MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, July 24, 2013

Time: **9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance(Rear Yard)
Hearing Body: Zoning Administrator

PORPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	17 Coleridge St	Case No.:	2013.0375V
Cross Street(s):	Coleridge St. & Coso Ave.	Building Permit:	2013.0415.4587
Block / Lot No.:	5610/021	Applicant/Agent:	Leslie Arnold
Zoning District(s):	RH-2 / 40-X	Telephone:	415-713-2960
Area Plan:	N/A	E-Mail:	lesliearnoldsf@mac.com

PROJECT DESCRIPTION

The proposal is to replace an existing noncomplying rear deck and stairs with a new noncomplying rear deck and stairs of slightly smaller size at the second story of an existing two family residence. The proposal also involves the construction of a new fire wall along deck and stairs at the south property line of approximately 13 feet in height.

PLANNING CODE SECTION 242 requires a rear yard of 29 feet 4 inches for the subject property. The existing building encroaches 13 feet 6 inches into the required rear yard with the existing deck and stairs encroaching an additional 6 feet 7 inches into the required rear yard, resulting in a rear yard of approximately 9 feet 8 inches. The proposed deck and stairs will be approximately 5 feet by 10 feet six inches, resulting in a rear yard of approximately 11 feet 3 inches. The replacement of the deck and stairs therefore requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION. PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jeffrey Speirs** Telephone: **415-575-9106** E-Mail: **Jeffrey.speirs@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2013.0375V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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General Notes

- 1. Work performed shall comply with the following: All applicable local and state codes, ordinances and regulations. Architectural and Structural drawings and notes. All applicable municipal and zoning codes. Codes take precedence over drawings and specification.
- 2. In the event the Contractor encounters on the site material reasonably believed to be Asbestos, Polychlorinate Bipheryl (PCB) or any other hazardous material which has not been rendered harmless, the Contractor shall immediately notify the Owner.
- 3. On site verification of all dimensions and conditions to be the responsibility of the Contractor. Architect to be notified immediately by Contractor before proceeding with the work should the working drawings differ from site conditions.
- 4. The Contractor and his/her Sub-Contractors shall study and compare the contract documents and shall at once report to the Architect in writing all errors, inconsistencies or omissions discovered and verify all dimensions on site PRIOR TO COMMENCING THE WORK. If the Contractor proceeds with any of the work so affected without written instruction of the Architect, the Contractor shall make good at his/her own cost any resulting error, damage, or defects. The Contractor shall perform no portion of the work without contract documents or, where required, approved shop drawings for such portion of the work.
- 5. No deviations from the structural or architectural design without written approval from the Architect or Engineer. Approval by City Inspector does not constitute authority to deviate from plans or specifications.
- 6. The plans indicate the general extent of new construction necessary for the work, but do not intend to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intention of the drawings is included regardless of whether shown on the drawings or mentioned in the notes.
- 7. Contractor shall coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, drainage lines, gas
- 8. All dimensions are to face of finish unless otherwise noted. DO NOT SCALE DRAWINGS. If required dimensions are missing from the drawings, contact Architect prior to commencing with work.
- 9. Building Code requirements take precedence over the drawings and it it the responsibility of anyone supplying labor or material or both to conform with the code and the drawings.
- 10. Contractor shall check with all equipment and product manufacturers to verify dimensions and details prior to the commencement of work.
- 11. Submittals: Submit shop drawings of all fabricated items for review before fabrication and installation. Submit manufacturer's product data for all standard premanufactured products.
- 12. Where specified items are mentioned, the Contractor may submit alternate materials or products for approval by the Architect.
- 13. Verify clearances for flues, vents, chases, soffits, fixtures, etc. before any construction, ordering of or installation of any item of work.
- 14. Sealant, caulking and flashing, etc locations shown on drawings are not intended to be inclusive. Follow manufacturer's installation recommendations and standard industry and building practices.
- 15. Contractor shall provide all necessary blocking, backing, framing, hangers or other support for all items requiring same.
- 16. "Typical" or "Typ." means for all similar conditions, unless otherwise noted.
- 17. Details are usually keyed only once (on plans or elevations where they first occur) and are typical for similar conditions throughout, unless otherwise noted.
- 18. At completion of the work, Contractor shall remove all marks, stains, fingerprints, dust, dirt, splattered paint, and blemishes resulting from the various operations throughout the project.
- 19. Contractor shall be responsible for repairing any damaged areas, both within and outside the scope of work, that are caused by him or his Subcontractors.
- 20. Contractor shall be responsible for matching material finish color, etc. in new areas of work with existing areas.
- 21. The Contractor shall remove all rubbish and waste material on a regular basis for all subcontractors and trades, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside job site.
- 22. Any change, modification or interpretation of the scope or requirements outlined within these documents, undertaken without consultation and without written approval of the Architect (or any unforseen conditions resulting therefrom) shall be the responsibility of the Owner or Contractor respectively. Leslie Arnold shall be held harmless from any claims resulting from such activity.

