



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 26, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard and Open Space)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 385 Ivy St	Case No.: 2013.0369V
Cross Street(s): Gough & Octavia Streets	Building Permit: 201305207423
Block / Lot No.: 0808/016A	Applicant/Agent: Serina Calhoun
Zoning District(s): HAYES NCT / 40-X	Telephone: 415 558-9843
Area Plan: Market Octavia Area Plan	E-Mail: serina@sync.-arch.com

PROJECT DESCRIPTION

The proposal is to convert an administrative service office use to two residential units. The subject building was originally constructed as residential units in 1908, but was later converted to an office use in 1981. The proposal does not include any exterior modifications.

PER SECTION 134 OF THE PLANNING CODE, a 15'-0" rear yard is required for residential units on the subject property. The subject property, with a 13'-0" rear yard, does not comply with the rear yard requirement for residential units; therefore, a variance is required for the conversion to residential units.

PER SECTION 135 OF THE PLANNING CODE, each dwelling unit requires 60 square feet of open space if private or a total of 160 square feet of common open space. The proposal provides the required amount of open space in the rear yard; however, this space does not meet the minimum dimensions required by the Planning Code. Therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Kate Conner** Telephone: **415-575-6914** Mail: kate.conner@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0369V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

385 Ivy Street

Revert 2-unit office to 2-unit residential (original use)

ABBREVIATIONS	SITE PLAN	LEGEND	CODE INFORMATION
<p>A/C AIR CONDITIONING A.O. ADJUSTABLE ABOVE FINISH FLOOR A.U. ALUMINUM A.U.M. APPROXIMATE APPROX. APPROXIMATELY A.S.C. ACUSTIC CEILING TILE B.B.D. TELEPHONE BACK BOARD B.B.D. BUILDING B.B.D. BLOCKING B.U.I. BOTTOM C.G/L CENTER LINE C.G. CHANGING C.G. CORNER GUARD C.C.S. CLOSE C.M.U. CONCRETE MASONRY UNIT C.O.N.N. CONNECTION C.O.N.S.T. CONSTRUCTION C.R.A.M. CERAMIC TILE C.T.R. CENTER P.E.T. DETAIL P.M.Y. DOWN P.M.Y. DOWN SHOUT D.S. DOWN SHOUT (E) EXISTING F.A.C.H. EACH F.E.L.C. ELEVATION F.E.L.V. ELEVATION F.E.Q.U.P. EQUIPMENT F.E.X.P. EXPANSION F.E.X.T. EXTERIOR F.F.N. FINISH FLOOR DRAIN F.F.N. FINISH FLOOR F.F.L. FLASH FLOOR F.F.L. FLUORESCENT FLOOR F.F.S. FACE OF FINISH FLOOR F.F.R. FIREPROOF FLOORING G.A.L.V. GAUGE