



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 24, 2013**  
 Time: **Beginning at 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance (Rear Yard, Open Space & Exposure)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>778 Vallejo Street</b>	Case No.: <b>2013.0367V</b>
Cross Street(s): <b>Powell St and Emery Ln</b>	Building Permit: <b>N/A</b>
Block /Lot No.: <b>0130/020</b>	Applicant/Agent: <b>Reza Khashevisan</b>
Zoning District(s): <b>North Beach NCD / 40-X</b>	Telephone: <b>(415) 922-0200</b>
Area Plan: <b>N/A</b>	E-Mail: <b><a href="mailto:reza@siaconsult.com">reza@siaconsult.com</a></b>

## PROJECT DESCRIPTION

The proposal is to convert a storage area at the basement level and reconfigure the ground level in order to create an additional dwelling unit. In addition, two existing lightwells along each side of the building would be filled-in.

**SECTION 135 OF THE PLANNING CODE** requires 60 qualifying sq. ft. of private usable open space or 79.8 qualifying sq. ft. of common usable open space per unit. The project does not provide adequate usable open space and therefore requires a variance.

**SECTION 140 OF THE PLANNING CODE** requires each dwelling unit to face directly onto a qualifying street or a Code-complying rear yard. The subject property does not feature a code-complying rear yard and the new unit does not face directly onto a qualifying street; therefore, the proposal requires a variance.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Lily Yegazu** Telephone: **(415) 575-9076** E-Mail: **[lily.yegazu@sfgov.org](mailto:lily.yegazu@sfgov.org)**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2013.0367V.pdf>**

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.







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1256 HOWARD STREET  
SAN FRANCISCO CA 94103  
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WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

First Floor Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN R.L.

CHECKED R.K.

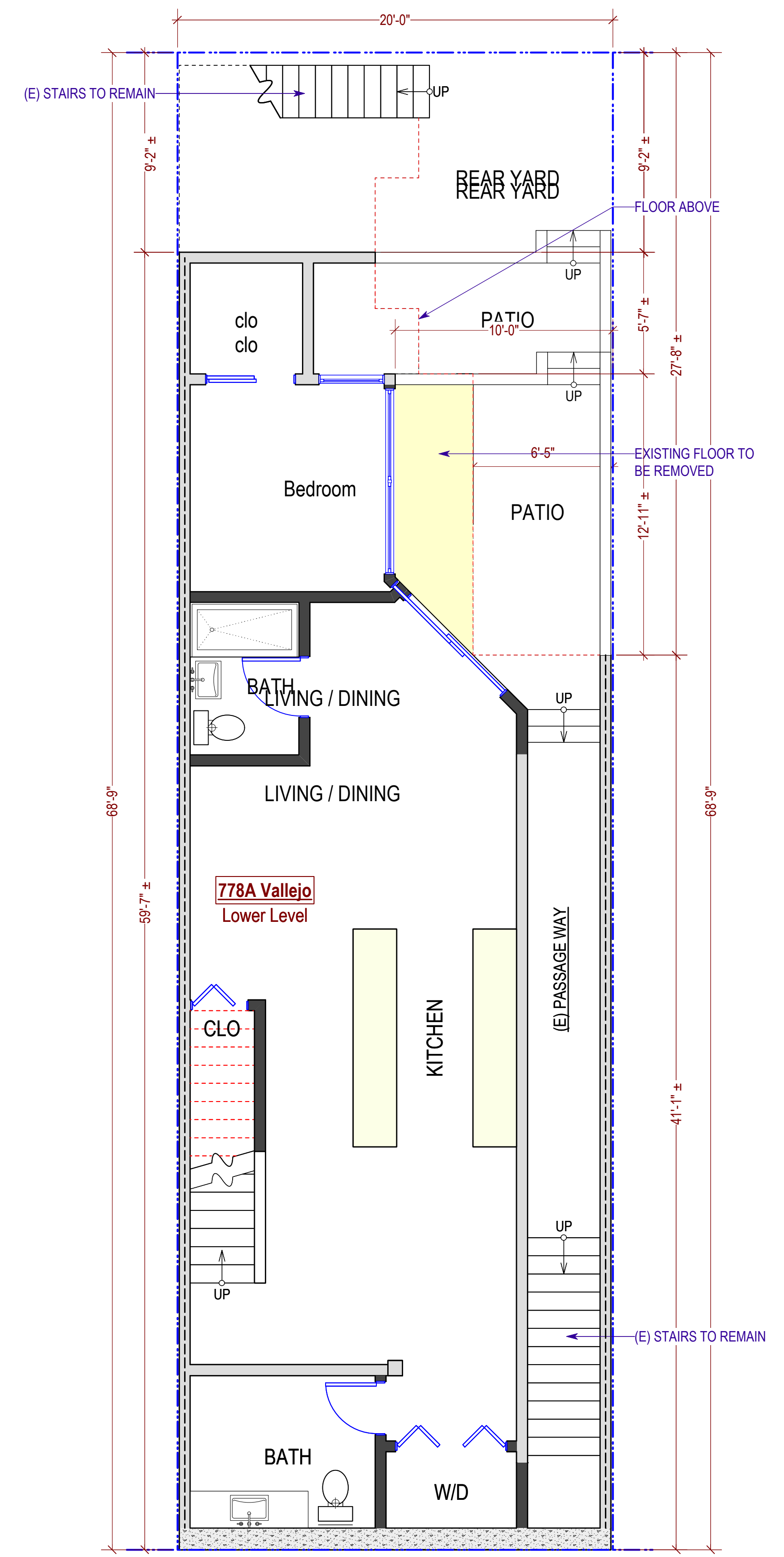
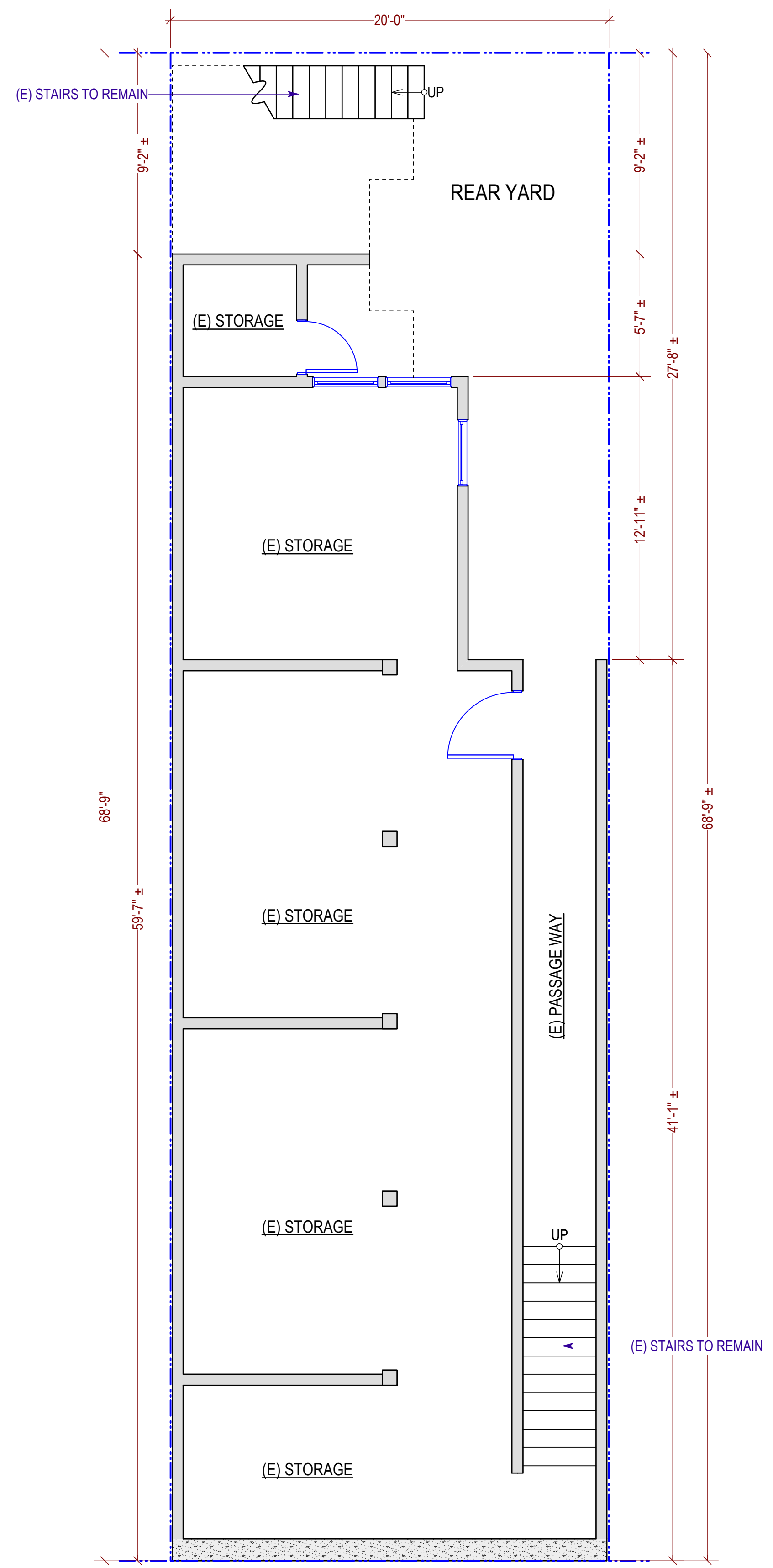
DATE 02/12/2013

