# 553/553A ELIZABETH RESIDENCE REMODEL

553/553A ELIZABETH STREET, SAN FRANCISCO, CA 94114 - BLOCK 3656 - LOT 034

## ABBREVIATIONS:

| | |
|---|---|
| & | AND |
| < | ANGLE |
| @ | AT |
| # | NUMBER |
| ℄ | CENTER LINE |
| ℞ | PROPERTY LINE |
| (E) | EXISTING |
| (N) | NEW |
| (R) | REPLACE |
| ABV. | ABOVE |
| ADJ. | ADJACENT |
| ALUM. | ALUMINUM |
| ARCH. | ARCHITECTURE |
| ASPH. | ASPHALT |
| BD. | BOARD |
| BASE BD. | BASE BOARD |
| BLDG. | BUILDING |
| BLK. | BLOCK |
| BLKG. | BLOCKING |
| BOT. | BOTTOM |
| BM. | BEAM |
| B.U. | BUILT-UP |
| CLG. | CEILING |
| CNTL | CONTROL |
| CONT. | CONTINUOUS |
| CTR. | CENTER |
| CLR. | CLEAR |
| C.L. | CENTER LINE |
| DBL. | DOUBLE |
| D.F. | DOUGLAS FIR |
| DIM. | DIMENSION |
| DN. | DOWN |
| D.P. | DOUBLE POLE |
| D.S. | DOWN SPOUT |
| DWG. | DRAWING |
| E | EAST |
| EA | EACH |
| EL. OR ELEV. | ELEVATION |
| ELEC. | ELECTRICAL |
| EQ. | EQUAL |
| EXP. | EXPOSED |
| EXT. | EXTERIOR |
| F.A.U. | FORCED-AIR-UNIT |
| F.C.L. | FINISHED CEILING LEVEL |
| FDN. | FOUNDATION |
| F.F. | FINISHED FLOOR |
| F.F.L. | FINISHED FLOOR LEVEL |
| FIN. | FINISH |
| F.O.C. | FACE OF CONCRETE |
| F.O.S. | FACE OF STUD |
| F.O.P. | FACE OF PLYWOOD |
| F.P. | FIRE PLACE |
| FURN. | FURNACE |
| GA. | GAUGE |
| GALV. | GALVANIZED |
| GND. | GROUND |
| GYP.BD. | GYPSUM BOARD |
| H.C. | HOLLOW CORE |
| HDR. | HEADER |
| HDWD. | HARD WOOD |
| H.V.A.C. | HEATING, VENTILATION, AIR CONDITIONING |
| I.D. | INSIDE DIMENSION |
| INSUL. | INSULATION |
| INT. | INTERIOR |
| JST. | JOIST |
| MAX. | MAXIMUM |
| M.C. | MEDICINE CABINET |
| MECH. | MECHANICAL |
| MEMB. | MEMBRANE |
| MANUF. | MANUFACTURER |
| MIN. | MINIMUM |
| MTL. | METAL |
| N | NORTH |
| N.I.C. | NOT IN CONTRACT |
| NO. | NUMBER |
| O/ | OVER |
| O.C. | ON CENTER |
| OPNG. | OPENING |
| O.D. | OUTSIDE DIMENSION |
| P.C. | PLUMBING CHASE |
| PL. | PLATE |
| PLYWD. | PLYWOOD |
| P.T. | PRESSURE TREATED |
| PT. | POINT |
| R | RADIUS |
| RET. AIR | RETURN AIR |
| RM | ROOM |
| RDWD | REDWOOD |
| R.W.L. | RAIN WATER LEADER |
| S | SOUTH |
| S.S.D. | SEE STRUCTURAL DRAWINGS |
| SQ. FT. | SQUARE FOOT |
| SHT. | SHEET |
| SHTG. | SHEATHING |
| SIM. | SIMILAR |
| S.P. | SINGLE POLE |
| SQ. | SQUARE |
| S.ST. | STAINLESS STEEL |
| ST. | STEEL |
| STD. | STANDARD |
| SUP. AIR | SUPPLY AIR |
| T&G | TONGUE AND GROOVE |
| THK. | THICK |
| T.O.P. | TOP OF PLATE |
| T.O.S. | TOP OF SLAB |
| T.O.F.F. | TOP OF FINISHED FLOOR |
| T.O.W. | TOP OF WALL |
| T.P. | TOILET PAPER HOLDER |
| T.R. | TOWEL RACK |
| TYP. | TYPICAL |
| U.O.N. | UNLESS OTHERWISE NOTED |
| VAR. | VARIES |
| V.D.C. | VERIFY DURING CONSTRUCTION |
| VERT. | VERTICAL |
| V.I.F. | VERIFY IN FIELD |
| W | WEST |
| W/ | WITH |
| W.C. | WATER CLOSET |
| WD | WOOD |
| WP | WATER PROOF |
| W.H. | WATER HEATER |

