



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
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San Francisco,  
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Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 24, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>17 Coleridge St</b>	Case No.:	<b>2013.0375V</b>
Cross Street(s):	<b>Coleridge St. &amp; Coso Ave.</b>	Building Permit:	<b>2013.0415.4587</b>
Block / Lot No.:	<b>5610/021</b>	Applicant/Agent:	<b>Leslie Arnold</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-713-2960</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>lesliearnoldsf@mac.com</b>

### PROJECT DESCRIPTION

The proposal is to replace an existing noncomplying rear deck and stairs with a new noncomplying rear deck and stairs of slightly smaller size at the second story of an existing two family residence. The proposal also involves the construction of a new fire wall along deck and stairs at the south property line of approximately 13 feet in height.

**PLANNING CODE SECTION 242** requires a rear yard of 29 feet 4 inches for the subject property. The existing building encroaches 13 feet 6 inches into the required rear yard with the existing deck and stairs encroaching an additional 6 feet 7 inches into the required rear yard, resulting in a rear yard of approximately 9 feet 8 inches. The proposed deck and stairs will be approximately 5 feet by 10 feet six inches, resulting in a rear yard of approximately 11 feet 3 inches. The replacement of the deck and stairs therefore requires a variance.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jeffrey Speirs**

Telephone: **415-575-9106** E-Mail: **[Jeffrey.speirs@sfgov.org](mailto:Jeffrey.speirs@sfgov.org)**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2013.0375V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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Para información en Español llamar al: 558.6378