REVISED DATE 07/02/2013

JOB NO. 12-1562

SHEET NO.

A-2.1



	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	CONCRETE WALL



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**Second Floor Plans**

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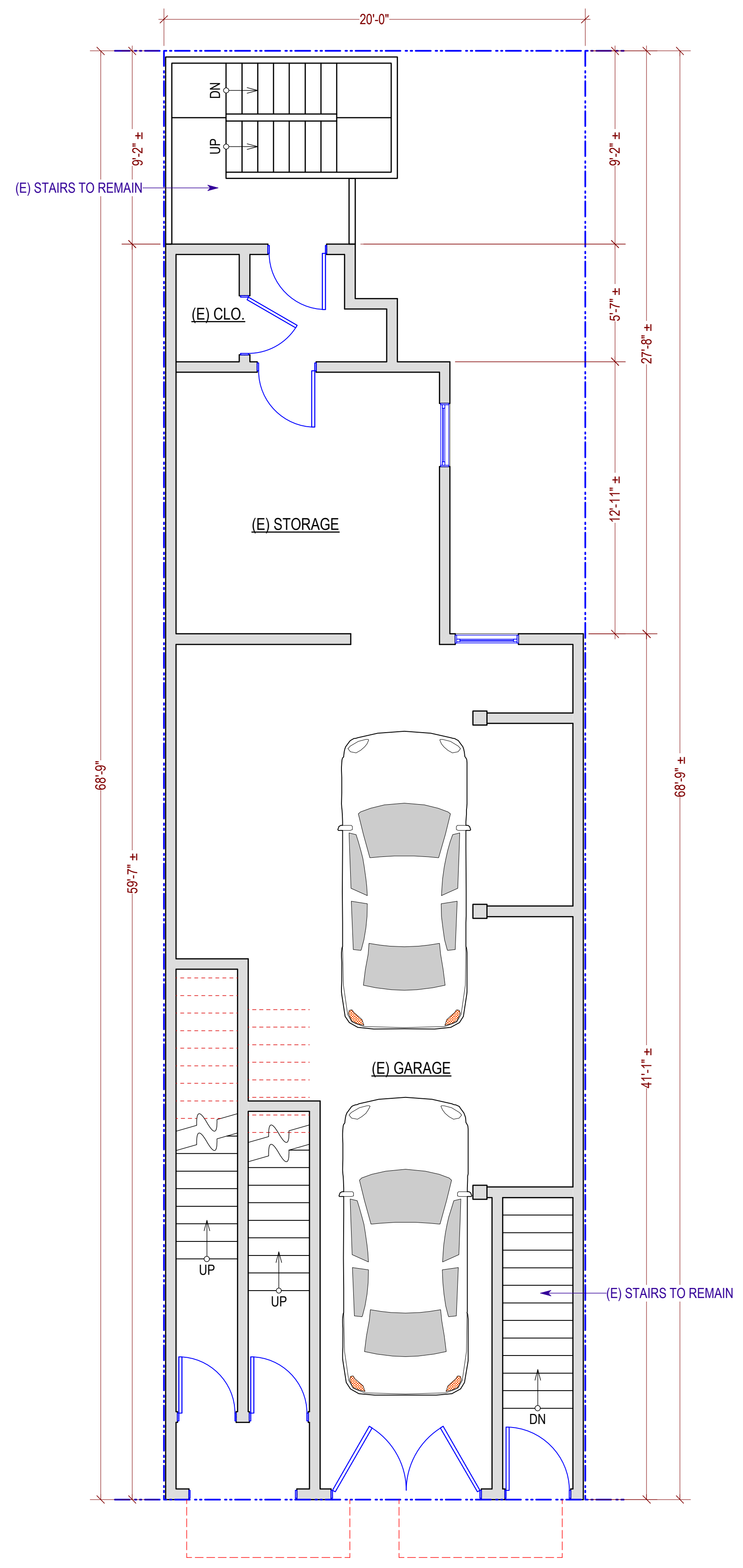
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**REVISED DATE** 07/02/2013