## GENERAL NOTES:

**AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT", ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.**

1. ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
3. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
4. CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
5. CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
6. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
7. DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
8. ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
9. CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
10. IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
11. WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
12. DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
13. "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
14. "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
15. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
16. CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
17. ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
18. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
19. WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
20. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
21. ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
22. SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
23. ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
24. PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
25. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO :
    - A. MINIMUM ROOF/CEILING INSULATION R-19
    - B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13.
    - C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13.
    - D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
    - E. INFILTRATION CONTROL:
      1. DOORS AND WINDOWS WEATHER-STRIPPED.
      2. EXHAUST SYSTEMS DAMPENED.
      3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
      4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
    - F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
    - G. ELECTRICAL OUTLET PLATEGASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
26. SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
27. GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
28. LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

## SYMBOLS:

EXISTING WALL

EXISTING WALL DEMOLISHED

NEW WALL

LINE OVERHEAD OR HIDDEN

CENTER LINE ℄

PROPERTY LINE

DIMENSION TO FACE OF FINISH 2"-0"

DIMENSION TO C.L. OF STUD 2"-0" ℄

DATUM LINE REF ELEV.

DOOR REF. SYMBOL 111.1

WINDOW REF. SYMBOL 222.2

COLOR SYMBOL 1

FLOOR SYMBOL 1

SECTION MARKER 1 A.05

ELEVATION MARKER 1 A.05

INTERIOR ELEVATION MARKER A B C D 1 A.05

PLAN DETAIL MARKER 1 A.05

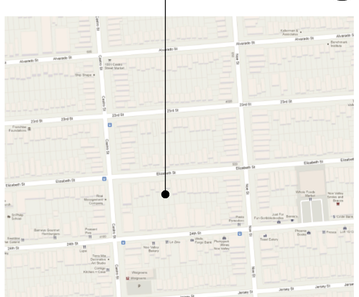
DETAIL MARKER 1 A.05

REVISION MARKER 1

## VICINITY MAP:

SITE:
553/553A ELIZABETH STREET
SAN FRANCISCO, CA 94114

N



## PROJECT DATA:

**CODES:**

2007 SAN FRANCISCO PLANNING CODE

2010 SAN FRANCISCO BUILDING CODE INCORPORATING 2010 CALIFORNIA BUILDING CODE - 2010 CALIFORNIA ELECTRICAL CODE - 2010 CALIFORNIA ENERGY CODE - 2010 CALIFORNIA FIRE CODE - 2010 CALIFORNIA MECHANICAL CODE - 2010 CALIFORNIA PLUMBING CODE & TO INCLUDE ALL LOCAL EQUIVALENCIES