G.C. GENERAL CONTRACTOR G.C. GLASS G.P. GYPSUM BOARD H.B. HOSE BIB H.C. HANDICAPPED H.C. HOLLOW CORE H.C.M. HEIGHT H.M. HOLLOW METAL H.R. HOUR H.W. HOT WATER H.W. INTERIOR/INSULATED J.A.N. JANITOR J.T. JOINT L.P. LOW POINT M.A.X. MAXIMUM M.C. MEDICINE CABINET M.E.C.H. MECHANICAL M.I.D. MINIMUM M.T.D. METAL M.T.D. METAL</p> <p>(N) NEW (N.C) NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.P.G. OPENING O.P.P. OPPOSITE O.T.B. OPEN TO BELOW P.A.M. PAINTING LAMINATE P.T.D. PAINTED P.O. PLUMBING OFFICE P.P.E.F. PREFER R.D. ROOF DRAIN R.O. REQUIRED R.O. ROUGH OPENING S.C.G. SOLID CORE S.C.S. SHEET S.M. SIMILAR T.M.L. TREAD T.K.G. TONGUE AND GROOVE T.O. TOP OF T.P. TYPICAL OTHERWISE NOTED T.V.P. VERIFIED IN FIELD V.D. WOOD W.P. WATERPROOF</p>	<p>1 SITE PLAN 1/8"=1'-0"</p>	<p>ⓧ DETAIL REFERENCE NUMBER SHEET WHERE DETAIL IS LOCATED</p> <p>➔ DIRECTION OF SECTION VIEW INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED</p> <p>ⓐ SHEET WHERE ELEVATION IS LOCATED ⓑ ELEVATION REFERENCE NUMBER</p> <p>ⓐ DOOR SYMBOL ⓑ WINDOW SYMBOL</p> <p>ⓐ WALL / FLOOR TYPE SYMBOL ⓑ ELEVATION DATUM ⓓ CEILING HEIGHT ⓔ REVISION SYMBOL</p>	<p>ADDRESS: 385-387 IVY STREET SAN FRANCISCO, CA 94102</p> <p>BLOCK #: 0808 LOT #: 016A LOT SIZE: 1530 SF</p> <p>CODES: 2010 CALIFORNIA BUILDING CODE (CBC) ZONING: HAYES NTC</p> <p>HISTORIC DESIGNATION: KNOWN HISTORIC RESOURCE SETBACKS: SETBACKS ARE EXISTING (E) FRONT: 0 (E) SIDE: 0 (E) REAR: 13'-0"</p> <p>HEIGHT: BUILDING HEIGHT IS NOT BEING CHANGED NUMBER OF STORES: 2 STORY RESIDENCE OCCUPANT CLASS: B CONSTRUCTION TYPE: TYPE VB</p> <p>FLOOR AREA EXISTING GROUND FLOOR: 1,031 SF EXISTING FIRST FLOOR: 985 SF EXISTING SECOND FLOOR: 1,042 SF EXISTING TOTAL SF: 3,085 SF FLOOR AREA IS NOT BEING CHANGED</p> <p>PARKING SHARED OPEN SPACE 49725 SF</p>
<p>FRONT FACADE</p>	<p>DRAWING INDEX</p> <p>A0.0 ARCHITECTURAL COVER SHEET A2.0 BASEMENT FLOOR PLAN A2.1 FIRST FLOOR PLAN DEMO & NEW A2.2 SECOND FLOOR PLAN DEMO & NEW</p>	<p>CONTACT LIST</p> <p>OWNER: MARK ETTERFACH 510/1017180</p> <p>ARCHITECT: SERINA CALHOUN SYNCRATED ARCHITECTURE 657 FILMORE STREET SAN FRANCISCO, CA 94117 415.558.9843</p> <p>CONTRACTOR: TBD</p>	
<p>AREA MAP</p>	<p>CONTACT:</p> <p>SERINA CALHOUN (415) 558-9843 P serina@syncrad.com</p> <p>SCALE: AS NOTED</p> <p>COVER SHEET</p> <p>A0.0</p>	<p>385 IVY STREET San Francisco, CA PROJECT NO. 13-08</p> <p>DATE SET ISSUE 03-27-2013 VARIANCE APPLICATION 05-20-2013 BLDG. PERMIT SUBMITTAL 06-05-2013 VARIANCE REVISION</p>	