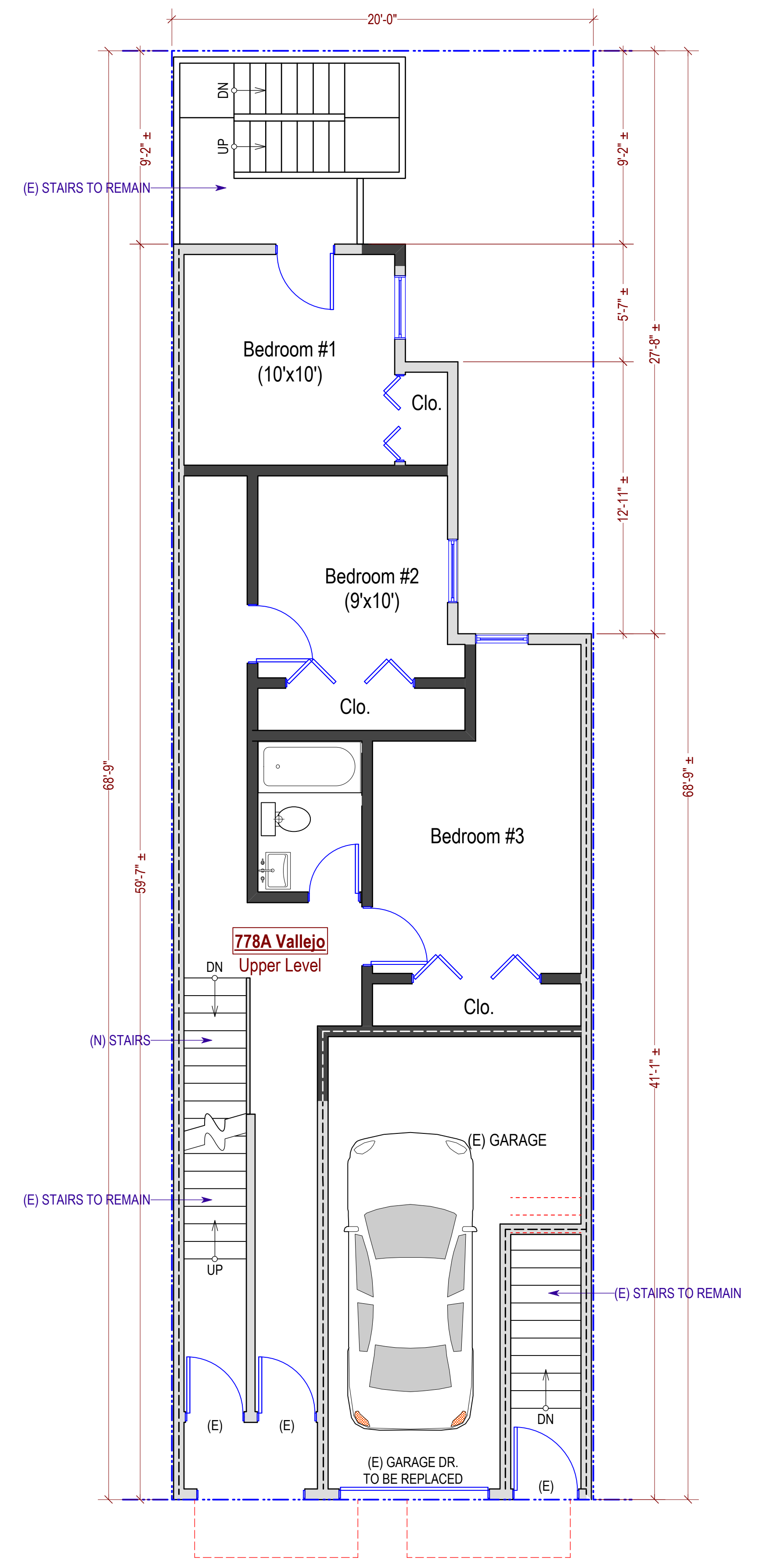
**JOB NO.** 12-1562

**SHEET NO.**

**A-2.2**



**Existing Second Floor Plan**  
1/4" = 1'-0"



**Proposed Second Floor Plan**  
1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	CONCRETE WALL



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**Third Floor Plans**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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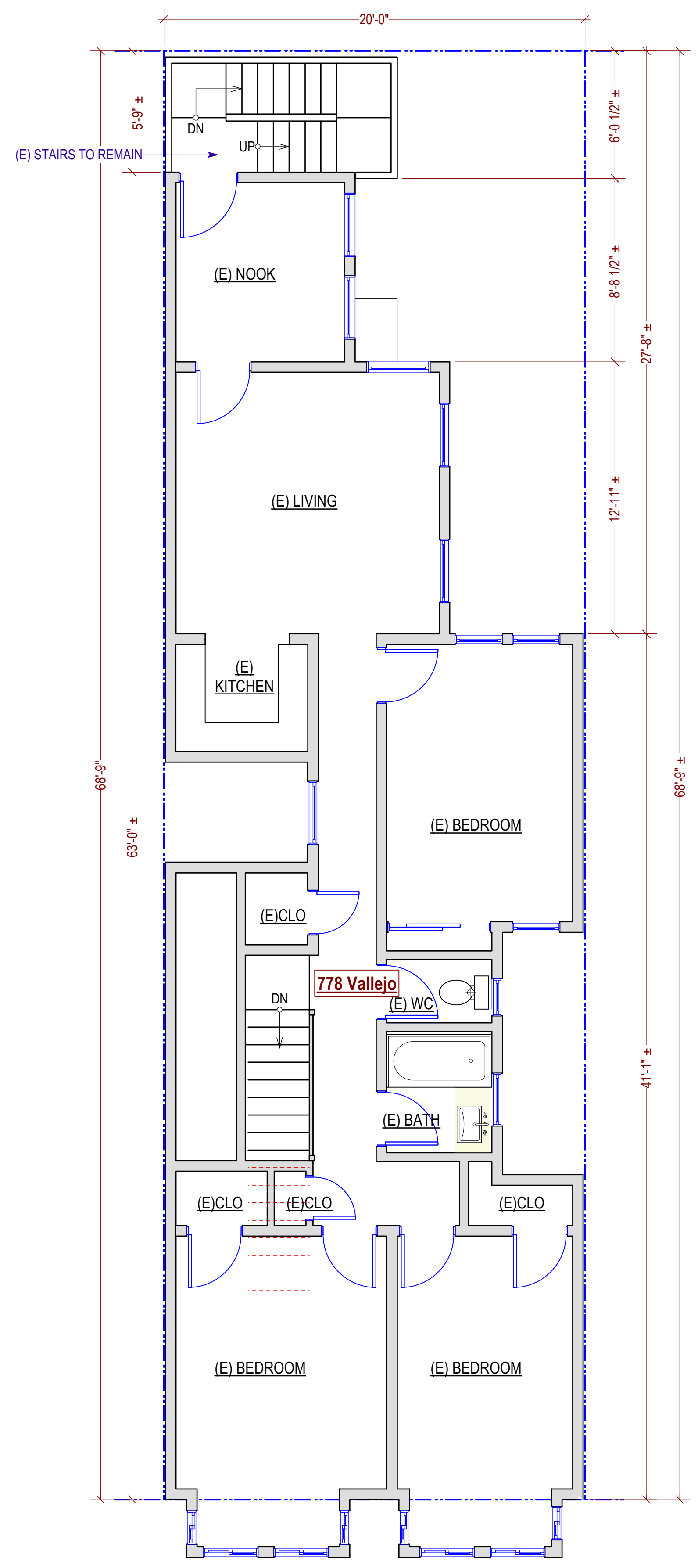
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**REVISED DATE** 07/02/2013

