

RECEIVED

APR 10 2013

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

606 608 30TH AVE
SAN FRANCISCO CA
94121

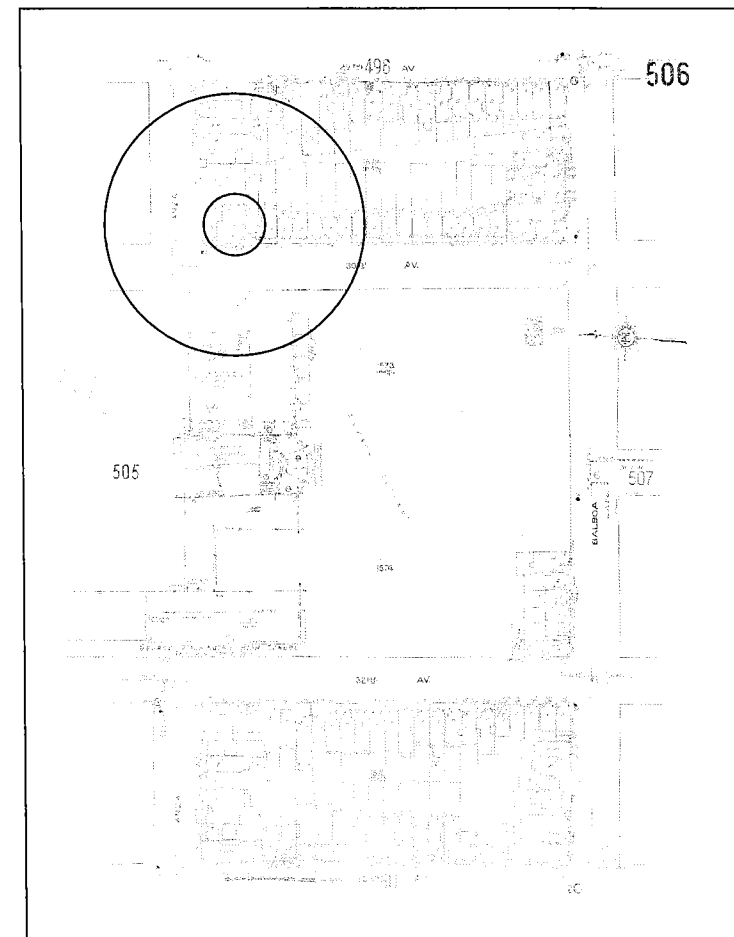
SCOPE OF WORK:
REVISION TO PERMIT APPLICATION 201007217126
1. NEW 4TH STORY ADDITION REVISED FLOOR PLAN.
2. NEW REAR DECKS AND STAIRS.
3. ENCLOSE EXISTING EXTERIOR NON CONFORMING STAIRS.

GENERAL NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2010 SBC, 2010 CBC, 1997 UBC, UMC, AND NEC, AND ALL LOCAL CODES AND ORDINANCES.
2. GENERAL CONTRACTORS SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ALL JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY AND COMPLIANCE WITH D.D.S.H. SAFETY STANDARDS.
3. GENERAL CONTRACTOR SHALL VISIT JOBSITE TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
4. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS AND JOB SITE CONDITIONS.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORKS INCLUDING THAT OF ALL SUB-TRADES AND N.I.C. ITEMS.
6. GENERAL CONTRACTOR SHALL PAY ALL FEES, TAXES, AND PERMITS REQUIRED BY THE PROJECT.
7. GENERAL CONTRACTOR SHALL NOT PROCEED WITH CHANGES WITHOUT APPROVAL OF OWNER.
8. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
9. GENERAL CONTRACTOR TO PROVIDE TEMPORARY PLYWOOD BARRICADE TO SCREEN OFF THE CONSTRUCTION AREA FOR THE SAFETY OF THE PUBLIC. USE PLASTIC SHEETS AS CURTAINS TO KEEP DUST OFF PUBLIC AREA. PUBLIC AREAS TO BE KEPT BROOM CLEAN AND FREE FROM DEBRIS.
10. GENERAL CONTRACTOR SHALL PROTECT THE BUILDING IN PROGRESS FROM DAMAGE BY THE NEW WORK. GENERAL CONTRACTOR WILL REPAIR ANY DAMAGE BY THE ORIGINAL CONDITIONS AT NO COST TO THE OWNER.
11. ALL NEW ELECTRICAL, HVAC PLUMBING AND SPRINKLER WORKS IF ANY WILL BE UNDER EACH SEPARATE PERMIT APPLIED BY EACH RESPONSIBLE CONTRACTOR AND SHALL MEET ALL REQUIRED CODES AND ORDINANCES.
12. GYPSUM BOARD NAILING AS PER 2010 CALIFORNIA BUILDING CODE.
13. WOOD STUD NAILING AS PER NAILING SCHEDULE 2010 CALIFORNIA BUILDING CODE.

BUILDING DATA:
ADDRESS:
606 608 30TH AVE
SAN FRANCISCO CALIFORNIA
94121.
BLOCK:
1572
LOT:
017
NUMBER OF UNITS:
2
NUMBER OF STORIES:
3
ZONE: RH-2
HEIGHT LIMIT: 40-X
PARKING SPACES:
2
EXISTING TYPE OF
CONSTRUCTION:
TYPE 5 B
PROPOSED ADDITION AREA: 864 SQ.FT.

INDEX:
A1. TITLE SHEET
A2. EXISTING SITE PLAN AND SITE PHOTOS
A3. PROPOSED SITE PLAN, PROPOSED SITE ELEVATION, EXISTING SITE ELEVATION
A4. PROPOSED LONGITUDINAL AND TRANSVERSE SECTIONS.
A5. EXISTING FIRST AND SECOND FLOOR PLANS
A6. EXISTING THIRD FLOOR AND ROOF PLANS
A7. FIRST AND SECOND FLOOR DEMOLITION PLANS
A8. THIRD FLOOR AND ROOF DEMOLITION PLANS
A9. PROPOSED FIRST AND SECOND FLOOR PLANS
A10. PROPOSED THIRD FLOOR PLAN
A11. PROPOSED FOURTH FLOOR AND ROOF PLANS.
A12. PROPOSED NORTH AND WEST ELEVATIONS
A13. PROPOSED SOUTH AND EAST ELEVATIONS
A13.1 PROPOSED FRONT ELEVATION AND WINDOW DETAILS

	EXISTING	PROPOSED
NUMBER OF UNITS	2	2
NUMBER OF PARKING SPACES	2	2
CONSTRUCTION TYPE	5	5
NUMBER OF STORIES	3	4
FIRST FLOOR GROSS AREA:	1660.2 SQ.FT.	1660.2 SQ.FT.
2ND FLOOR GROSS AREA	1725.7 SQ.FT.	1759.35 SQ.FT.
3RD FLOOR GROSS AREA	1661.25 SQ. FT.	1694.9SQ.FT.
4TH FLOOR GROSS AREA	NA SQ.FT.	894 SQ.FT.
TOTAL AREA:	5165.9 SQ.FT.	6059.9 SQ.FT.
HEIGHT AT FRONT:	35'	40'