PROPERTY OWNER

ALLISON DAVIS 17 COLERIDGE ST. SAN FRANCISCO, CA 94110

ARCHITECT

LESLIE ARNOLD ARCHITECT 63 VERNA STREET SAN FRANCISCO, CA 94127 Tel 415 713-2960 Fax 815 331-5196 Contact: LESLIE ARNOLD

AGENCIES

BUILDING DEPT. CITY OF SAN FRANCISCO 1660 MISSION ST. SAN FRANCISCO, CA 94103 Tel 415 558-6070

GENERAL CONTRACTOR

BAYSHORE BUILDERS, INC. 1770 REVERE AVE. SAN FRANCISCO, CA 94124 Tel 415 254-2160 Fax 415 671-0483

Contact: CHRIS FOSTER

GENERAL

DESCRIPTION

A2 SITE PLAN, ABBREVIATIONS

DEMOLITION NOTES

FLOOR PLANS

ELECTRICAL PLAN

EXTERIOR ELEVATIONS

INTERIOR ELEVATIONS

BUILDING SECTION

ARCHITECTURAL

CONTRACT DOCUMENTS

-- LINE OF ITEM ABOVE OR BEYOND

ELEVATION REFERENCE POINT

EXISTING SPOT ELEVATION

NEW SPOT ELEVATION

T (E) WALL TO REMAIN

////////////// (E) WALL TO BE DEMOLISHED

GENERAL NOTES. VICINITY PLAN

PROJECT DIRECTORY, PROJECT

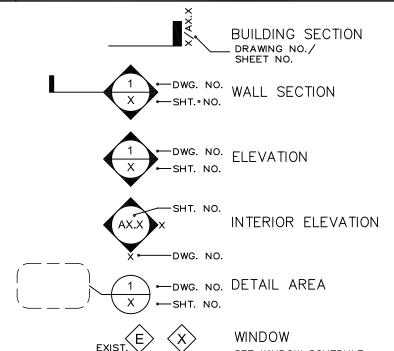
EXISTING SECOND FLOOR PLAN.

PROPOSED SECOND FLOOR PLAN

EXISTING AND PROPOSED THIRD



VICINITY MAP



SEE WINDOW SCHEDULE

SEE DOOR SCHEDULE

WALL TYPE SEE WALL TYPE KEY

6

SYMBOLS

(N) WALL

− Ç — CENTER LINE

— PROPERTY LINE

- COLUMN LINE

PROPOSED WORK INCLUDES:

Replace existing second level rear deck and stairs with new smaller deck and metal spiral stairs.

First Floor: Replace existing bathroom tub and lavatory. Replace existing water heater tank with new tankless water heater.

Second Floor: Kitchen and bathroom remodel with new electrical and plumbing. All new finishes and new cabinets. Replace existing water heater tank with new tankless water heater. Replace in-kind one window and one exterior door.

Third Floor: Bathroom remodel and bedroom closet reconfiguration. Replace in-kind bathroom window.