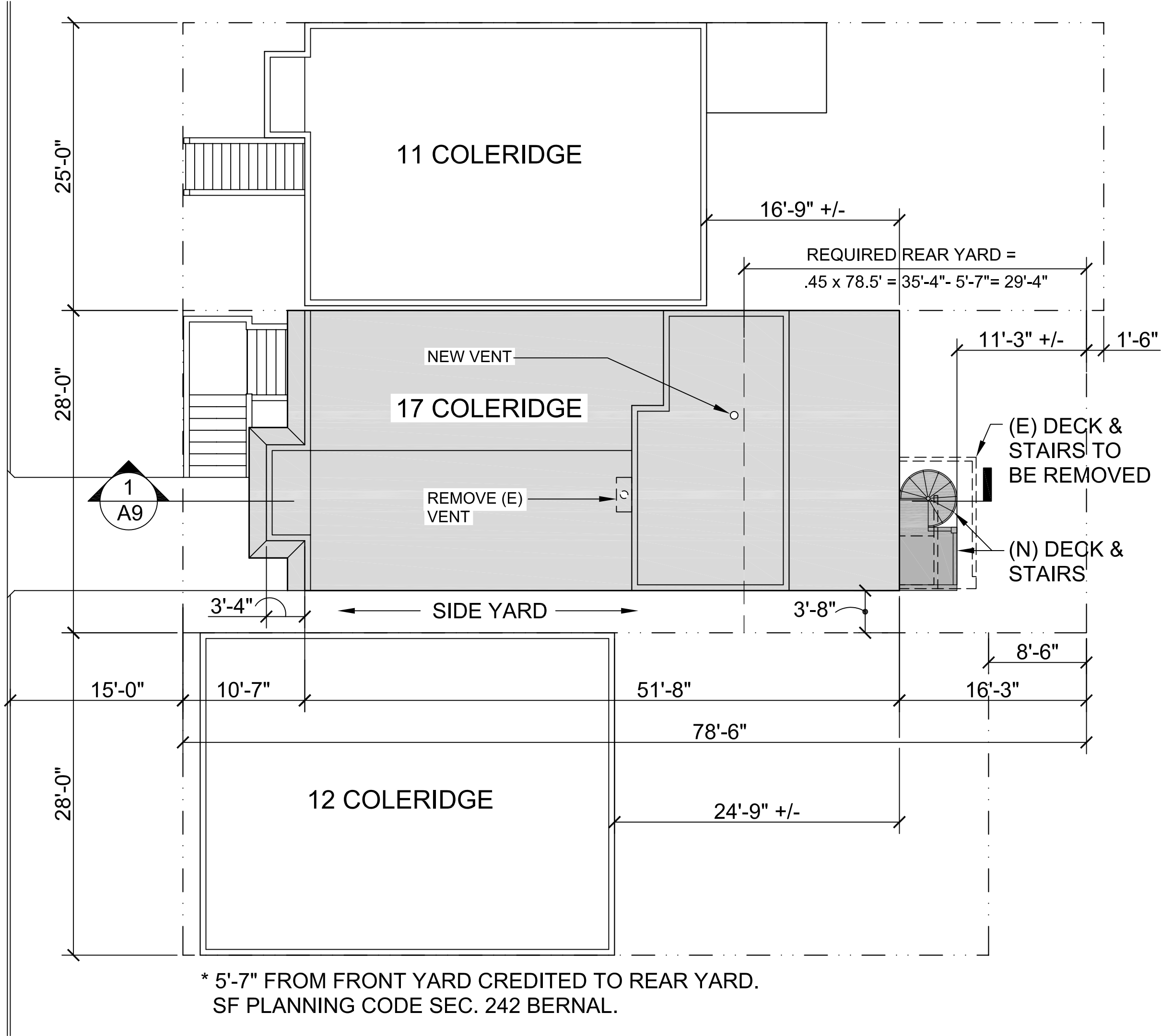




ACOUS.	Acoustical	M.C.	Medicine Cabinet
A.D.	Area Drain	MECH.	Mechanical
ADJ.	Adjustable	MIN.	Minimum
A.F.F.	Above Finish Floor	MIR.	Mirror
AGGR.	Aggregate	MET.	Metal
ARCH.	Architectural	M.P.R.	Multi-Purpose Room
ASPH.	Ashpalt		
AWN.	Awning	(N)	New
		N.I.C.	Not in Contract
BI-FO. DR.	Bi-Folding Door	N.T.S.	Not to Scale
BLDG.	Building		
BLK.	Block	OBS.	Obscure
BLKG.	Blocking	O.C.	On Center
BM.	Beam	O.D.	Outside Diameter
B.O.	Bottom of	OPN'G.	Opening
BW	Bottom of Wall		
		P. LAM.	Plastic Laminate
CPT.	Carpet	P.L.	Property Line
CAB.	Cabinet	PL.	Steel Plate
C.B.	Catch Basin	PLAS.	Plastic
CEM.	Cement	PLYWD.	Plywood
C.J.	Construction Joint	PT.	Point
CL.	Closet		
CLG.	Ceiling	QTY.	Quantity
CLR.	Clear		
C.O.	Clean Out	R.	Riser
COL.	Column	RAD.	Radius
CONC.	Concrete	RET.	Retaining
CONT.	Continuous	RET. AIR	Return Air
CSMT.	Casement	RD.	Round
C.T.	Ceramic Tile	REF.	Refrigerator
C.L.	Center Line	REG.	Register
C.S.	Countersink	REINF.	Reinforced
		REQ'D.	Required
DEMO	Demolition	R.O.	Rough Opening
DET.	Detail	RWD.	Redwood
D.H.	Double Hung	R.W.L.	Rain Water Leader
D.F.	Douglas Fir		
DIAG.	Diagonal	SAG	Supply Air Grille
DIM.	Dimension	S.A.F.F.	Self-Adhesive Flexible Flashing
DWGS.	Drawings		