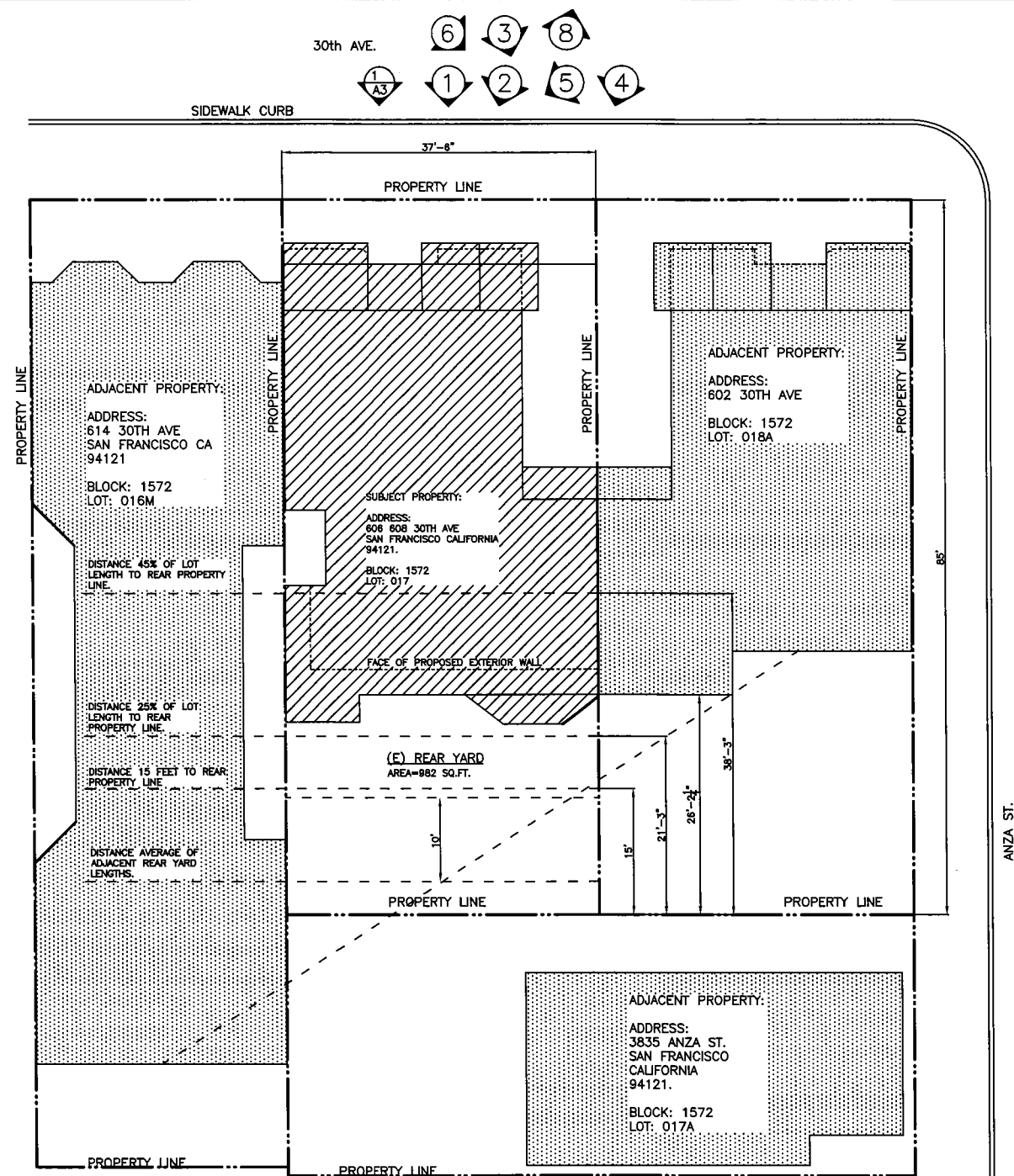
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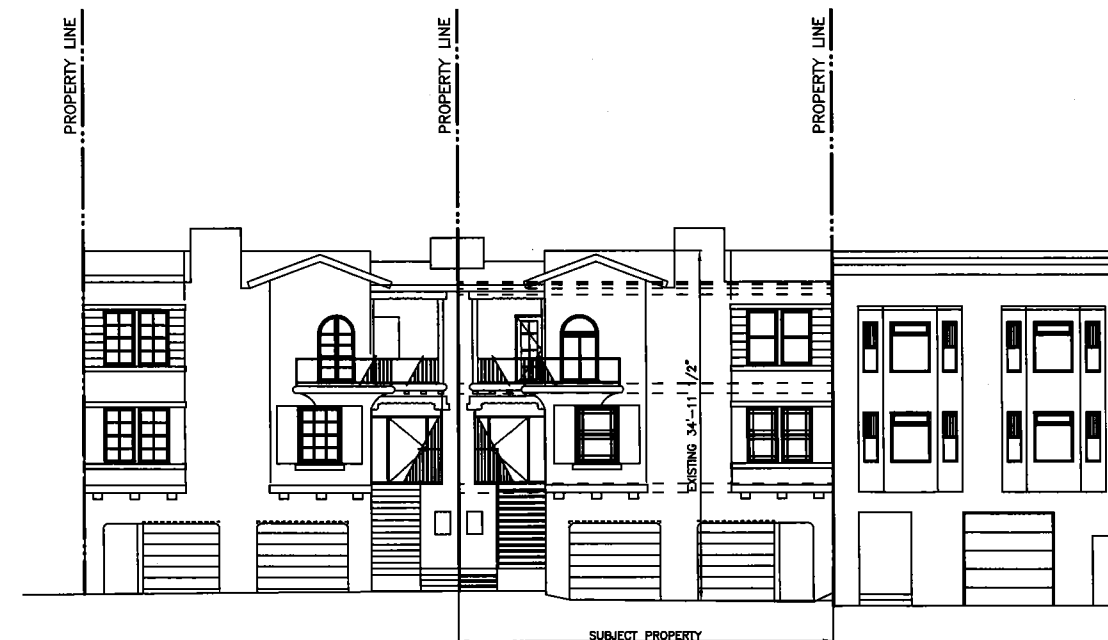
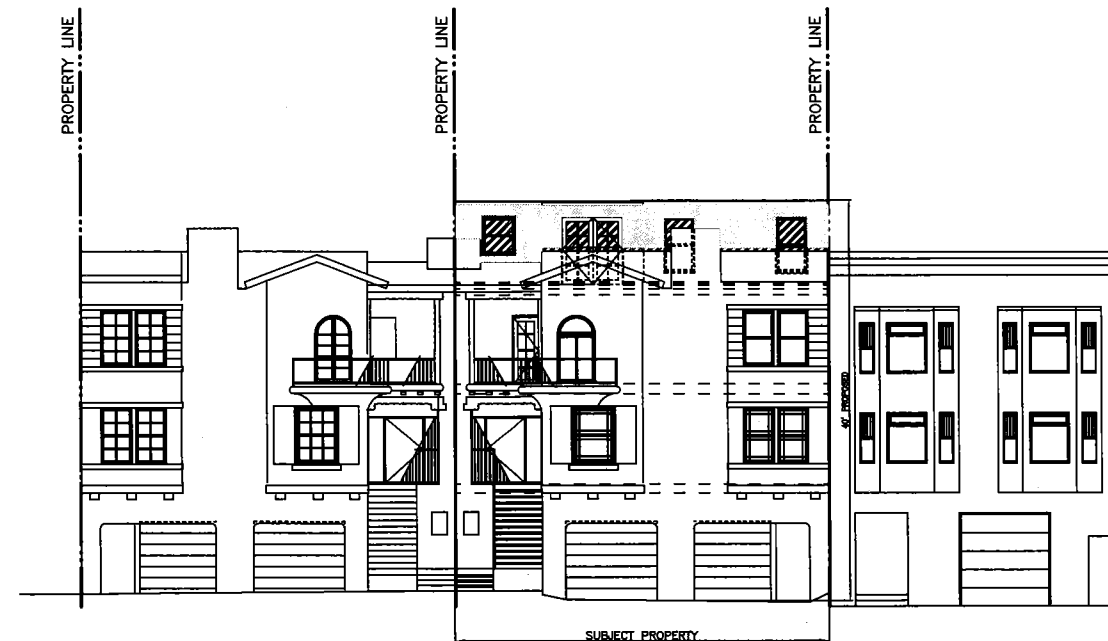
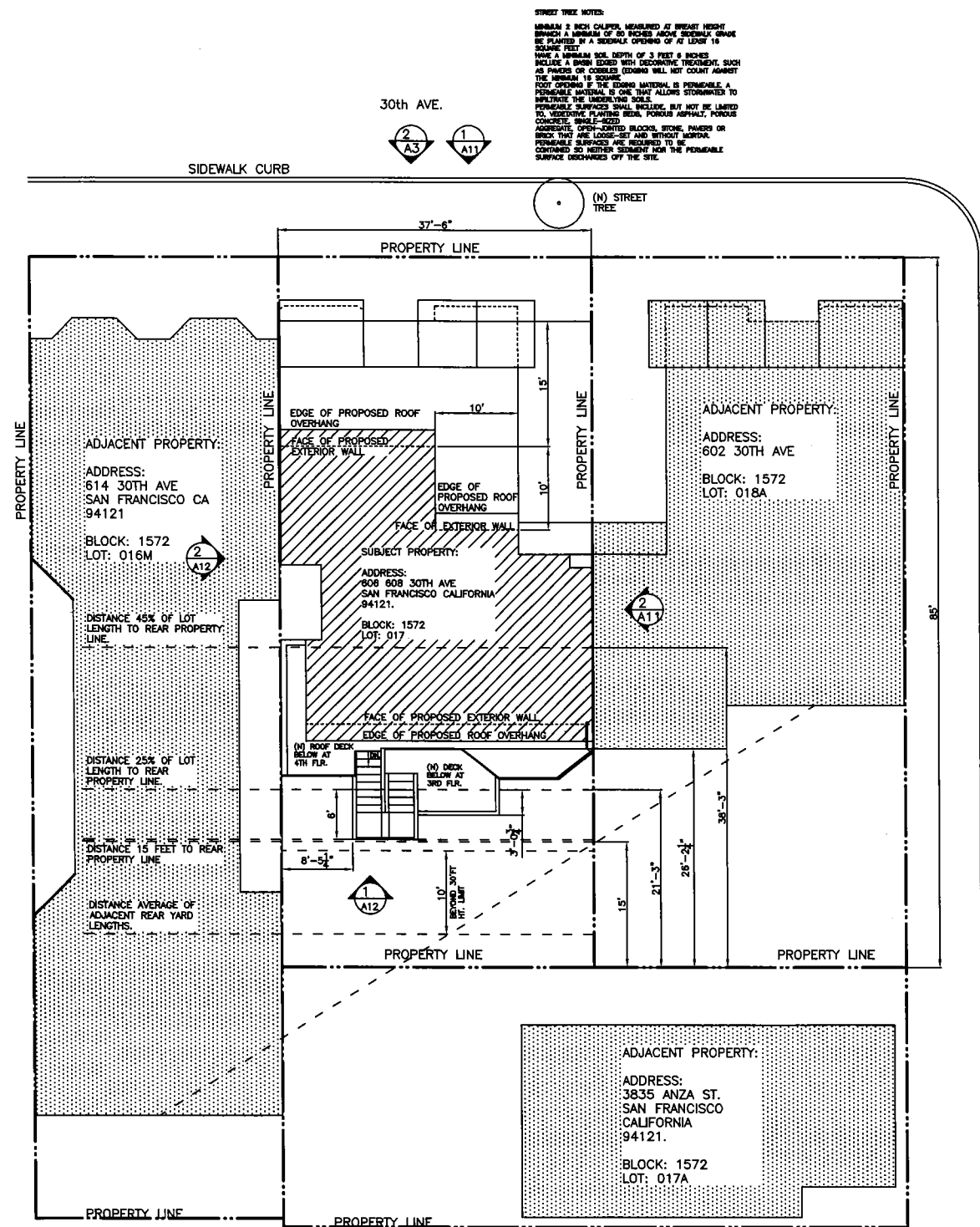
LEGEND

