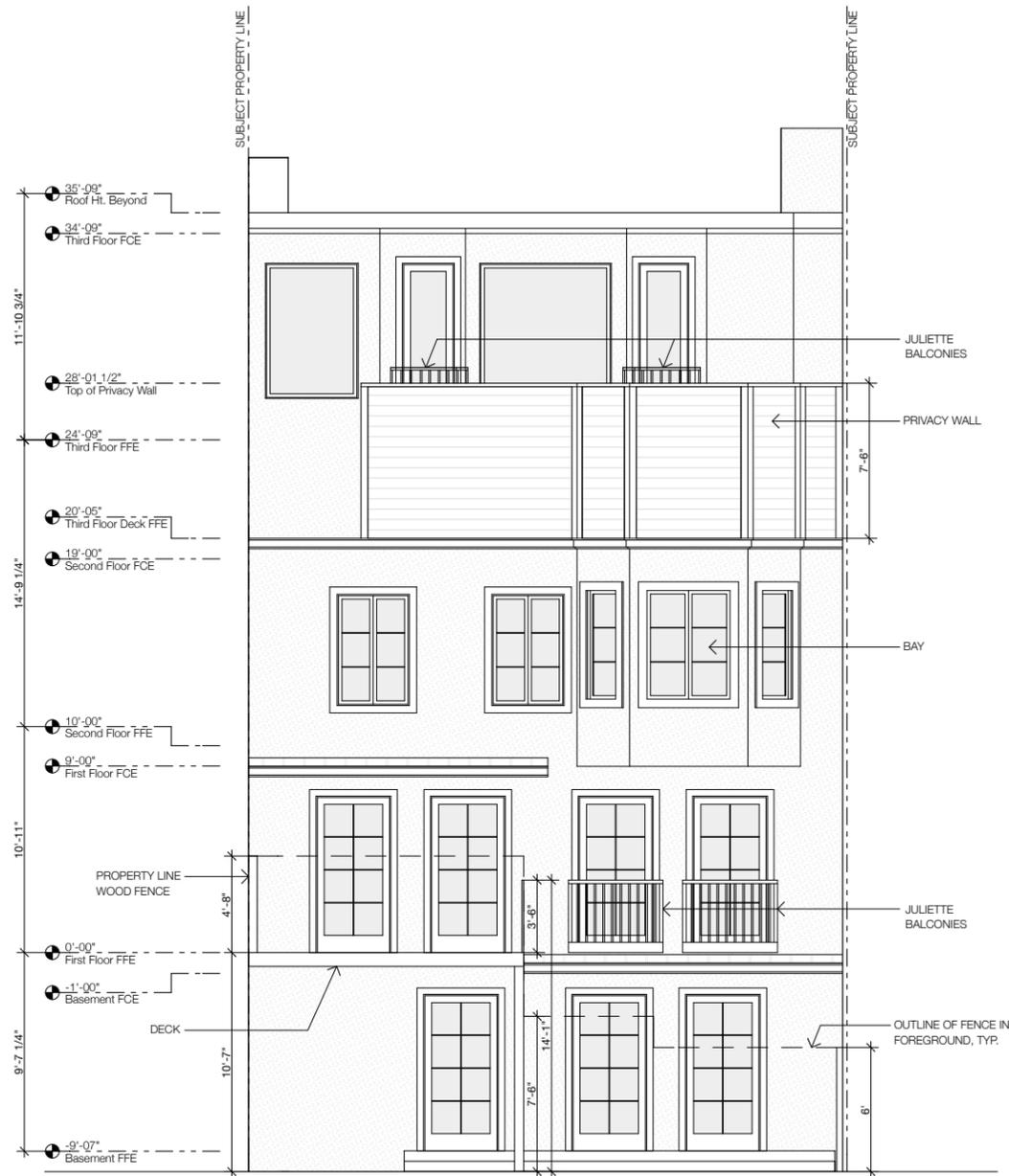
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TITLE:
SOUTH ELEVATION
- AS-BUILT
CONDITIONS