**PROJECT ADDRESS:**

553/553A ELIZABETH STREET, SAN FRANCISCO, CA 94114

**BLOCK / LOT:**

3656 / 034

**PROJECT DESCRIPTION:**

SEE ALSO ENVIRONMENTAL EVALUATION APPLICATION 02.03.2013
NOTE: 553 & 553A TO BE ON SEPARATE PERMITS

REMOVE (E) UNWARRANTED DWELLING UNIT - REMOVE REAR PORTION OF (E) REAR COTTAGE STRUCTURE, ENLARGING REAR YARD TO 25'-0" - PHYSICALLY MERGE (E) COTTAGE STRUCTURE & (E) MAIN HOUSE STRUCTURE TOGETHER TO CREATE ONE STRUCTURE - BUILD REAR ADDITION AT GND, 1ST & 2ND FLOOR LEVELS & ADD (N) PARTIAL 3RD FLOOR. - REMOVE NON-HISTORICAL FEATURES FROM FRONT ELEVATION - MOVE & ENLARGE GARAGE DOOR OPENING, (N) DRIVEWAY & CURB-CUT IN MODIFIED LOCATION - FULL INTERIOR REMODEL INCLUDING ALL FIXTURES, FINISHES & SERVICES.

**ZONING:**

| | |
|---|---|
| ZONE: | RH-2 |
| HEIGHT/BULK | 40-X |
| LOT AREA: | 2,850 SQ. FT. |
| PRESERVATION STATUS: | B - POTENTIAL HISTORIC RESOURCE |

**OCCUPANCY GROUP:**

| | |
|---|---|
| OCCUPANCY: | GROUP R, DIVISION 3 |
| CONSTRUCTION TYPE: | (TABLE 5-B) TYPE V-B |

**PROPERTY DATA (APPROXIMATE):**

| | | |
|---|---|---|
| EXISTING GND FLOOR: | 1185 | SQ.FT. (UNCONDITIONED) |
| | 716 | SQ.FT. (CONDITIONED) |
| EXISTING 1ST FLOOR: | 14 | SQ.FT. (UNCONDITIONED) |
| | 1662 | SQ.FT. (CONDITIONED) |
| EXISTING 2ND FLOOR: | 000 | SQ.FT. (UNCONDITIONED) |
| | 817 | SQ.FT. (CONDITIONED) |
| EXISTING ATTIC: | 110 | SQ.FT. (UNCONDITIONED) |
| PER SFPC SEC.102.9.(a).(4) | 000 | SQ.FT. (CONDITIONED) |
| TOTAL EXISTING UNIT 553 | 2808 | SQ.FT. (CONDITIONED) |
| TOTAL EXISTING UNIT 553A | 796 | SQ.FT. (CONDITIONED) |
| TOTAL EXISTING: | 1309 | SQ.FT. (UNCONDITIONED) |
| | 3195 | SQ.FT. (CONDITIONED) |
| PROPOSED GND FLOOR: | 747 | SQ.FT. (UNCONDITIONED) |
| | 1059 | SQ.FT. (CONDITIONED) |
| PROPOSED 1ST FLOOR: | 000 | SQ.FT. (UNCONDITIONED) |
| | 1359 | SQ.FT. (CONDITIONED) |
| PROPOSED 2ND FLOOR: | 000 | SQ.FT. (UNCONDITIONED) |
| | 1375 | SQ.FT. (CONDITIONED) |
| PROPOSED 3RD FLOOR: | 000 | SQ.FT. (UNCONDITIONED) |
| | 804 | SQ.FT. (CONDITIONED) |
| TOTAL PROPOSED UNIT 1 | 918 | SQ.FT. (CONDITIONED) |
| TOTAL PROPOSED UNIT 2 | 747 | SQ.FT. (UNCONDITIONED) |
| | 3679 | SQ.FT. (CONDITIONED) |
| TOTAL PROPOSED: | 747 | SQ.FT. (UNCONDITIONED) |
| | 4597 | SQ.FT. (CONDITIONED) |