(E) EXISTING
(N) NEW
ADJ. ADJACENT
TYP. TYPICAL
GFI GROUND FAULT INTERRUPTER OUTLET
S LIGHT SWITCH
CEILING LIGHT
O FLUORESCENT LIGHT
OUTLET
EXHAUST FAN
SMOKE DETECTOR

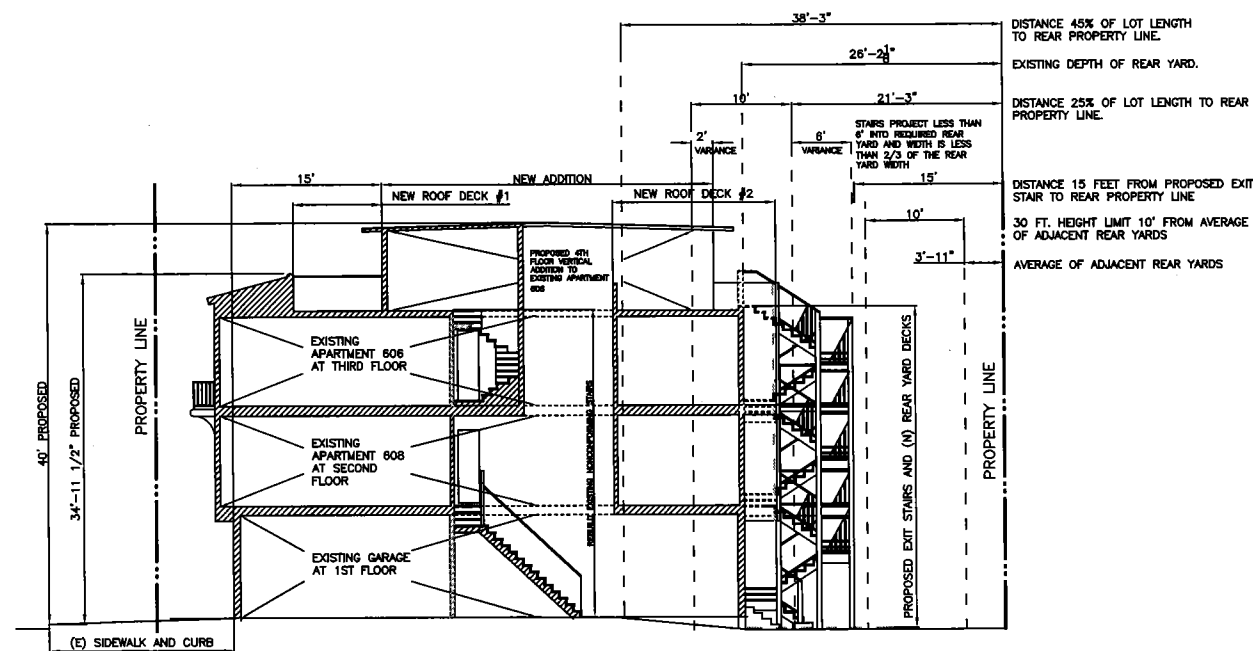
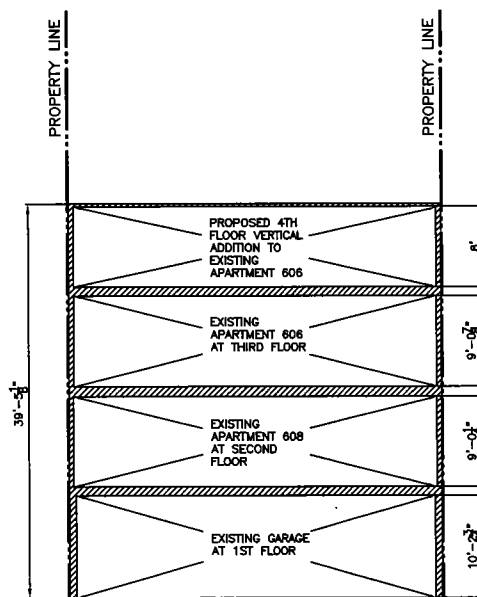
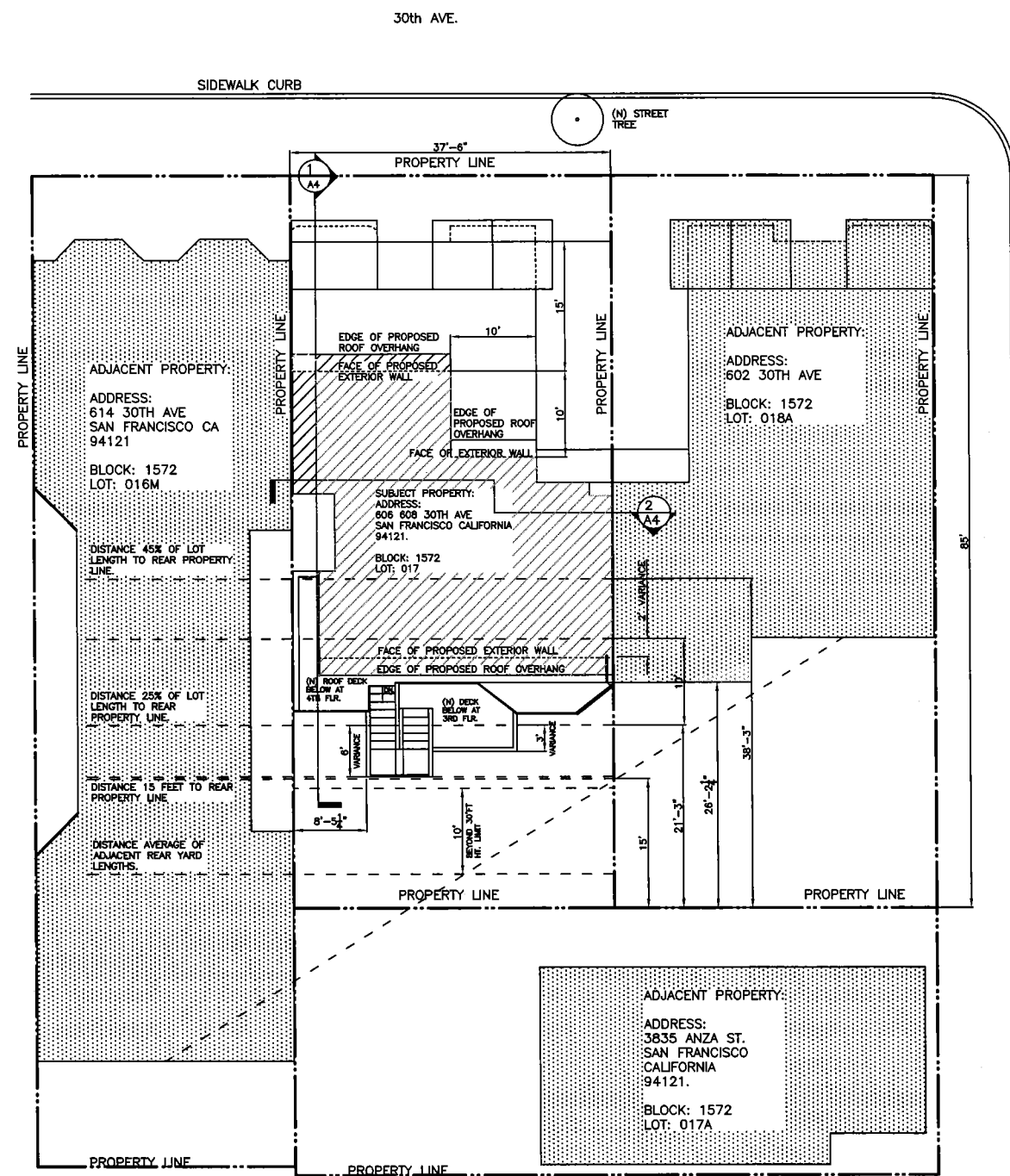
SECTION REFERENCE
ELEVATION REFERENCE
NEW WALL
EXISTING WALL
DEMOLISH EXISTING WALL