17 COLERIDGE ST. SAN FRANCISCO, CA 94110 LOT: 021, BLOCK: 5610

BLOCK 5610/ LOT 021

ZONING: RH-2

OCCUPANCY: R-3

TYPE OF CONSTRUCTION: VB

BLDG. HT.: 40-X

SPECIAL USE DISTRICT: BERNAL 1

APPLICABLE CODES

2010 CAL. BUILDING CODE

2010 CAL. RESIDENTIAL CODE

2010 CAL. PLUMBING CODE

2010 CAL. ENERGY CODE

2010 CAL. ELECTRICAL CODE

2010 CAL. MECHANICAL CODE

PROJECT DIRECTORY



DESCRIPTION OF WORK

PROJECT INFORMATION

REVISIONS

sco fax

Terna Street tel 415 713

 \mathbb{R}^{4} TY MAP ECT INFO RAL NOTES ECT DIRECT(-VICINITY M -PROJECT II -GENERAL I -PROJECT I

Date: 4/12/13

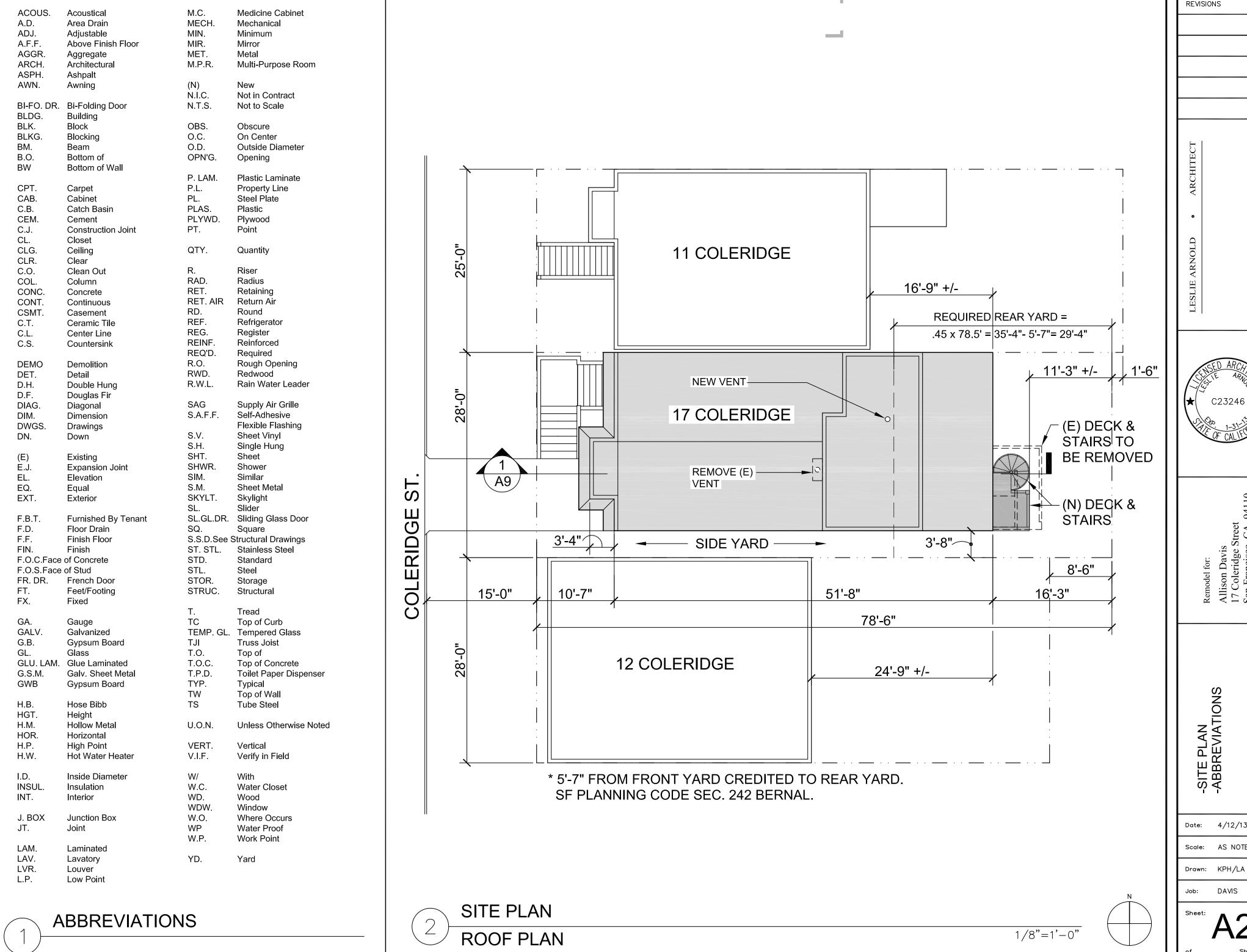
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DAVIS