REV: PRINTING: DATE:
VARIANCE 5/22/13

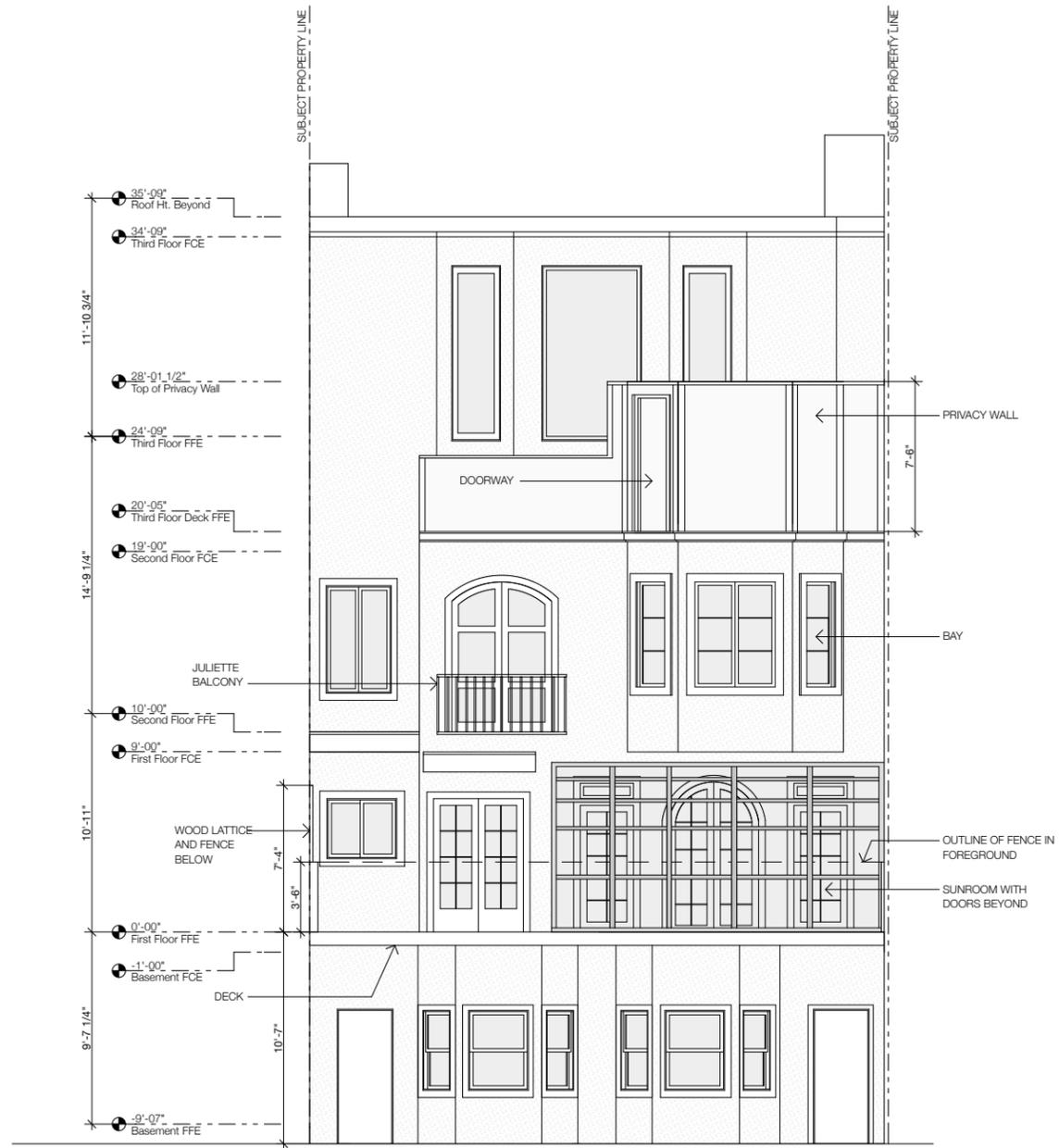
JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A3.3