## DRAWING INDEX:


**ARCHITECTURAL:**

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|---|---|---|
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| 03 | A0.02 | SITE PLAN - EXISTING |
| 04 | A0.03 | SITE PLAN - PROPOSED |
| 05 | A0.04 | PERSPECTIVE RENDERINGS - PROPOSED |
| 06 | A0.05 | DEMOLITION CALCULATIONS - PROPOSED |
| 07 | A0.06 | FIRE HYDRANT LOCATIONS & WATER FLOW - EXISTING |
| 08 | A1.01 | 1ST FLOOR PLAN - EXISTING |
| 09 | A1.02 | 2ND FLOOR PLAN - EXISTING |
| 10 | A1.03 | 3RD FLOOR PLAN - EXISTING |
| 11 | A1.04 | 1ST FLOOR PLAN - PROPOSED |
| 12 | A1.05 | 2ND FLOOR PLAN - PROPOSED |
| 13 | A1.06 | 3RD FLOOR PLAN - PROPOSED |
| 14 | A1.07 | 4TH FLOOR PLAN - PROPOSED |
| 15 | A3.01 | EXTERIOR ELEVATIONS 1 - FRONT (NORTH) - EXISTING |
| 16 | A3.02 | EXTERIOR ELEVATIONS 2 - REAR (SOUTH) - EXISTING |
| 17 | A3.03 | EXTERIOR ELEVATIONS 3 - SIDE (EAST) - EXISTING |
| 18 | A3.04 | EXTERIOR ELEVATIONS 4 - SIDE (WEST) - EXISTING |
| 19 | A3.05 | EXTERIOR ELEVATIONS 1 - FRONT (NORTH) - PROPOSED |
| 20 | A3.06 | EXTERIOR ELEVATIONS 2 - REAR (SOUTH) - PROPOSED |
| 21 | A3.07 | EXTERIOR ELEVATIONS 3 - SIDE (EAST) - PROPOSED |
| 22 | A3.08 | EXTERIOR ELEVATIONS 4 - SIDE (WEST) - PROPOSED |

**LAND SURVEY:**

01 1 OF 1 SITE SURVEY - EXISTING

**STRUCTURAL ENGINEERING:**

- - -
- - -
- - -


## ISSUE SCHEDULE:

| DATE: | ISSUE: |
|---|---|
| 03.01.2013 | ENVIRONMENTAL EVALUATION APPLICATION |
| 03.19.2013 | 311 NEIGHBORHOOD OUTREACH |
| 04.02.2013 | PROJECT REVIEW MEETING |
| 04.23.2013 | 311/SITE PERMIT APPLICATION |
| 05.03.2013 | 311/SITE PERMIT REV.1 SUBMITTAL |
| 05.23.2013 | VARIANCE SUBMITTAL |
| 10.01.2013 | 311/SITE PERMIT REV.2 SUBMITTAL |

## PROJECT PARTICIPANTS:


**OWNERS:**
553 ELIZABETH LLC
1025 ALAMEDA, #401
BELMONT, CA 94002

**ARCHITECT:**
JOHN LUM ARCHITECTURE, INC.
3246 17TH STREET
SAN FRANCISCO, CA 94110
t. (415) 558 9550

PROJECT MANAGER - JAMES BARKER

**LAND SURVEYOR**
LANGFORD LAND SURVEYING
424 PRESTON COURT
SAN FRNACISCO, CA 94551
t. (510) 530 5200

PROJECT MANAGER - RICH LANGFORD

**STRUCTURAL ENGINEER:**
T.B.D.

**ENERGY CONSULTANT:**
T.B.D.

**GENERAL CONTRACTOR**
T.B.D.



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554


10.31.13.