DN.	Down	S.V.	Sheet Vinyl
(E)	Existing	S.H.	Single Hung
E.J.	Expansion Joint	SHT.	Sheet
EL.	Elevation	SHWR.	Shower
EQ.	Equal	SIM.	Similar
EXT.	Exterior	S.M.	Sheet Metal
		SKYLT.	Skylight
F.B.T.	Furnished By Tenant	SL.	Slider
F.D.	Floor Drain	SL.GL.DR.	Sliding Glass Door
F.F.	Finish Floor	SQ.	Square
FIN.	Finish	S.S.D.See	Structural Drawings
F.O.C.Face of Concrete		ST. STL.	Stainless Steel
F.O.S.Face of Stud		STD.	Standard
FR. DR.	French Door	STL.	Steel
FT.	Feet/Footing	STOR.	Storage
FX.	Fixed	STRUC.	Structural
		T.	Tread
GA.	Gauge	TC	Top of Curb
GALV.	Galvanized	TEMP. GL.	Tempered Glass
G.B.	Gypsum Board	TJI	Truss Joist
GL.	Glass	T.O.	Top of
GLU. LAM.	Glue Laminated	T.O.C.	Top of Concrete
G.S.M.	Galv. Sheet Metal	T.P.D.	Toilet Paper Dispenser
GWB	Gypsum Board	TYP.	Typical
		TW	Top of Wall
H.B.	Hose Bibb	TS	Tube Steel
HGT.	Height		
H.M.	Hollow Metal	U.O.N.	Unless Otherwise Noted
HOR.	Horizontal		
H.P.	High Point	VERT.	Vertical
H.W.	Hot Water Heater	V.I.F.	Verify in Field
		W/	With
I.D.	Inside Diameter	W.C.	Water Closet
INSUL.	Insulation	WD.	Wood
INT.	Interior	WDW.	Window
		W.O.	Where Occurs
J. BOX	Junction Box	WP	Water Proof
JT.	Joint	W.P.	Work Point
LAM.	Laminated	YD.	Yard
LAV.	Lavatory		
LVR.	Louver		
L.P.	Low Point		