2 REAR ELEVATION AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"



1 REAR ELEVATION - ASSUMED PREVIOUS EXISTING
PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

PROJECT
RESIDENTIAL REMODEL
BLOCK / LOT: 0972/003
37 WALNUT STREET
SAN FRANCISCO, CALIFORNIA, 94118

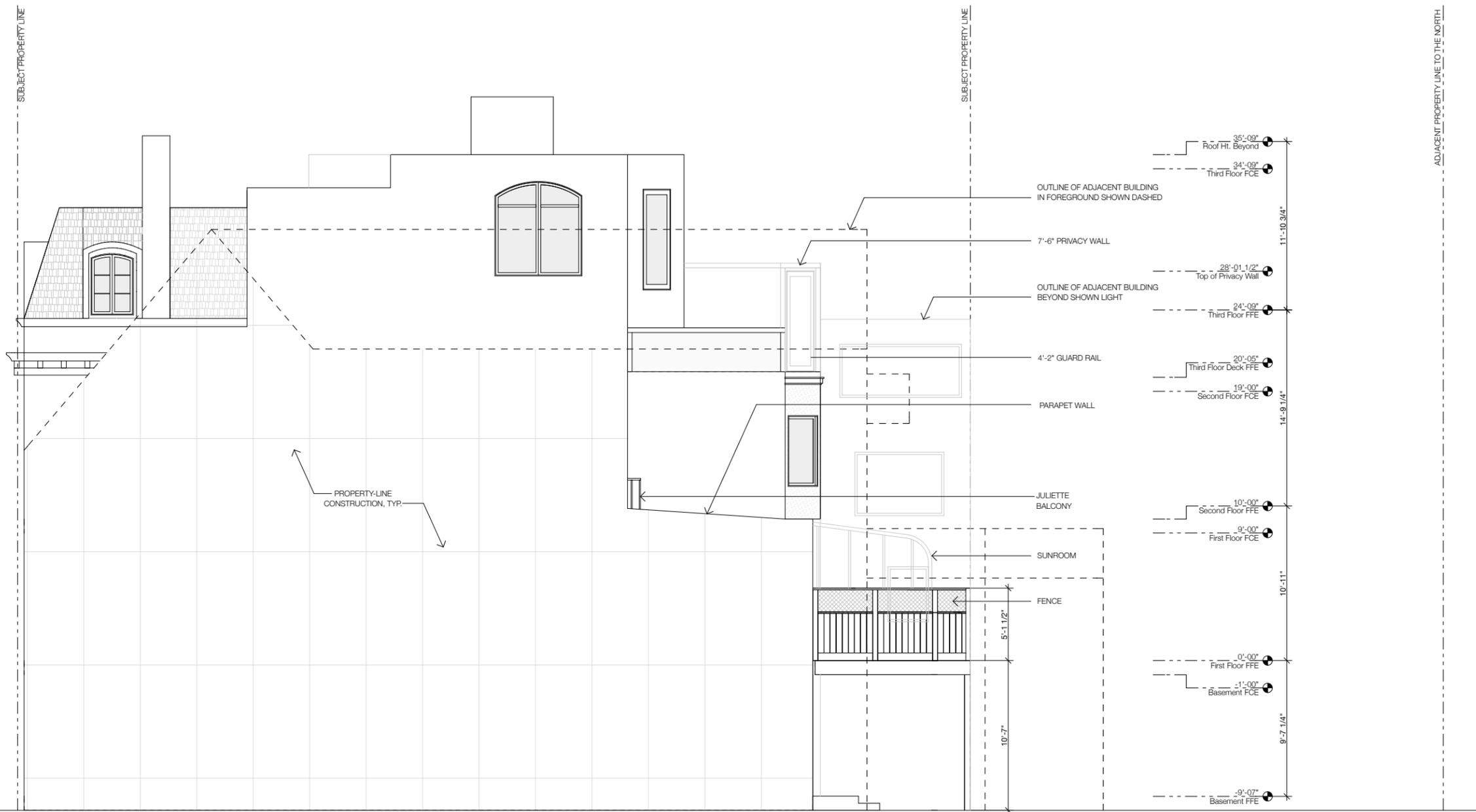
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TITLE:
WEST ELEVATIONS

REV: PRINTING: DATE:
VARIANCE 5/22/13

JOB NO: 12035
DRAWN BY: M.G.
CHECKED BY: Y.A.
PRINTED: 5/22/13
SHEET:

A3.4



1 NORTH ELEVATION - ASSUMED PREVIOUS EXISTING PRIOR TO PERMIT APPLICATION # 2011.02.09.9876

SCALE: 1/4"=1'-0"