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

553/553A ELIZABETH ST RESIDENCE REMODEL
553/553A ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
| 03.19.2013 | 311 neighborhood outreach | jb |
| 04.02.2013 | project review meeting | jb |
| 04.23.2013 | 311/site permit submittal | jb |
| 05.03.2013 | 311/site permit rev.1 submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.01.2013 | 311/site permit rev.2 submittal | jb |
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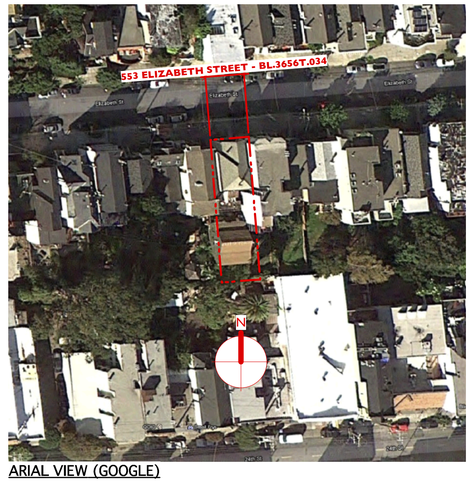
project name : 553/553A elizabeth residence
project number : -
scale : nts

PROJECT TITLE SHEET

A0.00

file location :
plot date :
file name :

STREET ELEVATION (GOOGLE)




ARIAL VIEW (GOOGLE)

PROPERTY-LINE LIGHTWELL AT ADJOINING PROPERTY TO EAST

REAR UNIT FRONT ELEVATION

REAR ELEVATION AT ADJOINING PROPERTY TO WEST

PROPERTY-LINE WINDOWS AT ADJOINING PROPERTY TO WEST

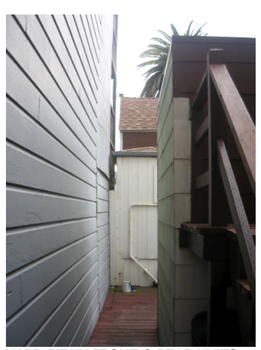
PROPERTY-LINE WINDOWS AT ADJOINING PROPERTY TO EAST

REAR ELEVATION SUBJECT PROPERTY

REAR ELEVATION SUBJECT PROPERTY

PROPERTY-LINE WALL AT ADJOINING PROPERTY TO EAST

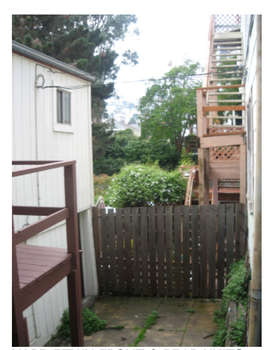
REAR DECKS AT ADJOINING PROPERTY TO EAST



YARD BTWN FRONT & REAR UNITS ADJOINING PROPERTY TO EAST

YARD BTWN FRONT & REAR UNITS ADJOINING PROPERTY TO EAST

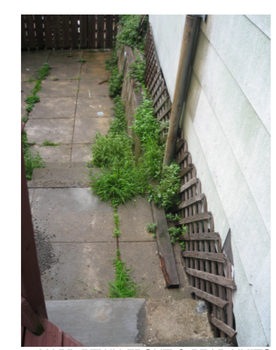
YARD BTWN FRONT & REAR UNITS REAR UNIT FRONT ELEVATION



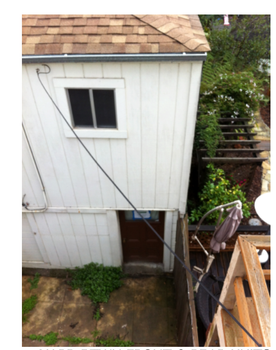
YARD BTWN FRONT & REAR UNITS REAR UNIT FRONT ELEVATION