REVISED	BY
ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121
OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121
DATE:	JAN 26/ 2012
SCALE:	AS SHOWN
DRAWN:	AR
JOB	
SHEET	A1
OF	SHEET

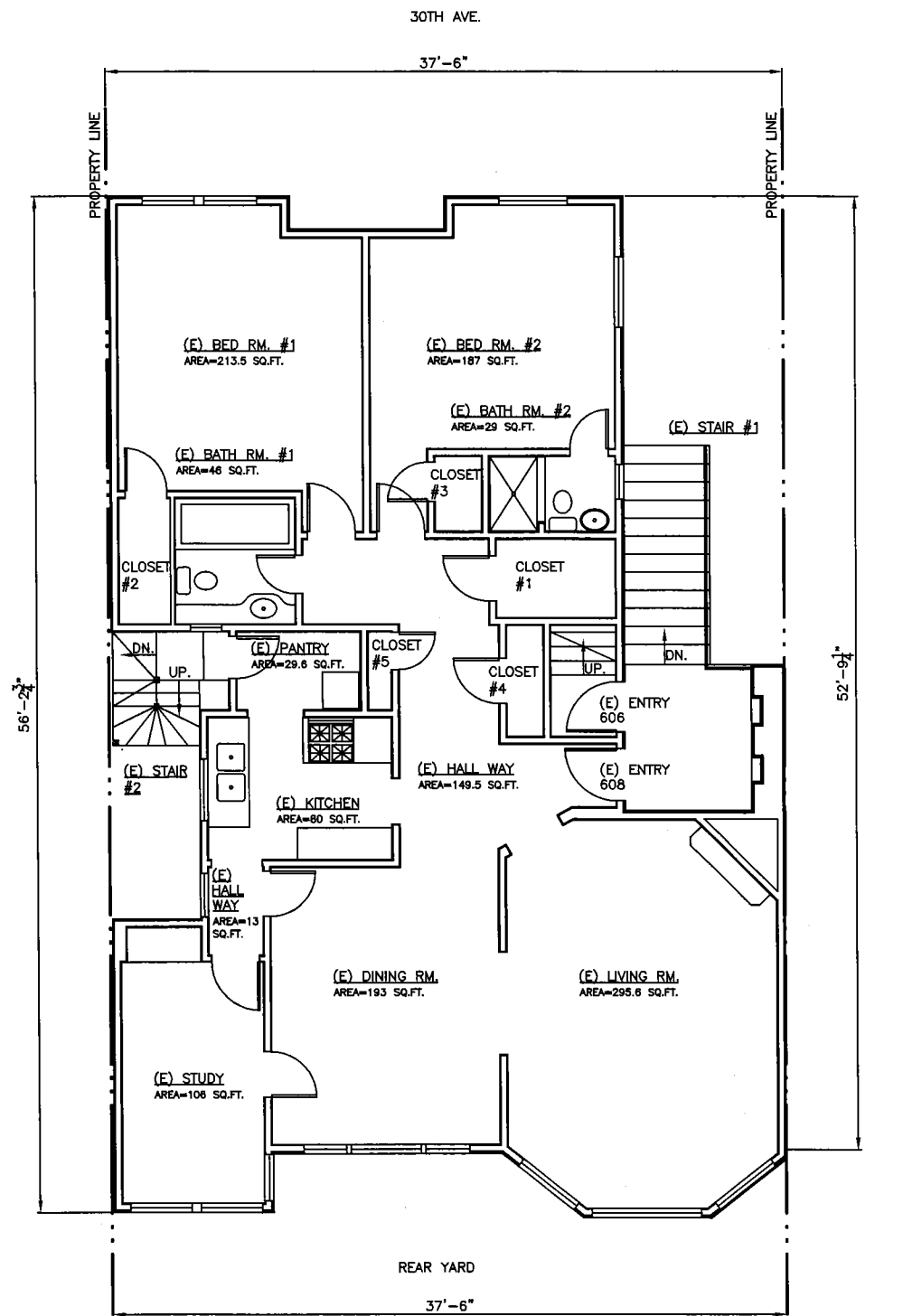
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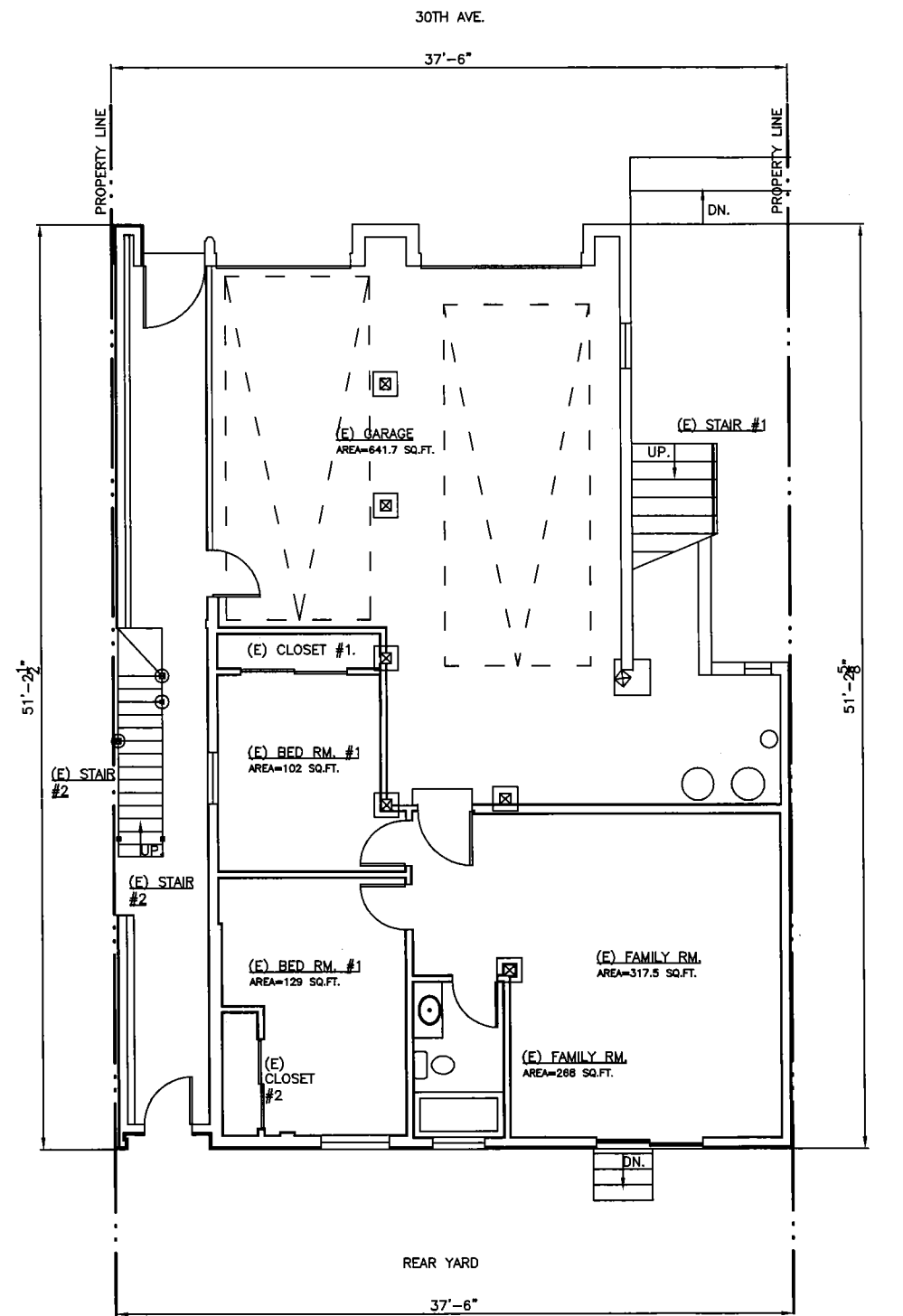
OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121	PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121	ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISED					B
DATE: JAN 28 / 2011											
SCALE: AS SHOWN											
DRAWN: AR											
JOB											
SHEET	A3										
OF	SHEET										