PROJECT
 RESIDENTIAL REMODEL
 BLOCK / LOT: 0972/003
 37 WALNUT STREET
 SAN FRANCISCO, CALIFORNIA, 94118

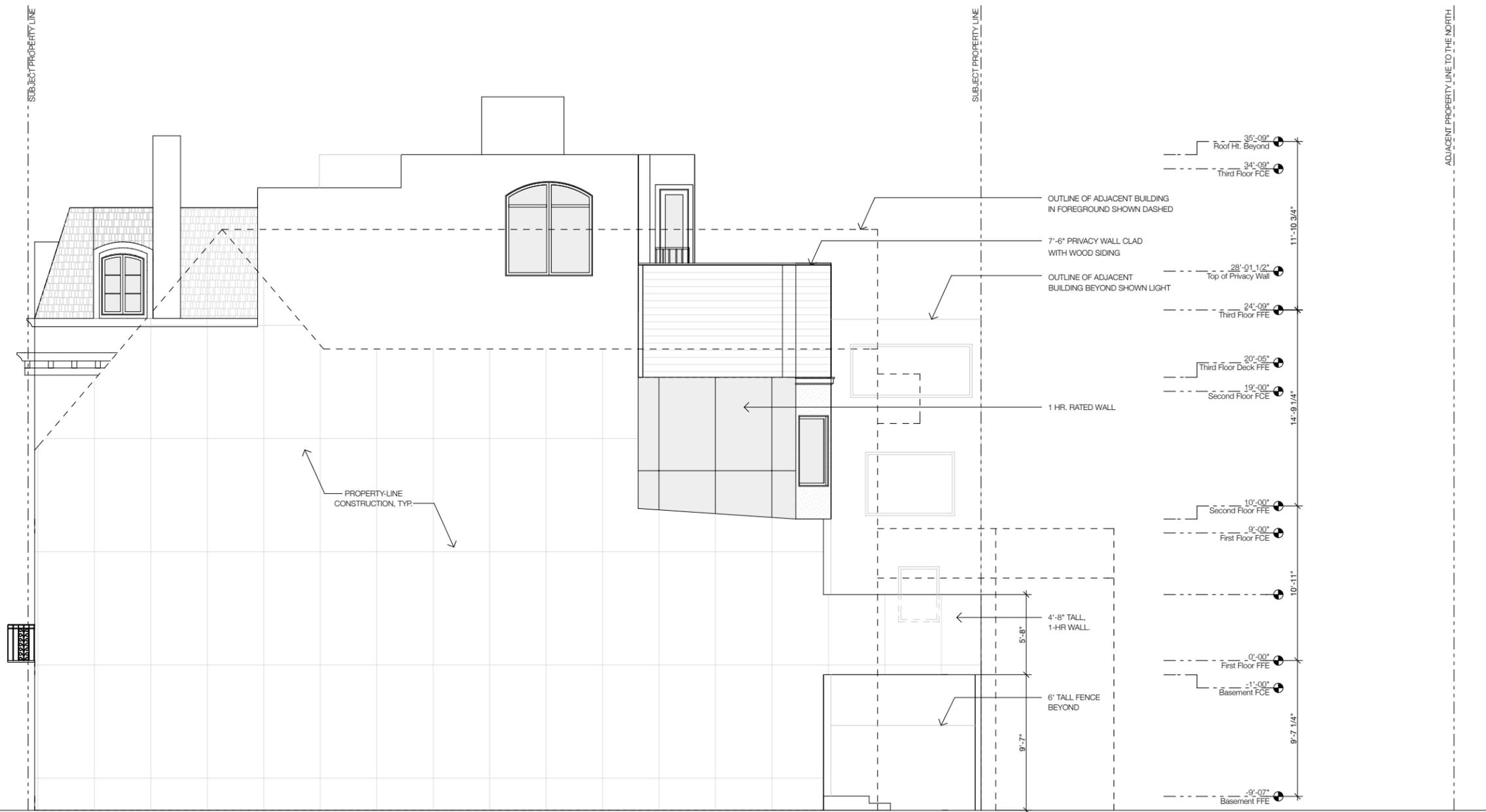
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TITLE:
 NORTH ELEVATION
 - ASSUMED
 PREVIOUS
 EXISTING

REV: PRINTING: DATE:
 VARIANCE 5/22/13

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 CHECKED BY: Y.A.
 PRINTED: 5/22/13
 SHEET:

A3.5
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1 NORTH ELEVATION AS-BUILT CONDITIONS

SCALE: 1/4"=1'-0"

PROJECT
 RESIDENTIAL REMODEL
 BLOCK / LOT: 0972/003
 37 WALNUT STREET
 SAN FRANCISCO, CALIFORNIA, 94118

STAMP:

TITLE:
**NORTH ELEVATION
 - AS-BUILT
 CONDITIONS**

REV: PRINTING: DATE:
 VARIANCE 5/22/13

JOB NO: 12035
 DRAWN BY: M.G.
 CHECKED BY: Y.A.
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A3.6
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