Drawn: KPH/LA

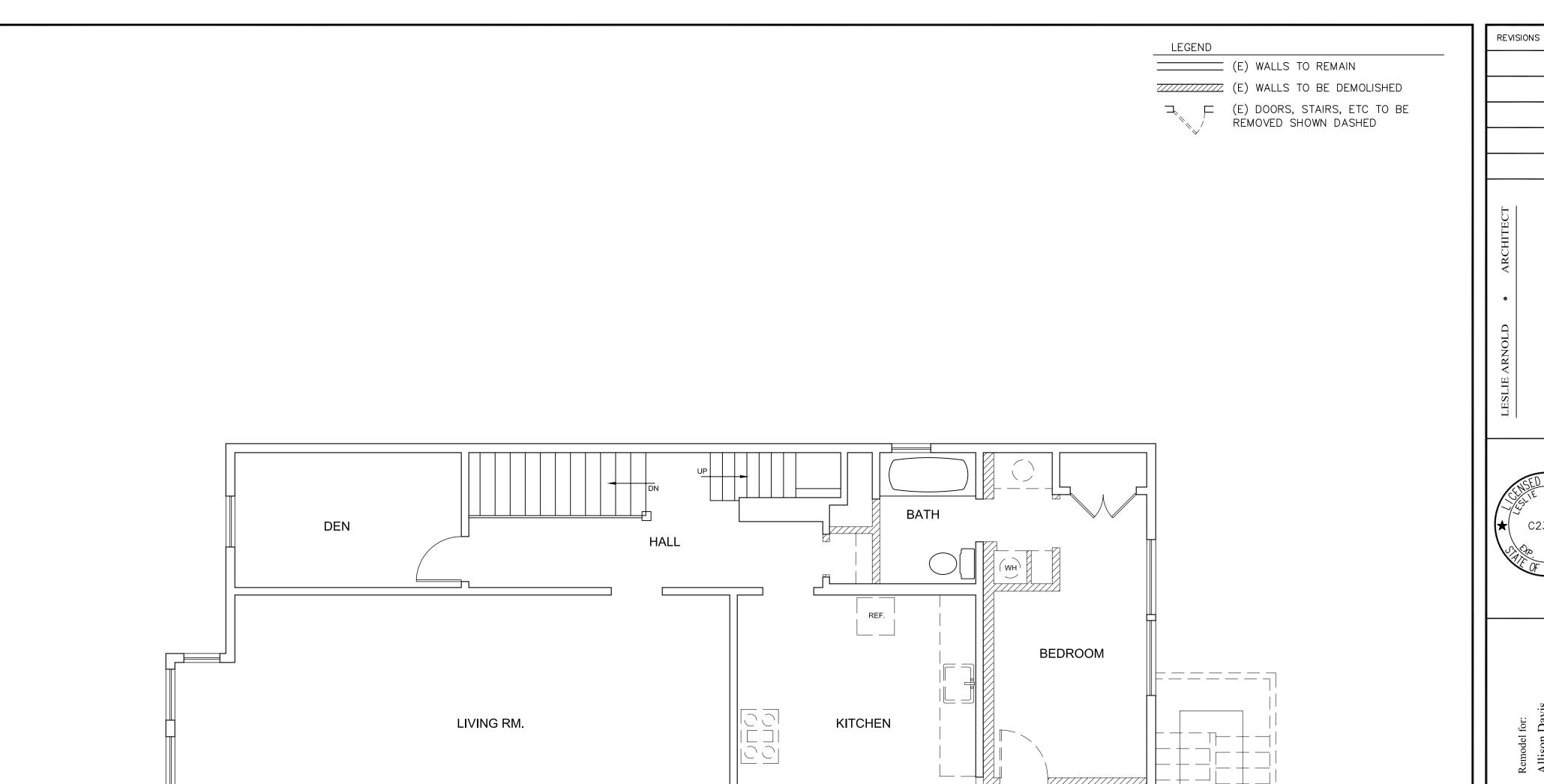


GENERAL NOTES



REVISIONS sco California 94127 fax 815 331 5196 Verna Street tel 415 713 2 C23246 -SITE PLAN -ABBREVIATIONS Date: 4/12/13 Scale: AS NOTED