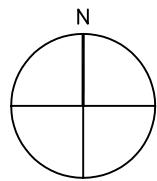
ABBREVIATIONS

COLERIDGE ST.



SITE PLAN  
ROOF PLAN

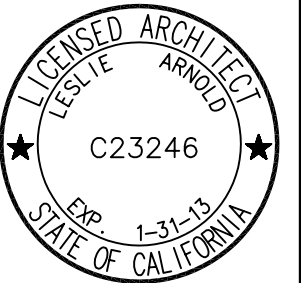
1/8"=1'-0"



REVISIONS	BY

LESLIE ARNOLD
ARCHITECT

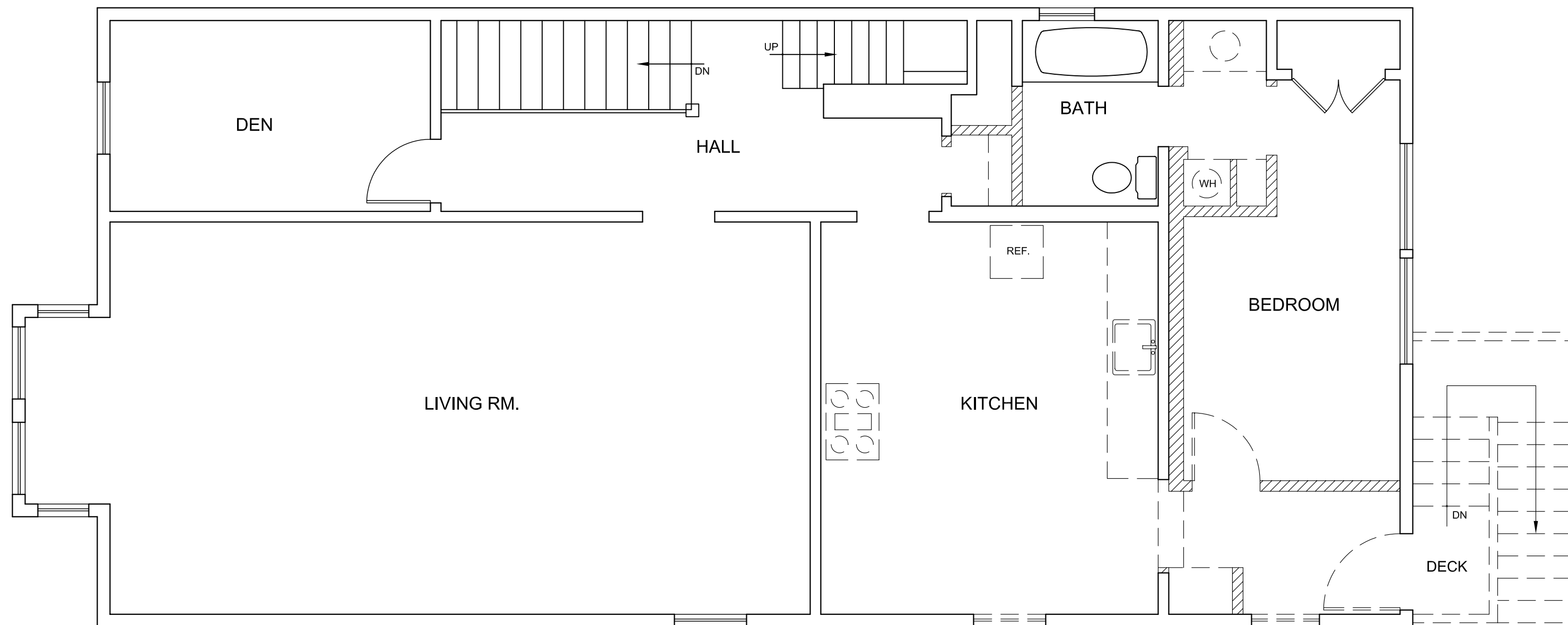
63 Verna Street  
San Francisco California 94127  
tel 415 713 2960 fax 815 331 5196