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 San Francisco, CA



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SCALE: AS NOTED

COVER SHEET

A0.0



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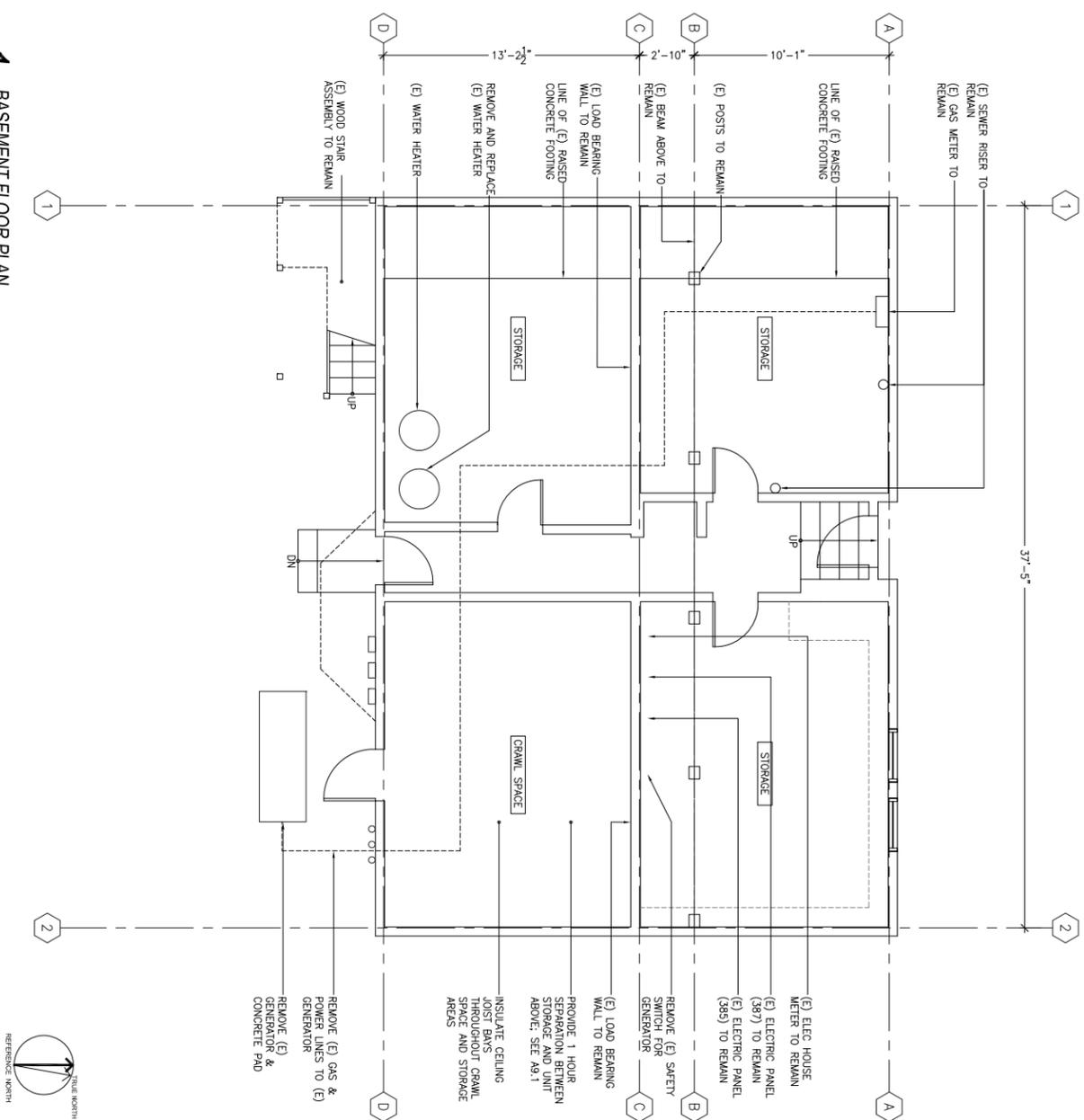
SCALE: 1/4" = 1'-0"

**BASEMENT
FLOOR PLAN**

A2.0

GENERAL	DIMENSION NOTES	DEMOLITION NOTES	NEW CONSTRUCTION NOTES
<p>FIELD VERIFY EXISTING JOBSITE CONDITIONS PRIOR TO START OF DEMOLITION AND/OR START OF WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFIC JOBSITE CONDITIONS</p> <p>NOT ALL PIPING, DUCTWORK, OR DEVICES HAVE BEEN SHOWN FOR CLARITY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK IN AND AROUND SYSTEMS NOT SHOWN HEREIN.</p> <p>CONTRACTOR TO TEST ALL SYSTEMS PRIOR TO START OF WORK AND DOCUMENT ANY SYSTEMS NOT WORKING PROPERLY.</p> <p>CONTRACTOR SHALL PROVIDE AND INSTALL ANY INCIDENTAL WORK OR ITEMS NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.</p> <p>WHERE HOT WATER PIPING IS EXTENDED PROVIDE PIPE INSULATION THROUGHOUT</p> <p>DIMENSIONS SHOWN ARE BASED ON SITE MEASUREMENTS AND SHOULD BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION OF ORDERING ANY MATERIALS</p>	<p>DIMENSIONS ARE TO CENTERLINE OF STEEL OR FACE OF (E) STUD SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.</p>	<p>PROTECT EXISTING HARDWOOD FLOORS FROM DAMAGE DURING CONSTRUCTION</p> <p>OPEN WALLS AS NEEDED FOR INSTALLATION OF NEW UTILITY LINES, DUCTS AND STRUCTURAL FRAMING WHERE NOT SHOWN EXPLICITLY HEREIN.</p>	<p>WHERE (E) EXTERIOR WALLS ARE OPENED AND AT ALL NEW EXTERIOR WALLS: PROVIDE R-13 INSULATION MIN.</p> <p>ALL SHADED WALLS INDICATE NEW WALL FRAMING AND FINISHES</p> <p>PROVIDE POWER, GAS, COMBUSTION AIR, ETC. AS NEEDED TO ALL NEW APPLIANCES AND DEVICES.</p> <p>CONTRACTOR SHALL CLEAR ALL SITE DRAINS AND TEST SYSTEM THOROUGHLY</p> <p>WHERE NEW EQUIPMENT REQUIRES VENTING, INSTALL VENTS A MINIMUM OF 3 FEET AWAY FROM OPENABLE WINDOWS OR DOORS</p>