OF	SHEET	JOB	DRAWN: AR	SCALE: AS SHOWN	DATE: JAN 26 / 201	OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121	PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121	ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISED	BY
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② EXISTING SECOND FLOOR PLAN
SCALE : 1/4"=1'-0"

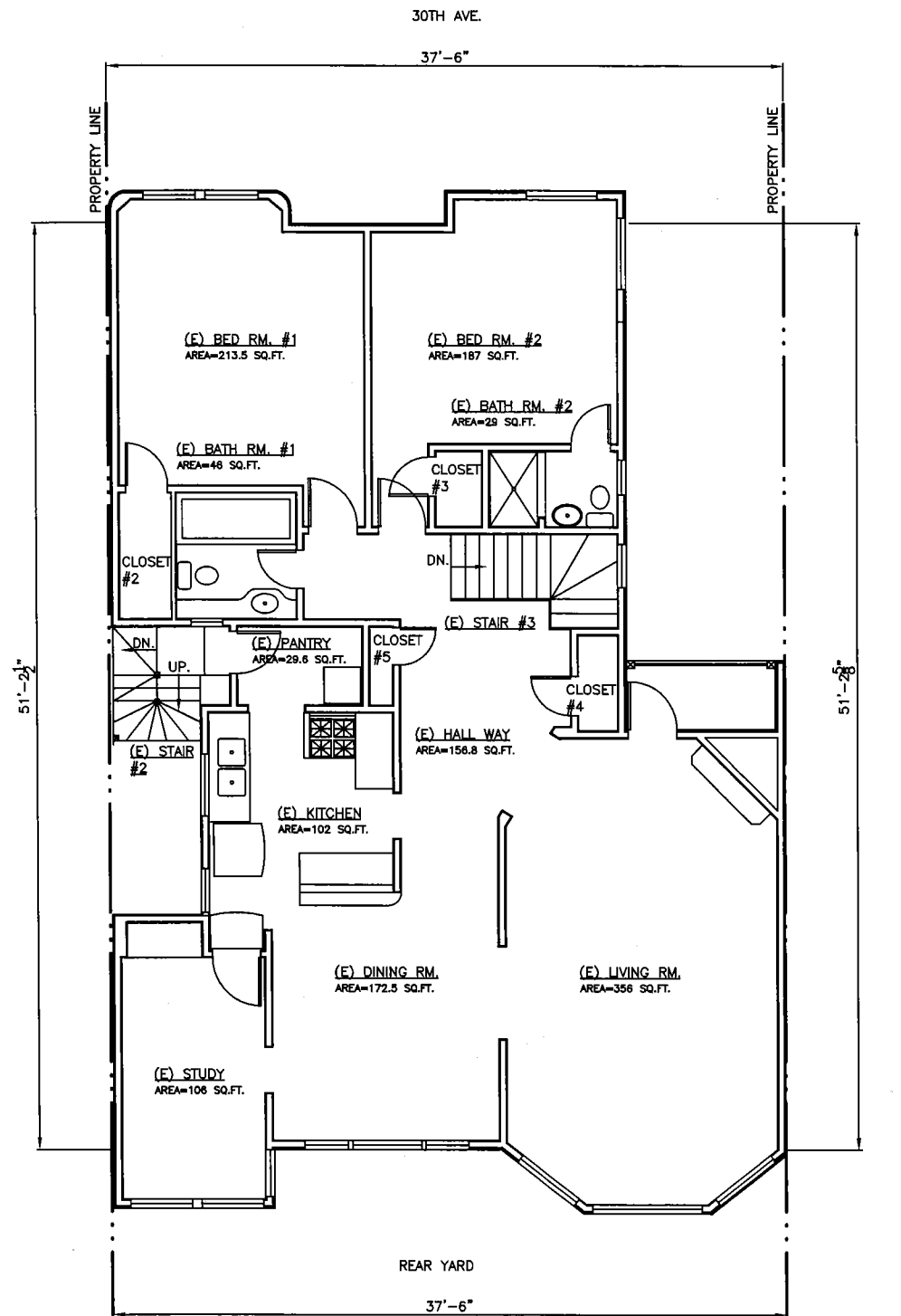


① EXISTING FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"

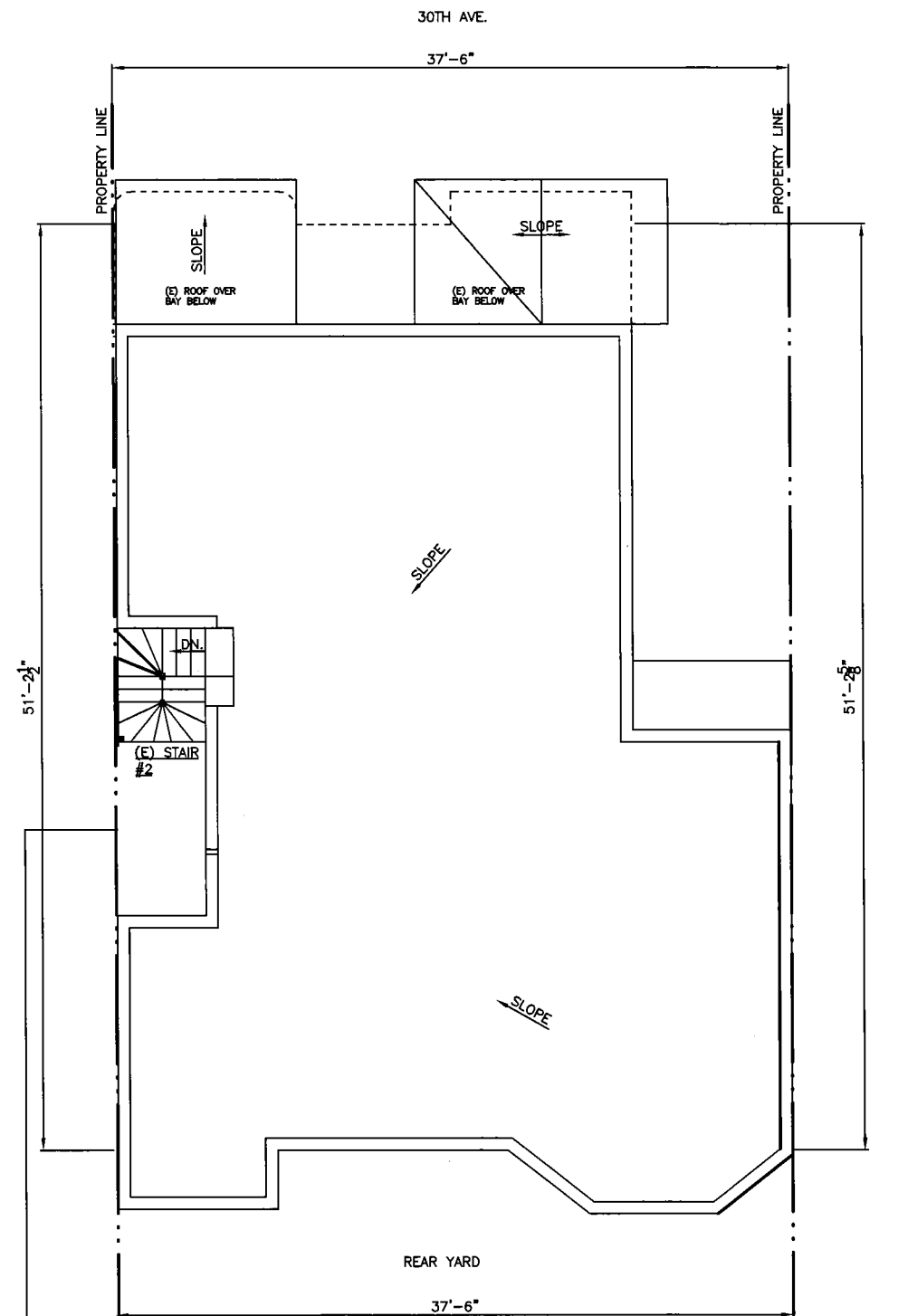


NEW WALL
 EXISTING WALL
 DEMOLISH EXISTING WALL

REVISION	BY
OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121 (415) 272-0957
PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121
ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:	JAN 26/2012
SCALE:	AS SHOWN
DRAWN:	AR
JOB	
SHEET	A5
OF	SHEET