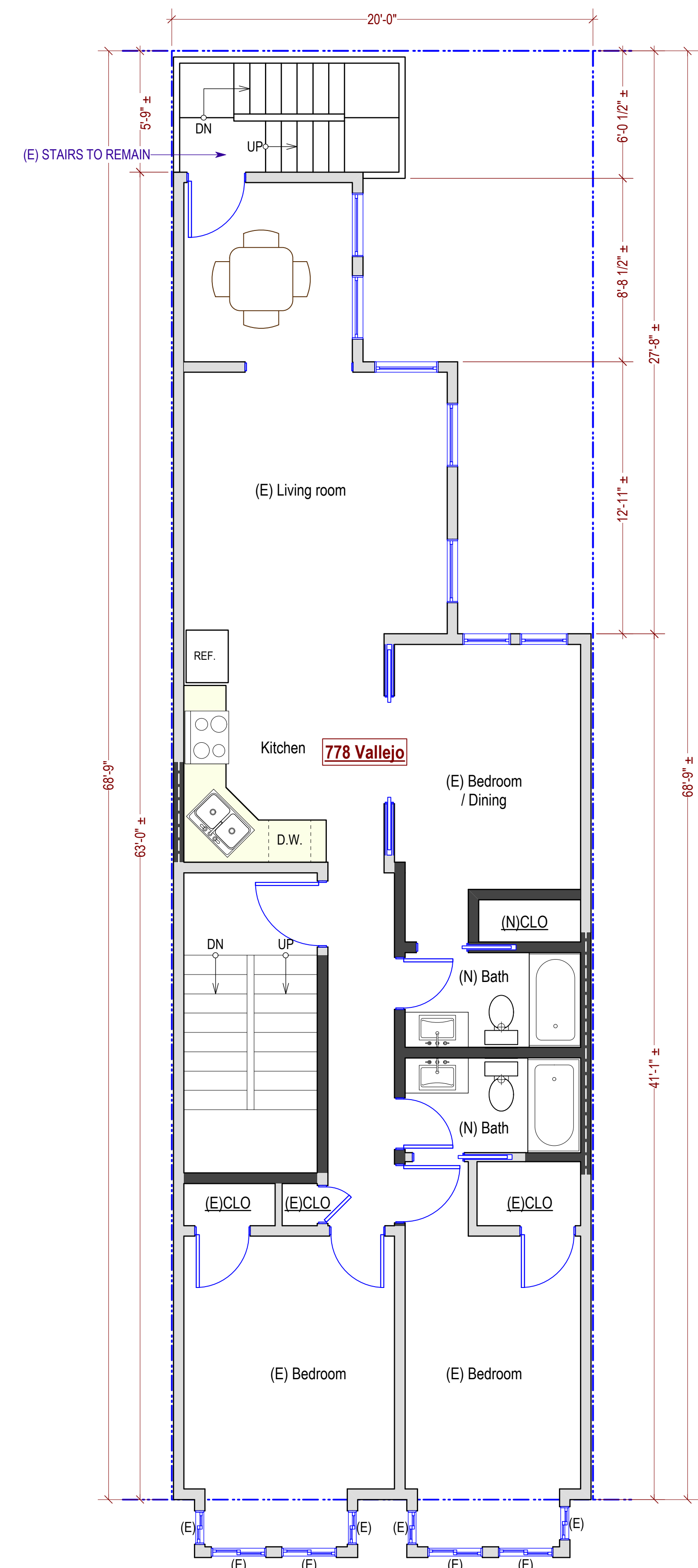
**JOB NO.** 12-1562

**SHEET NO.**

**A-2.3**



**Existing Third Floor Plan**  
1/4" = 1'-0"



**Proposed Third Floor Plan**  
1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	CONCRETE WALL





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**Fourth Floor Plans**

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**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION

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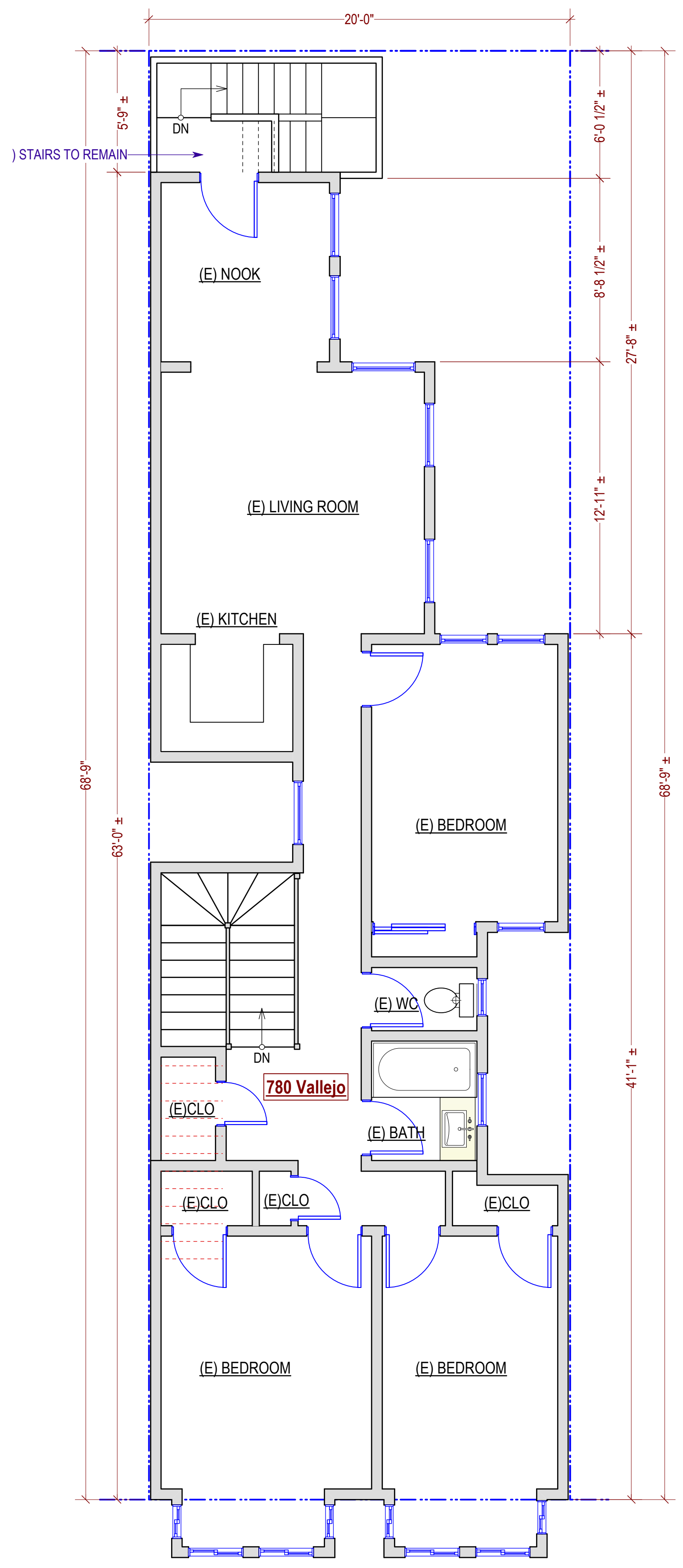
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**REVISED DATE** 07/02/2013