DAVIS





-EXISTING AND DEMO PLAN

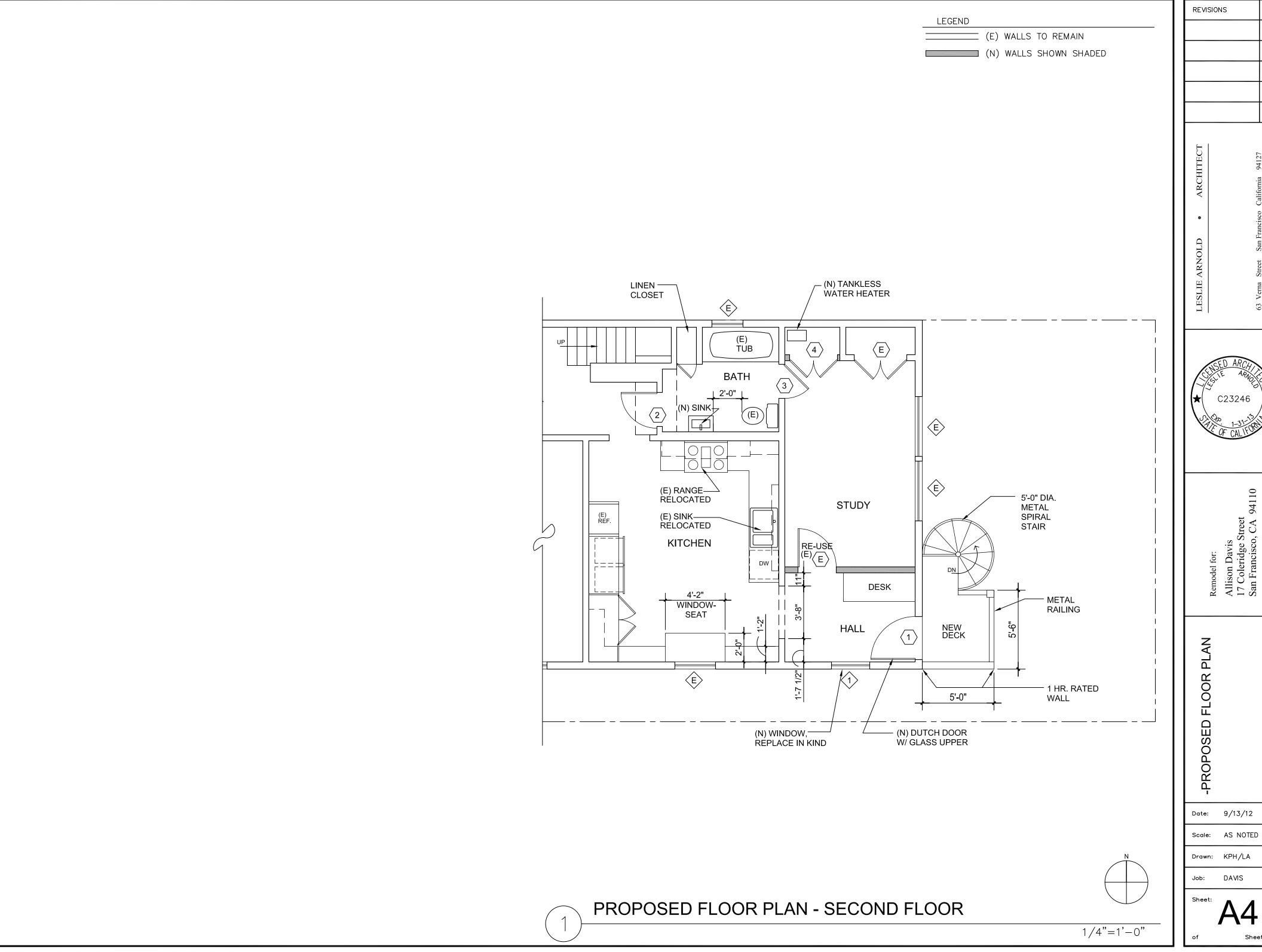
Date: 9/13/12

Scale: AS NOTED

Drawn: KPH/LA Job: DAVIS

1/4"=1'-0"

DECK



Date: 9/13/12