② EXISTING THIRD FLOOR PLAN
SCALE : 1/4"=1'-0"

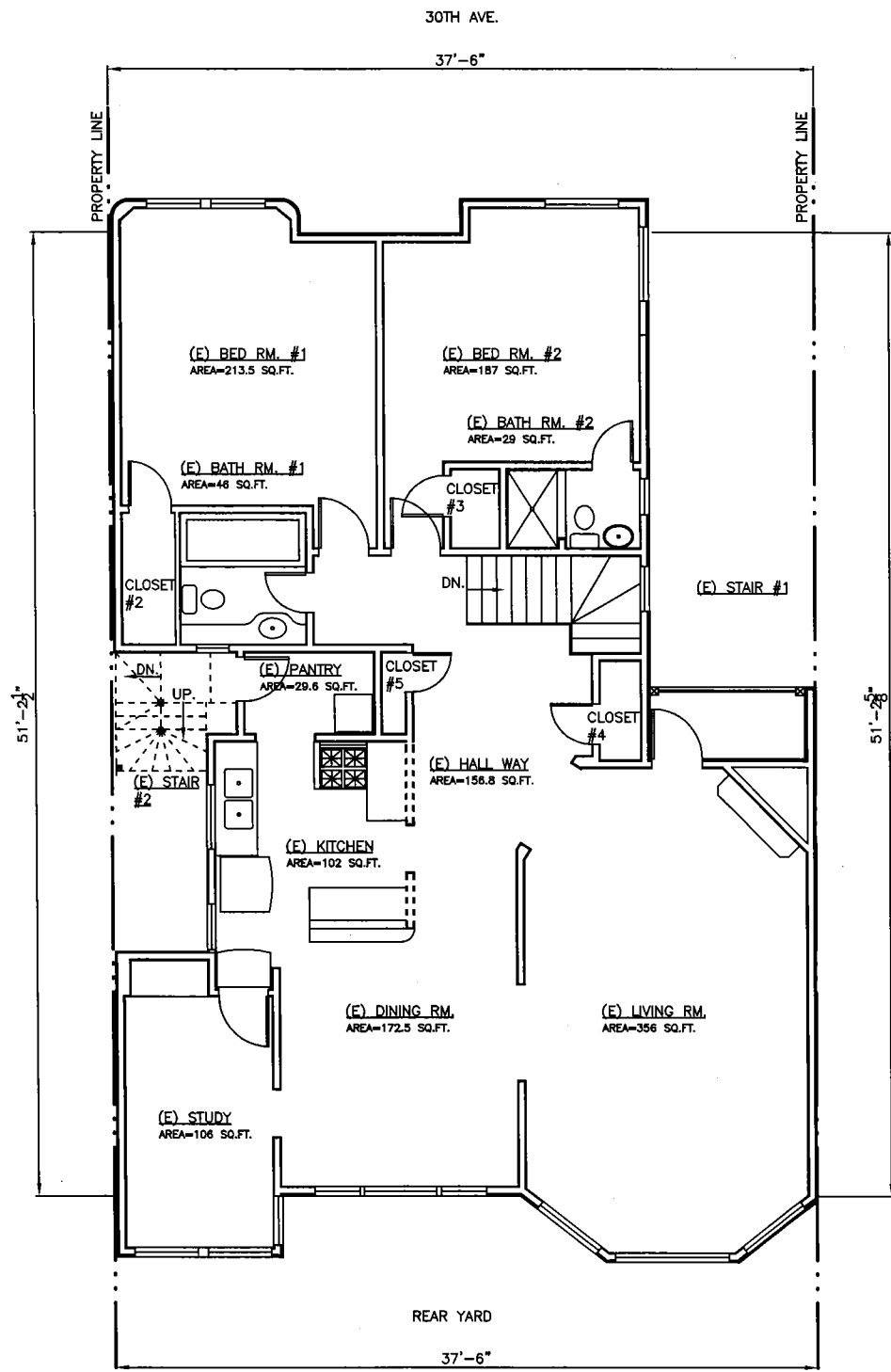


① EXISTING THIRD FLOOR PLAN
SCALE : 1/4"=1'-0"

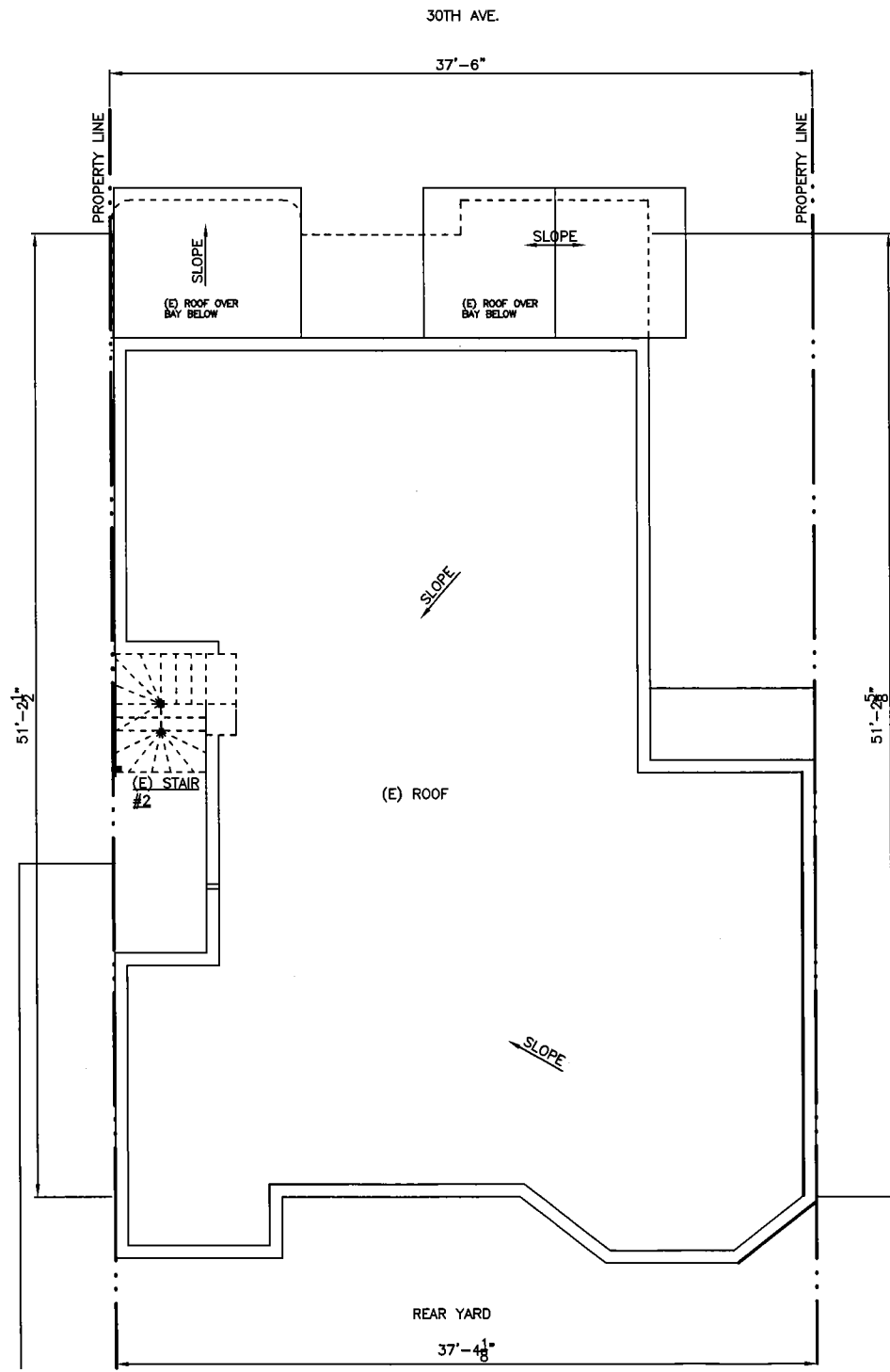


- NEW WALL
- EXISTING WALL
- DEMOLISH EXISTING WALL

REVISION	BY
ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121
OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121
DATE:	JAN 26/2012
SCALE:	AS SHOWN
JOB	
SHEET	A6
OF	SHEET