Remodel for:  
Allison Davis  
17 Coleridge Street  
San Francisco, CA 94110

-SITE PLAN  
-ABBREVIATIONS

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of	Sheets

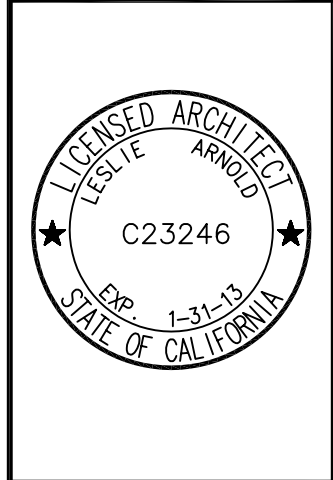


LEGEND	
	(E) WALLS TO REMAIN
	(E) WALLS TO BE DEMOLISHED
	(E) DOORS, STAIRS, ETC TO BE REMOVED SHOWN DASHED

REVISIONS	BY

LESLEIE ARNOLD • ARCHITECT

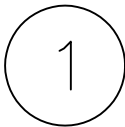
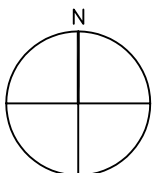
63 Verna Street San Francisco California 94127  
tel 415 713 2960 fax 815 331 5196



Remodel for:  
Allison Davis  
17 Coleridge Street  
San Francisco, CA 94110

-EXISTING AND DEMO PLAN

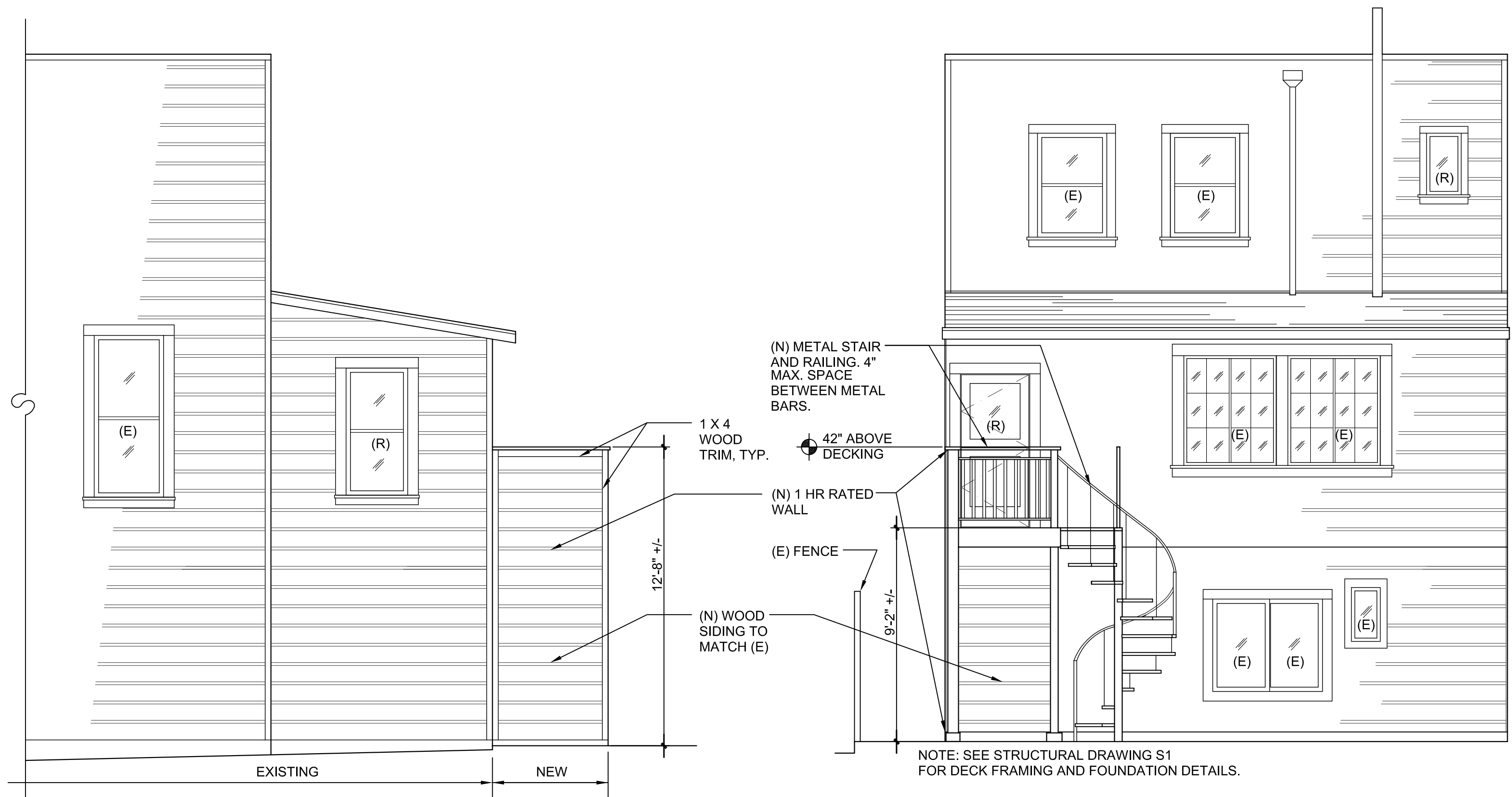
Date:	9/13/12
Scale:	AS NOTED
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Sheet:	A3
of	Sheets


$$1/4'' = 1' - 0''$$


Date:	9/13/12
Scale:	AS NOTED
Drawn:	KPH/LA
Job:	DAVIS
Sheet:	<b>A4</b>
of	Sheets