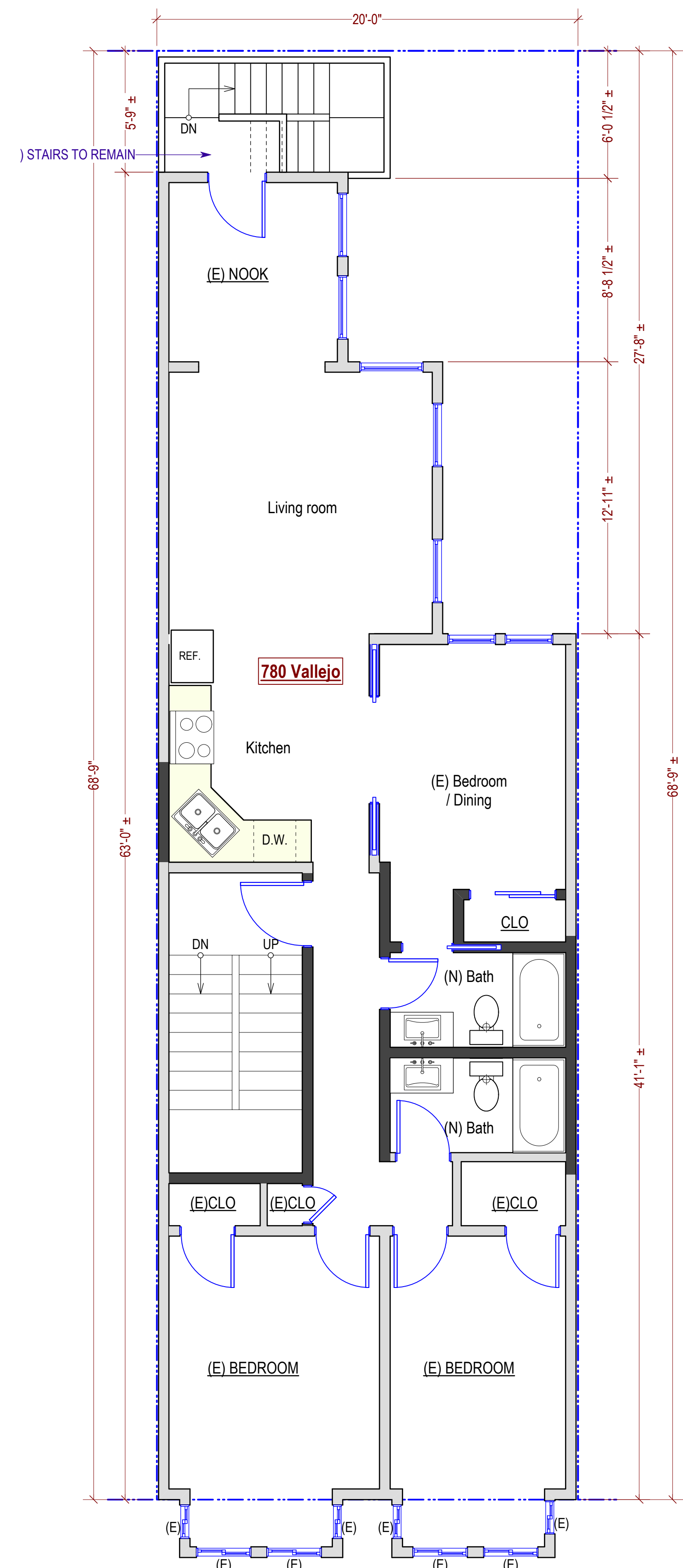
**JOB NO.** 12-1562

**SHEET NO.**

**A-2.4**



**Existing Fourth Floor Plan**  
1/4" = 1'-0"



**Proposed Fourth Floor Plan**  
1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	CONCRETE WALL





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**Building Elevations**

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NO.	DATE	DESCRIPTION

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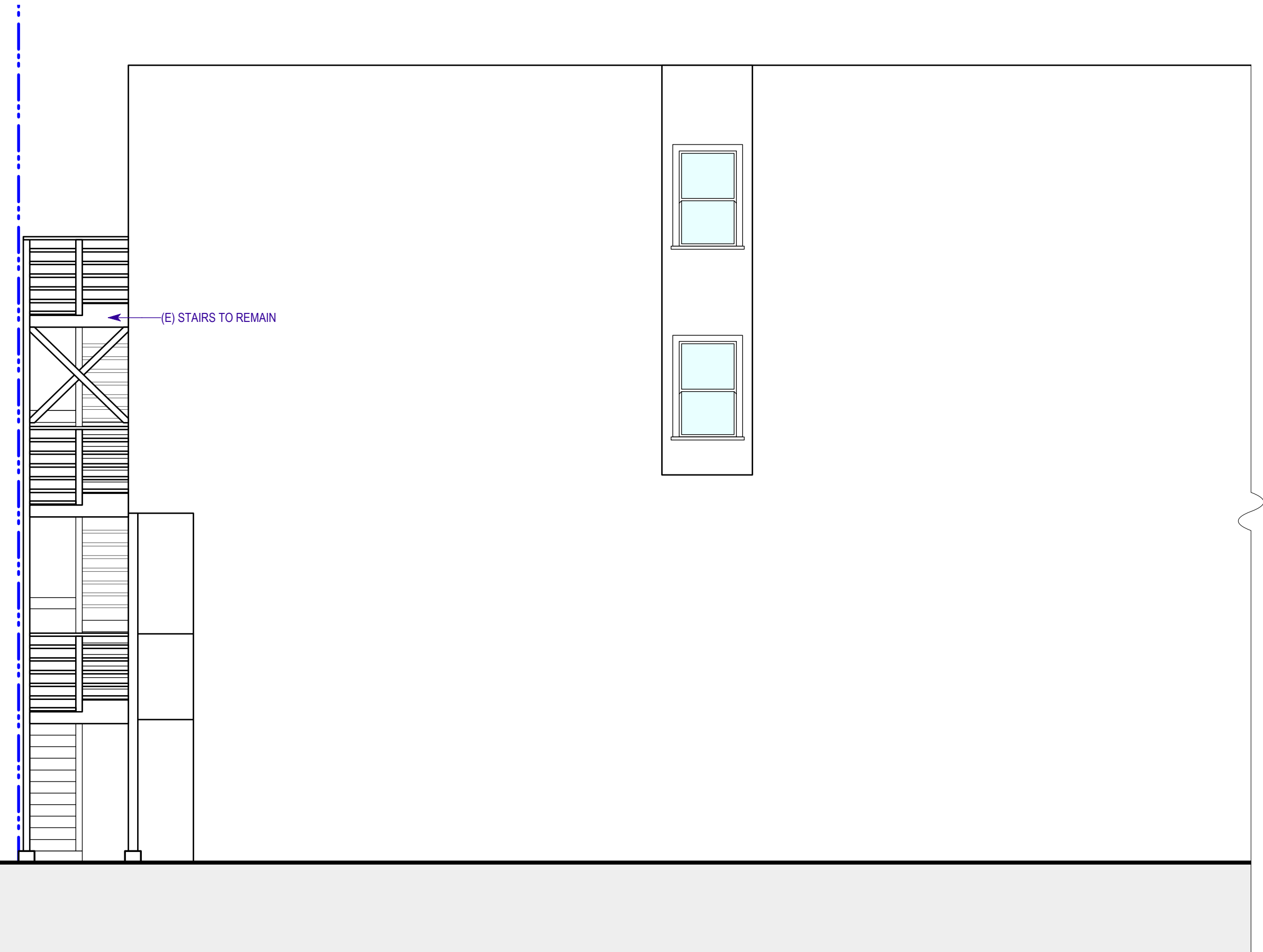
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**JOB NO.** 12-1562