② THIRD FLOOR DEMOLITION PLAN
SCALE : 1/4"=1'-0"

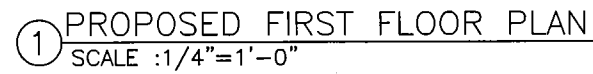
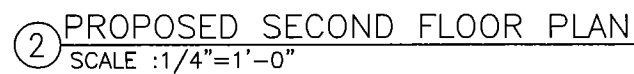


① ROOF DEMOLITION PLAN
SCALE : 1/4"=1'-0"

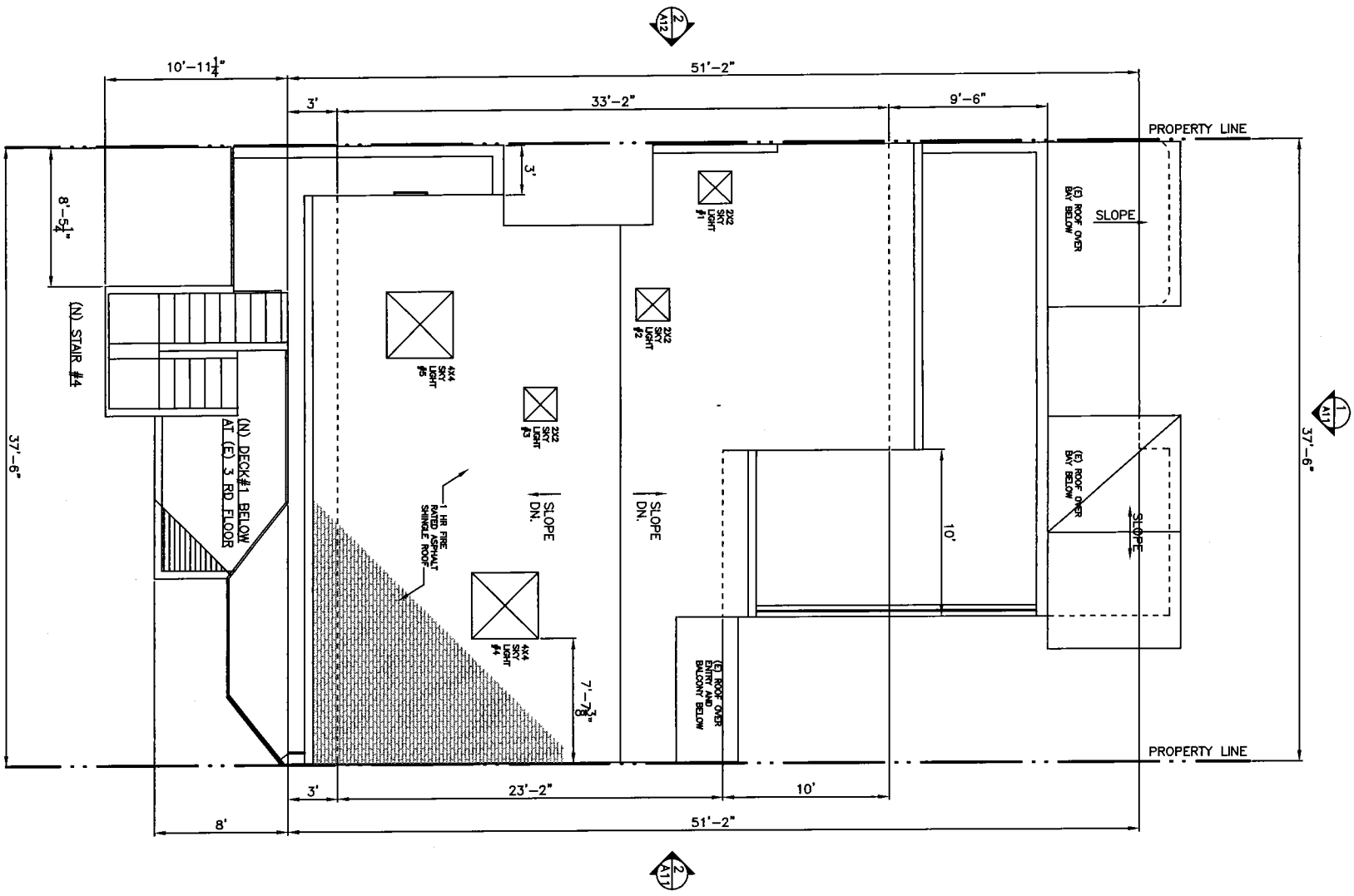


- NEW WALL
- EXISTING WALL
- DEMOLISH EXISTING WALL

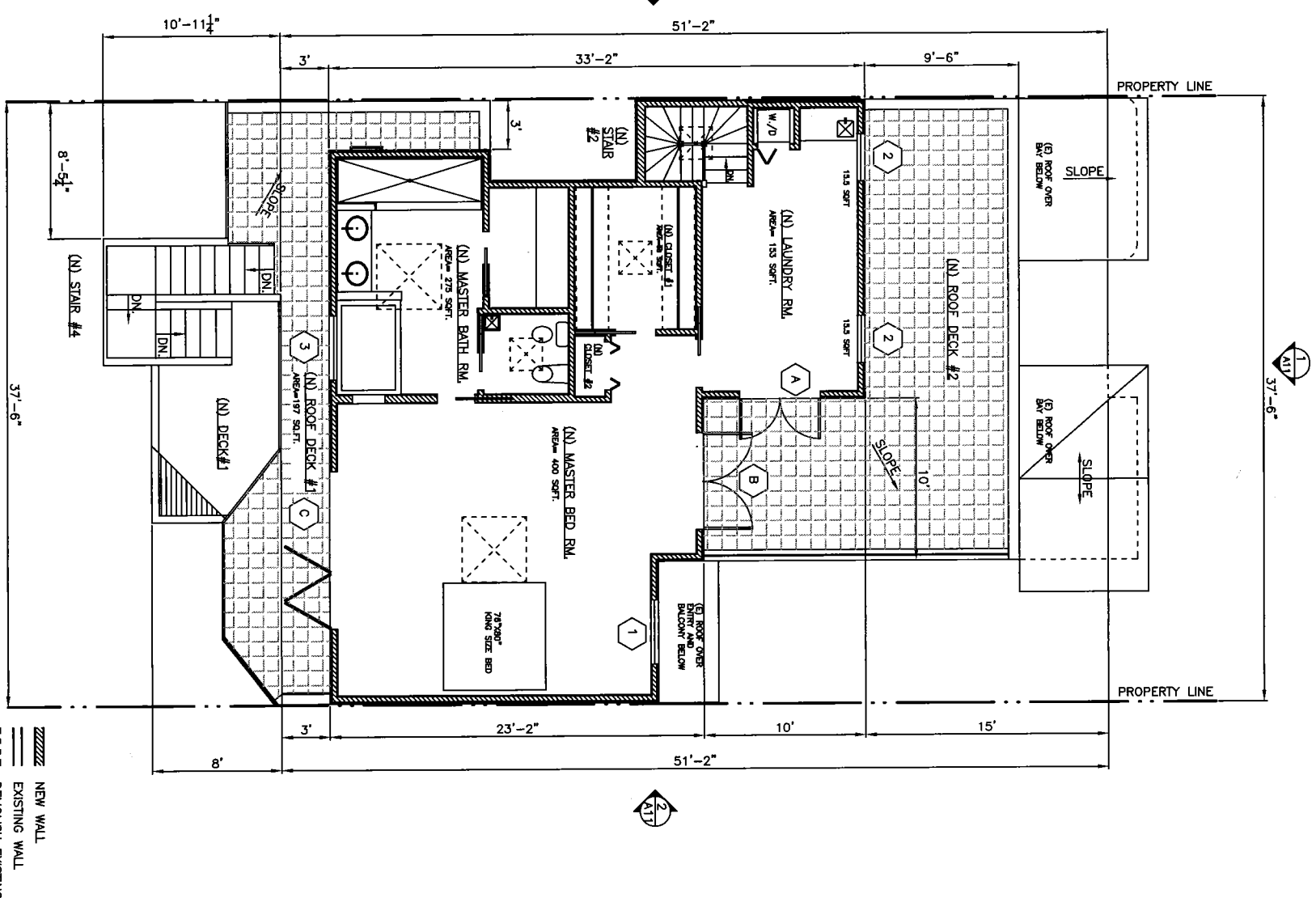
REVISION	BY
OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121
PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121
ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:	JAN 28/2012
SCALE:	AS SHOWN
JOB	
SHEET	A8
OF	SHEET