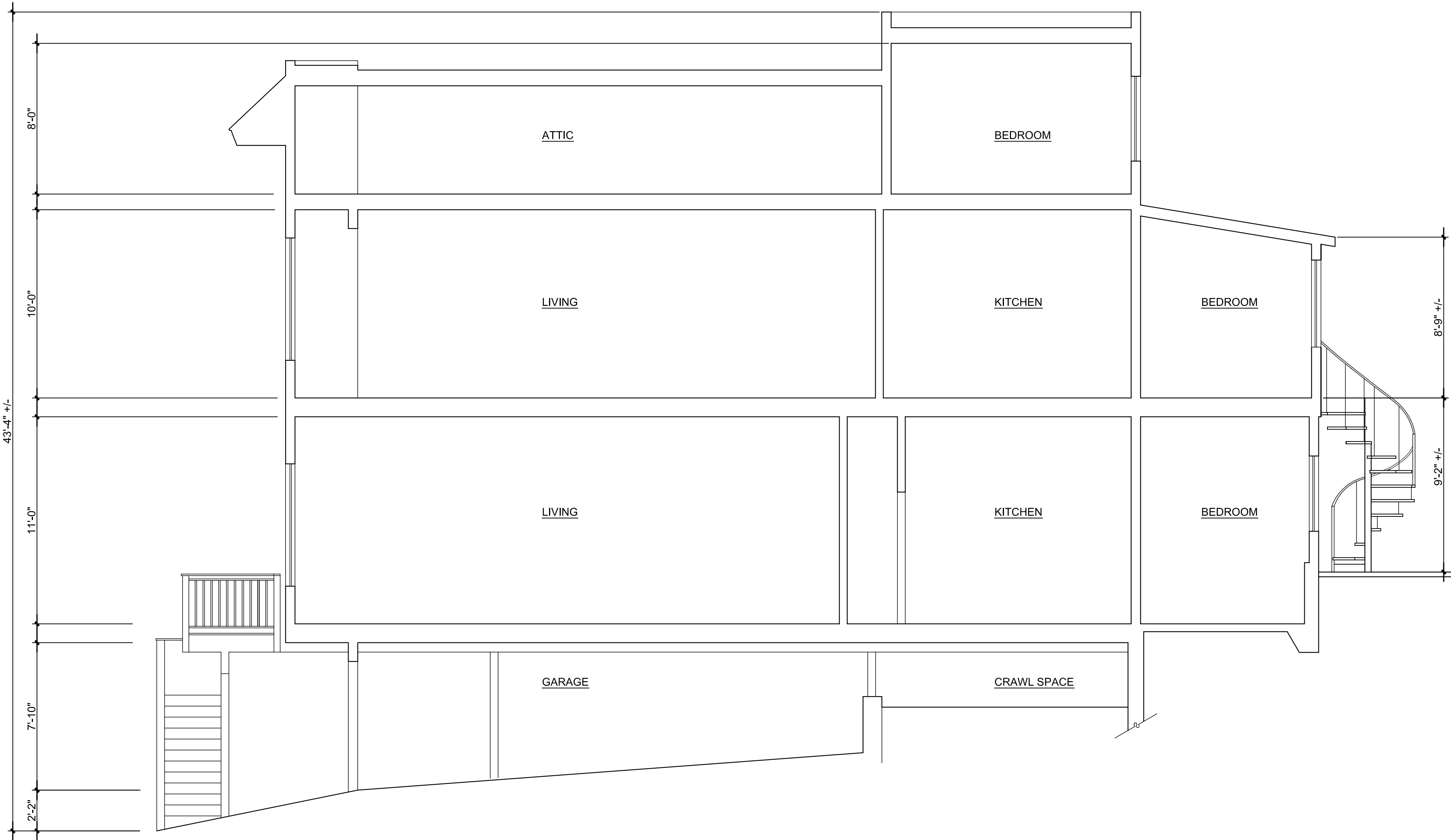
2 SIDE ELEVATION - SOUTH

1/4"=1'-0"

1 REAR ELEVATION - EAST

1/4"=1'-0"

REVISIONS	BY
LESLIE ARNOLD • ARCHITECT	
63 Verna Street San Francisco California 94127 tel 415 713 2960 fax 815 331 5196	
Remodel for: Allison Davis 17 Coleridge Street San Francisco, CA 94110	
-EXTERIOR ELEVATIONS	
Date:	3/27/13
Scale:	AS NOTED
Drawn:	KPH/LA
Job:	DAVIS
Sheet:	A7
of	Sheets



1

BUILDING SECTION

1/4"=1'-0"

REVISIONS	BY
LESLIE ARNOLD • ARCHITECT	
63 Verna Street San Francisco California 94127 tel 415 713 2960 fax 815 331 5196	
Remodel for: Allison Davis 17 Coleridge Street San Francisco, CA 94110	
-BUILDING SECTION	
Date:	4/12/13
Scale:	AS NOTED
Drawn:	KPH/LA
Job:	DAVIS
Sheet:	A9
of	Sheets