**SHEET NO.**

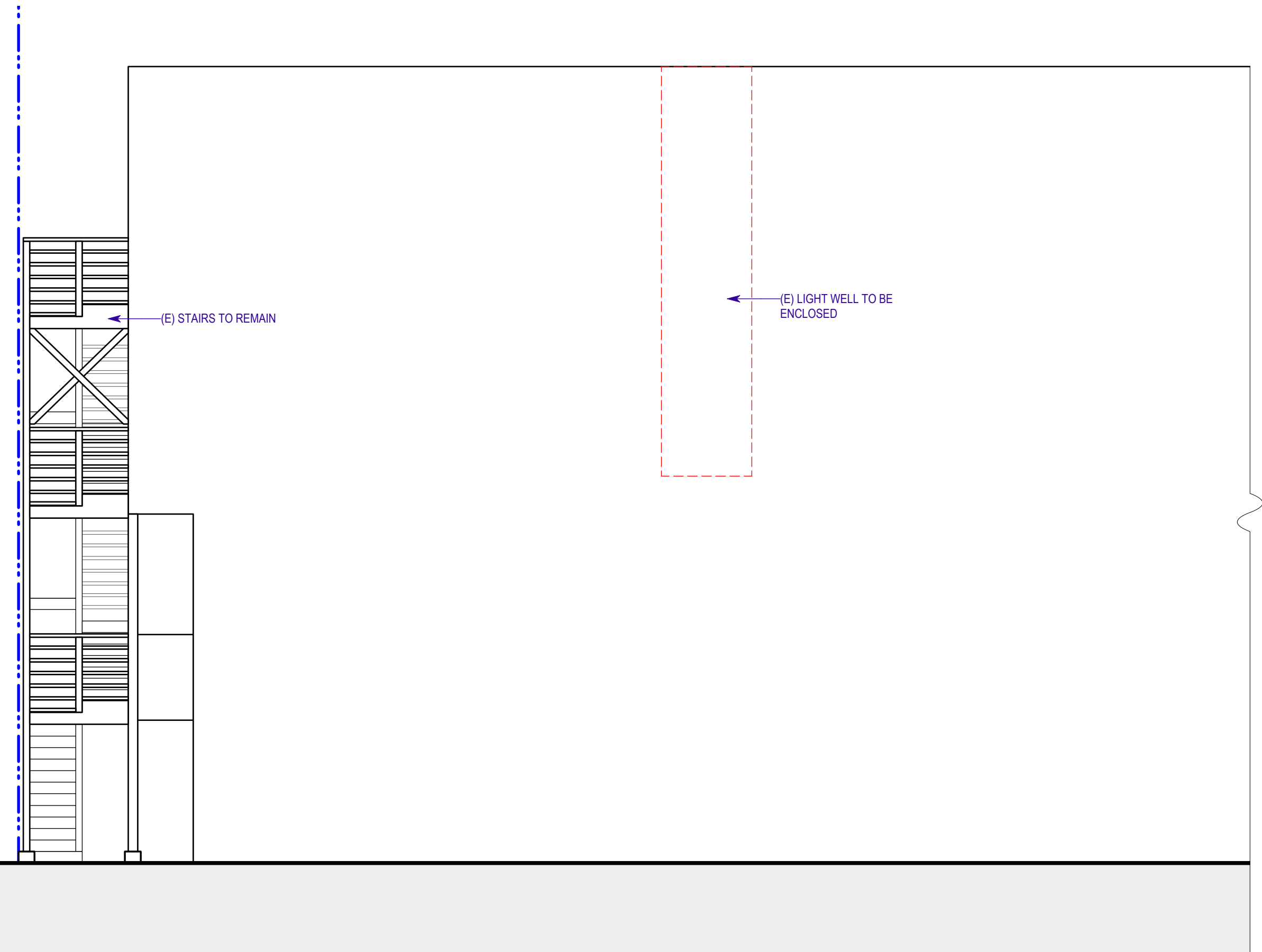
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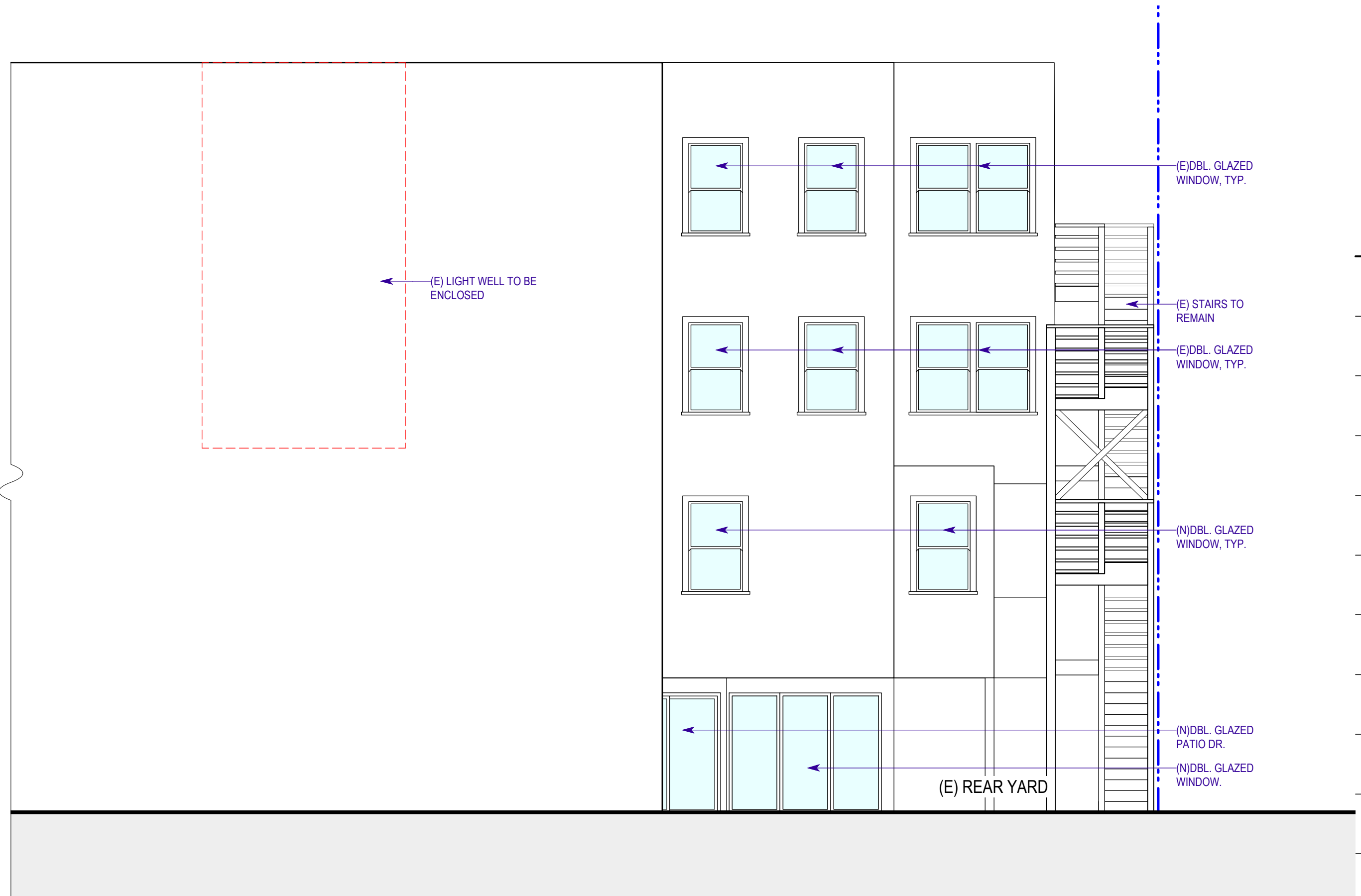
**Existing Left Elevation**  
3/16" = 1'-0"