OF	SHEET	JOB	DRAWING: AR	SCALE: AS SHOWN	DATE: JAN 28/2012	OWNER: LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121 (415) 272-0957	PROJECT: HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121	ARCHITECT: ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISED	BY
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2 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

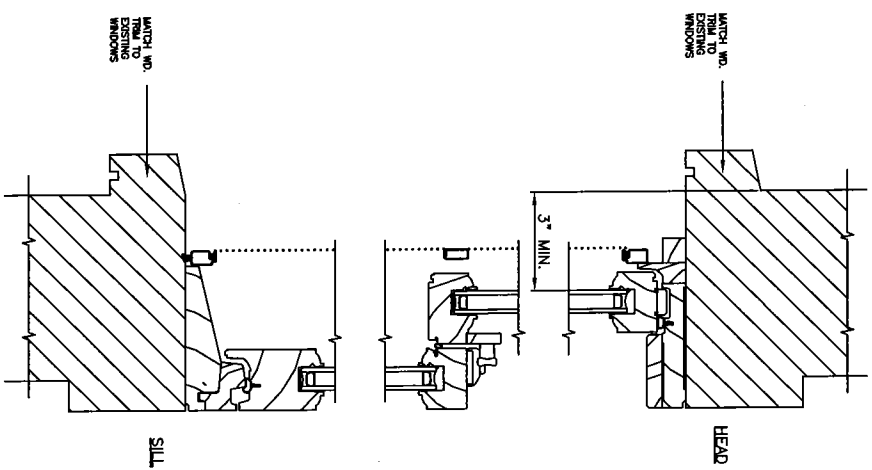


1 PROPOSED FOURTH FLOOR PLAN
SCALE: 1/4"=1'-0"

NEW WALL
EXISTING WALL
DEMOLISH EXISTING WALL

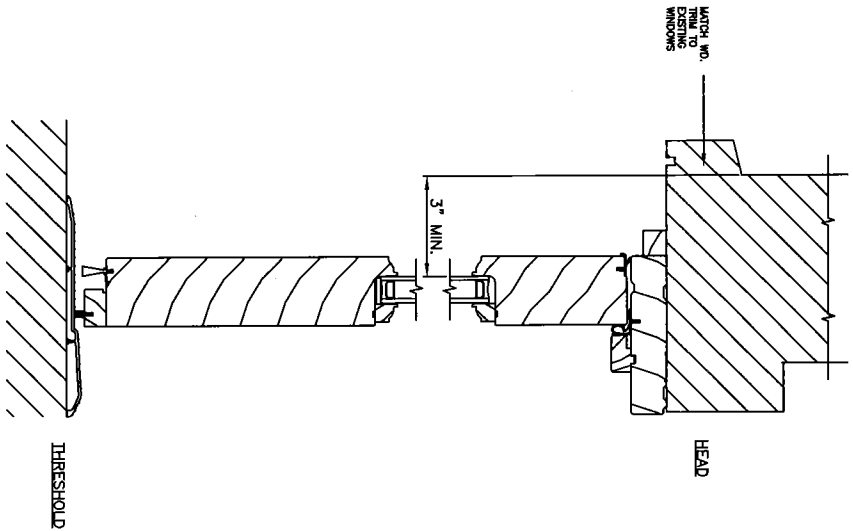
OWNER: LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121 (415) 272-0957	PROJECT: HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121	ARCHITECT: ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISIONS BY DATE
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DATE: MARCH 13/2012 SCALE: AS SHOWN DRAWN: AR JOB SHEET	A13			



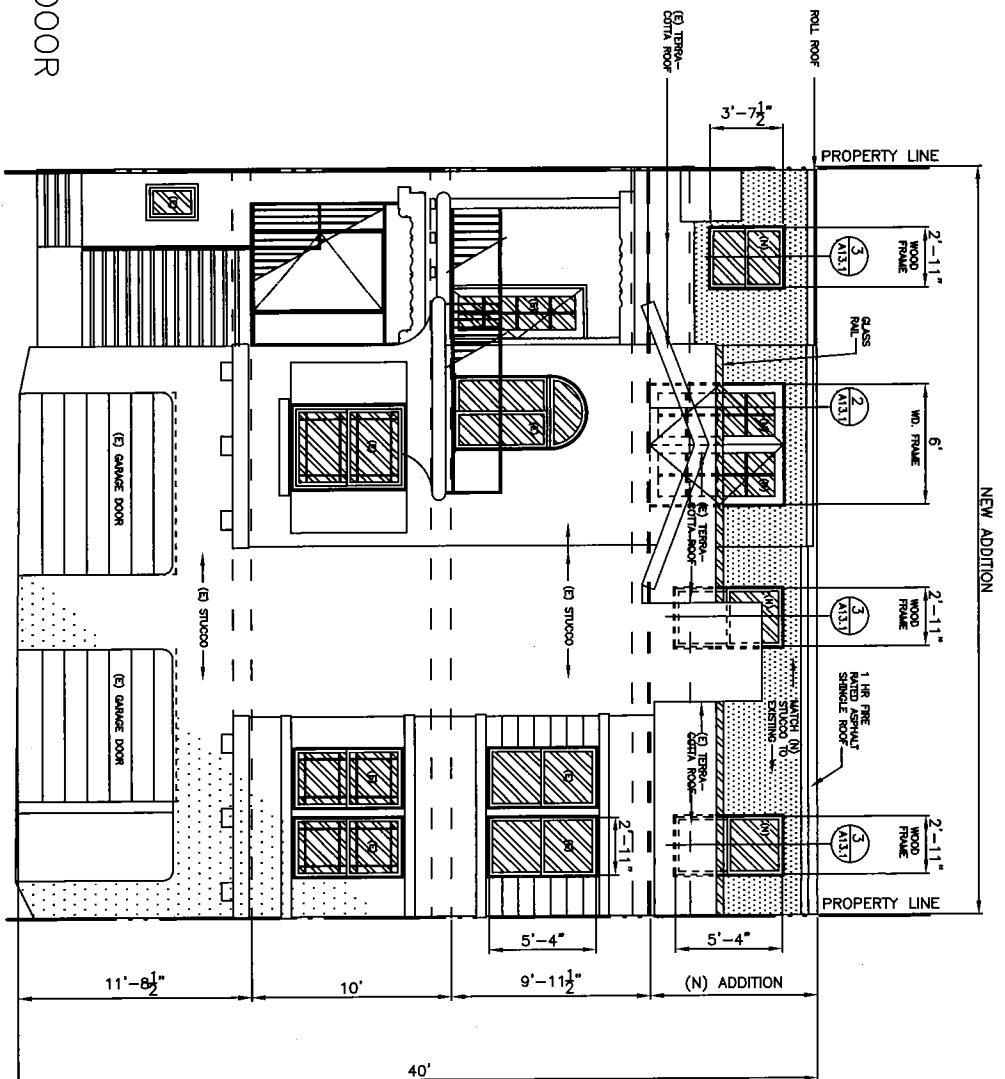
PROPOSED DOUBLE HUNG
WOOD WINDOW VERTICAL
SECTION DETAIL

3 SCALE : 5"=1'-0"



PROPOSED WOOD FRENCH DOOR
VERTICAL SECTION DETAIL

2 SCALE : 5"=1'-0"



PROPOSED WEST ELEVATION

1 SCALE : 1/4"=1'-0"

NOTE:
1. PROPOSED WINDOWS SHOULD BE OF THE SAME MATERIAL (WOOD) AND TYPE AS THE EXISTING WINDOWS. ALTHOUGH NEW WINDOWS WITH EDGE OF EXISTING WINDOWS.
2. THE NEW WINDOW MATERIAL (WOOD) FRAMES AND SILLINGS WILL BE WOOD AND MATCH THE DETAILS OF THE EXISTING WINDOWS. THE GLAZING WILL BE RECESSED NO LESS THAN 5" FROM THE EXTERIOR BUILDING WALL.

OWNER:	LENA NGOW AND KAL TUNG 606 30TH AVE. SAN FRANCISCO CA 94121 (415) 272-0957	PROJECT:	HOUSE REMODEL 606 608 30TH AVE. SAN FRANCISCO CA 94121	ARCHITECT:	ASHTON RICHARDS 1607 B MC ALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:					
SCALE: AS SHOWN					
DRAWN: AS					
JOB					
SHEET					
OF					
A13.1					