1 BASEMENT FLOOR PLAN 1/4"=1'-0"





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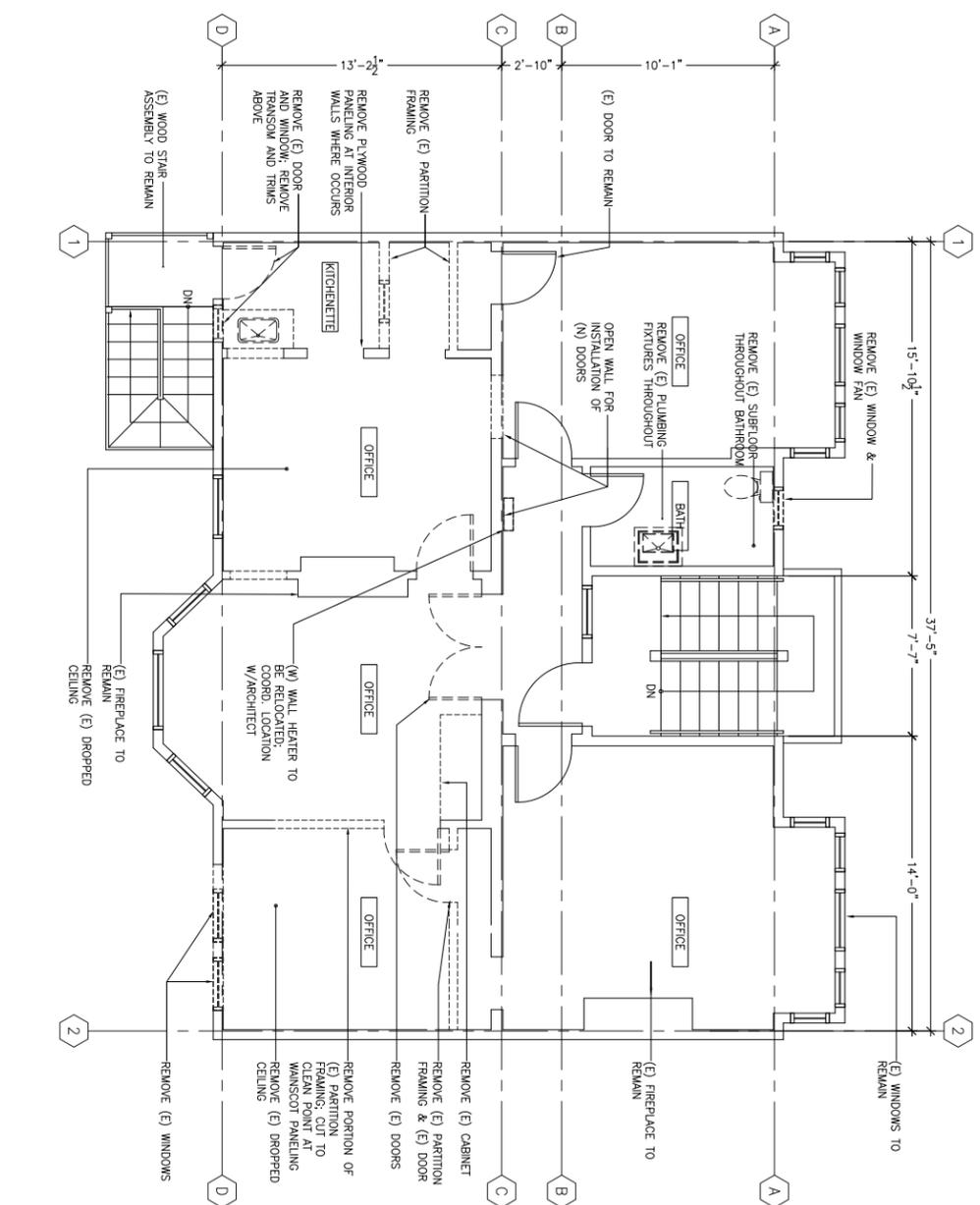
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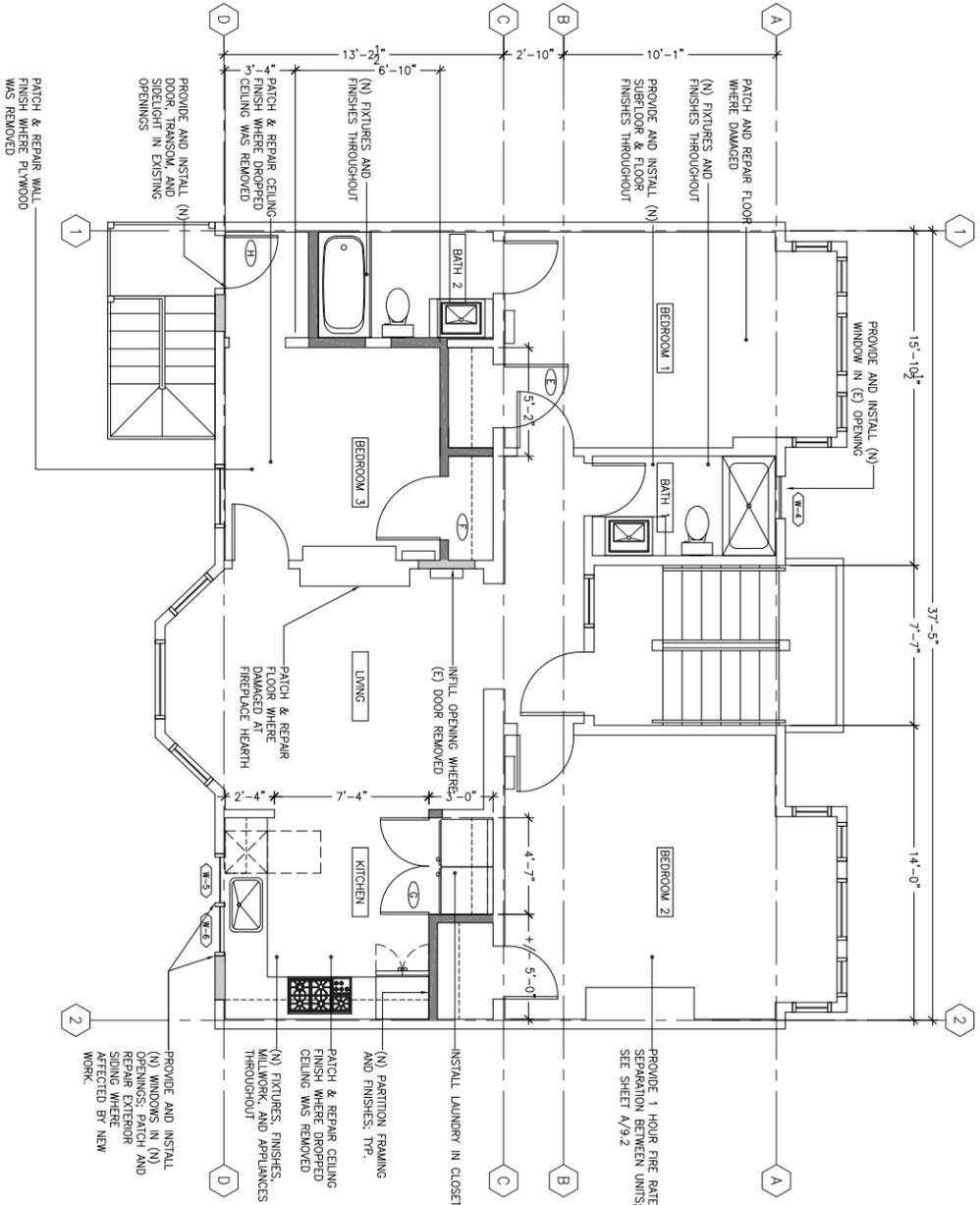
SCALE: 1/4" = 1'-0"

DEMOLITION &
NEW CONSTR.
SECOND FLOOR

A2.2



1 DEMOLITION: SECOND FLOOR
1/4"=1'-0"



2 NEW CONSTRUCTION: SECOND FLOOR
1/4"=1'-0"

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