**Existing Right Elevation**  
3/16" = 1'-0"



**Proposed Left Elevation**  
3/16" = 1'-0"



**Proposed Right Elevation**  
3/16" = 1'-0"

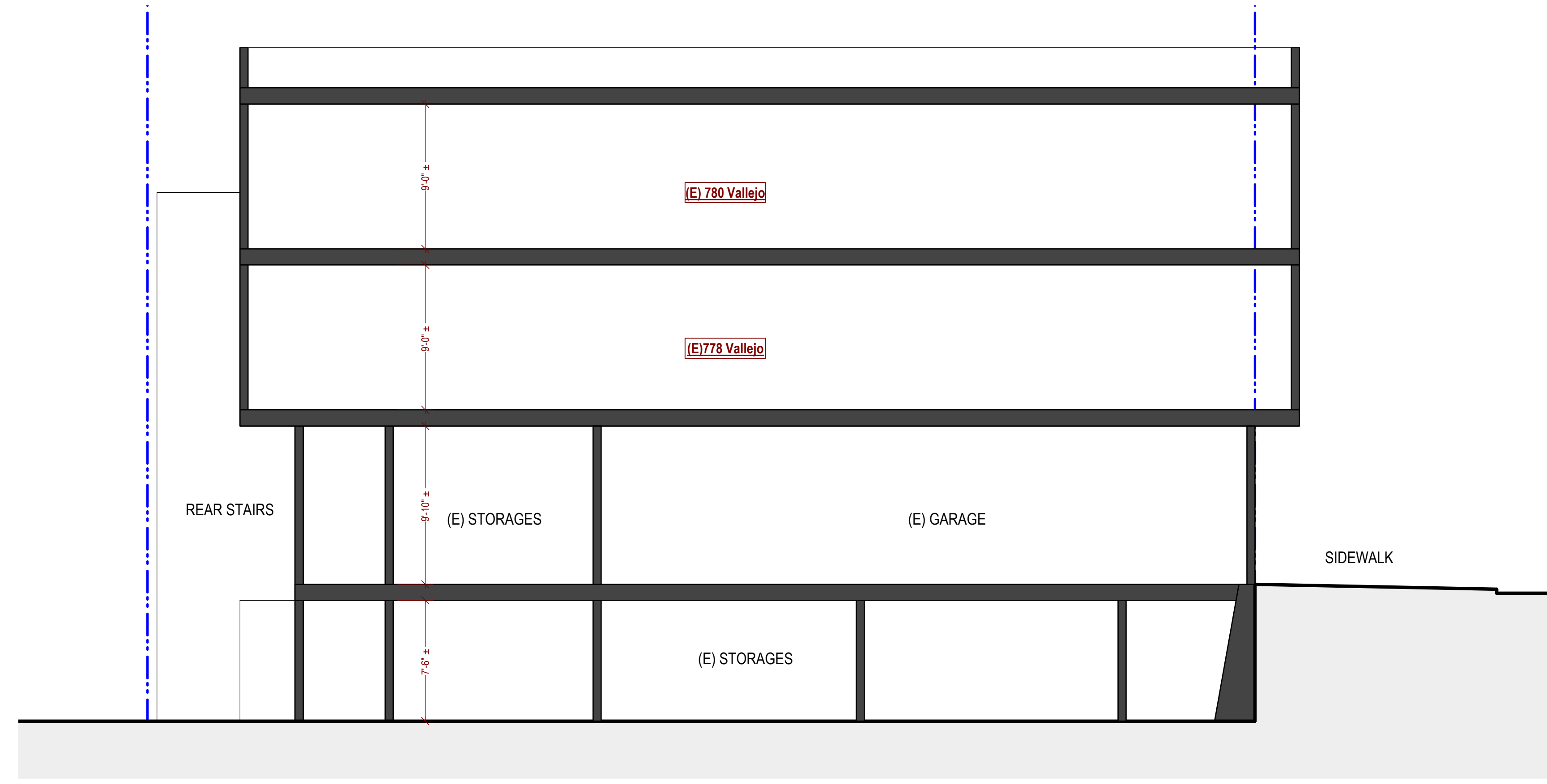
PROJECT NAME  
**778-780 Vallejo St.**  
 SAN FRANCISCO, CA



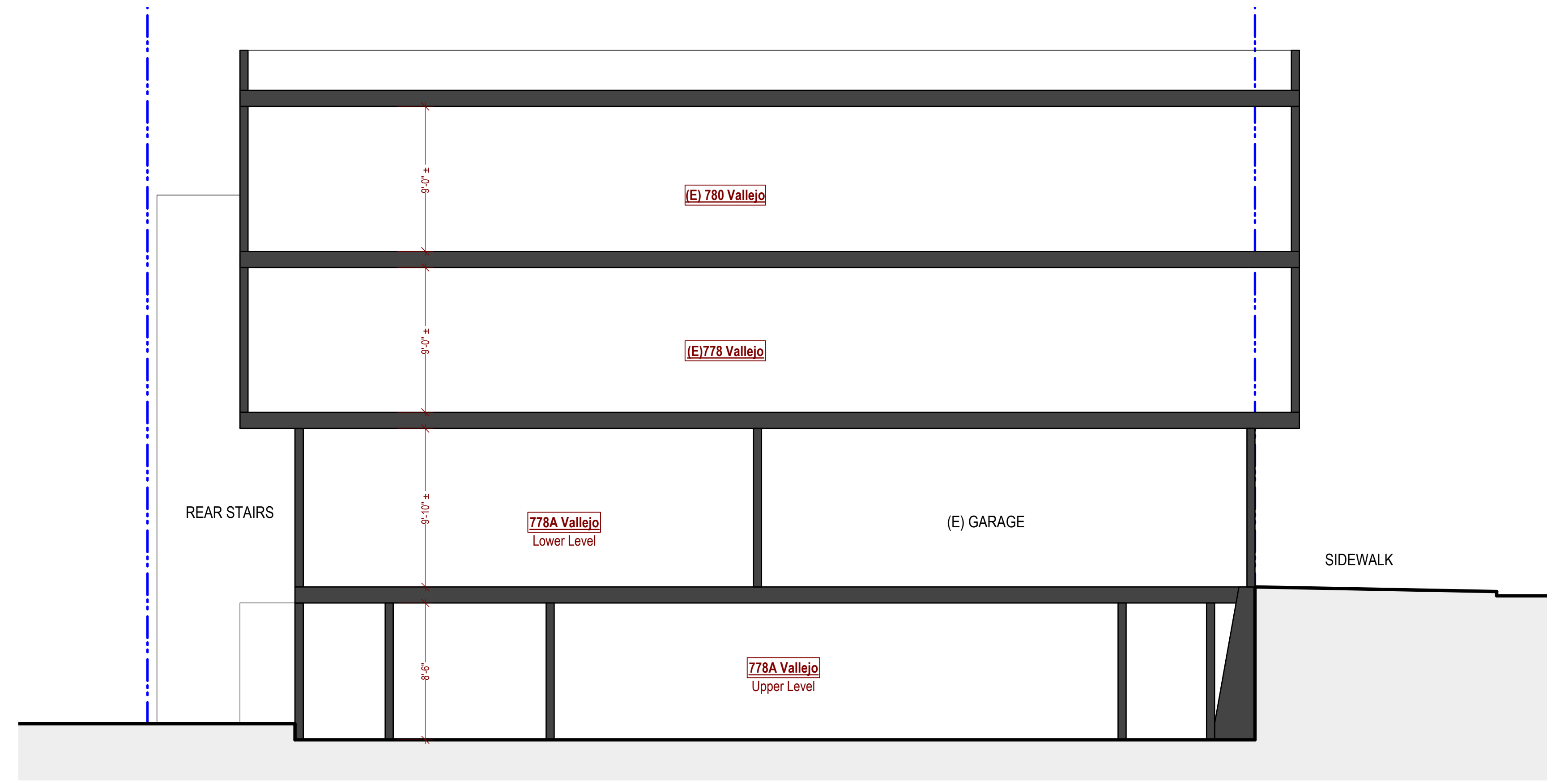
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**Building Sections**



**Existing Building Section**  
 3/16" = 1'-0"



**Proposed Building Section**  
 3/16" = 1'-0"

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**A-4.1**