YARD BTWN FRONT & REAR UNITS FRONT UNIT REAR ELEVATION

YARD BTWN FRONT & REAR UNITS REAR UNIT FRONT ELEVATION



YARD BTWN FRONT & REAR UNITS FRONT UNIT REAR ELEVATION



YARD BTWN FRONT & REAR UNITS REAR UNIT FRONT ELEVATION


JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554


10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
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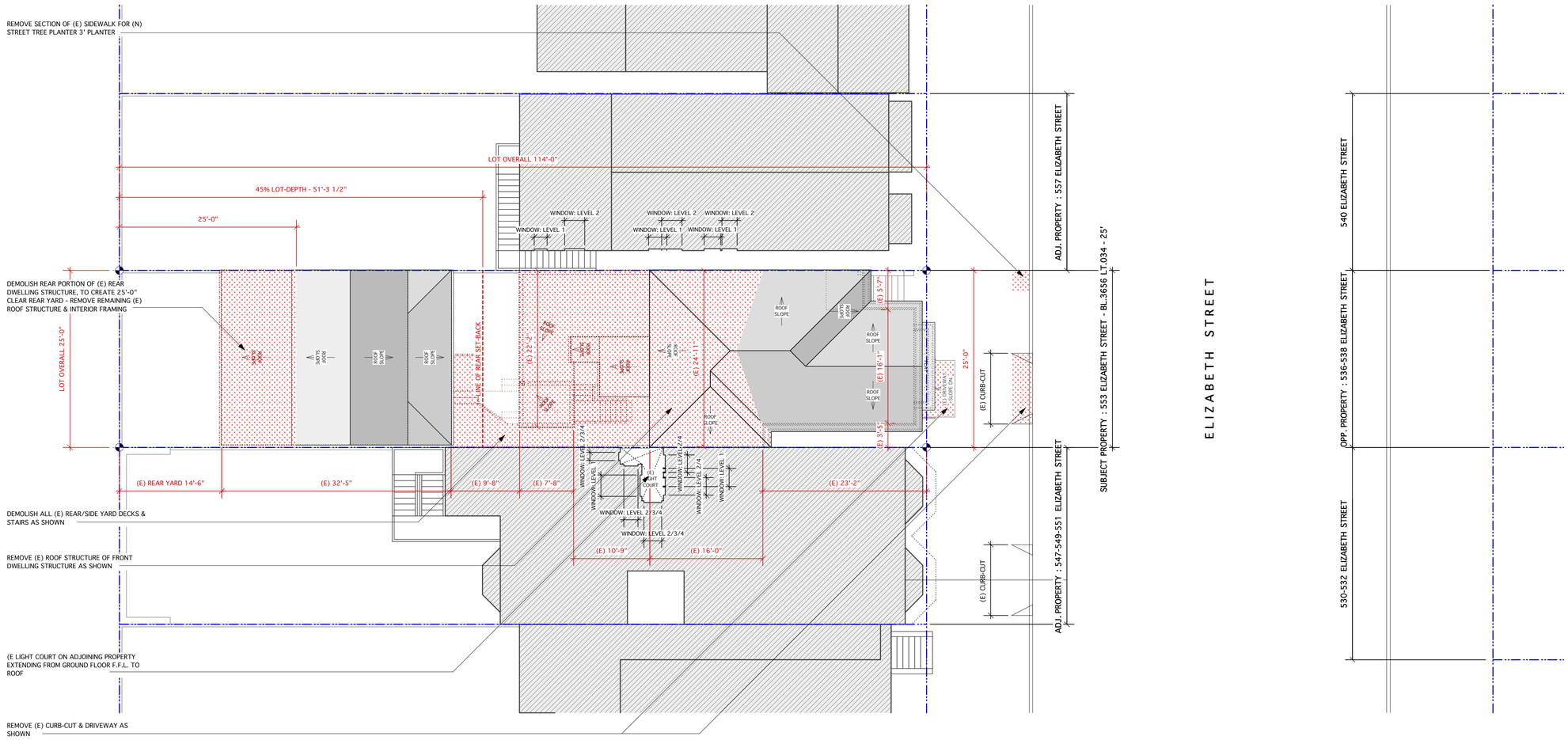
project name : 553 elizabeth residence
project number : -
scale : nts

SITE PHOTOGRAPHS - EXISTING

A0.01

file location :
plot date :
file name :




1 A0.02 SITE PLAN - EXISTING
Scale: 1/8" = 1'-0"

FT30 25 20 15 10 5 0


JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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10.31.13.

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client :

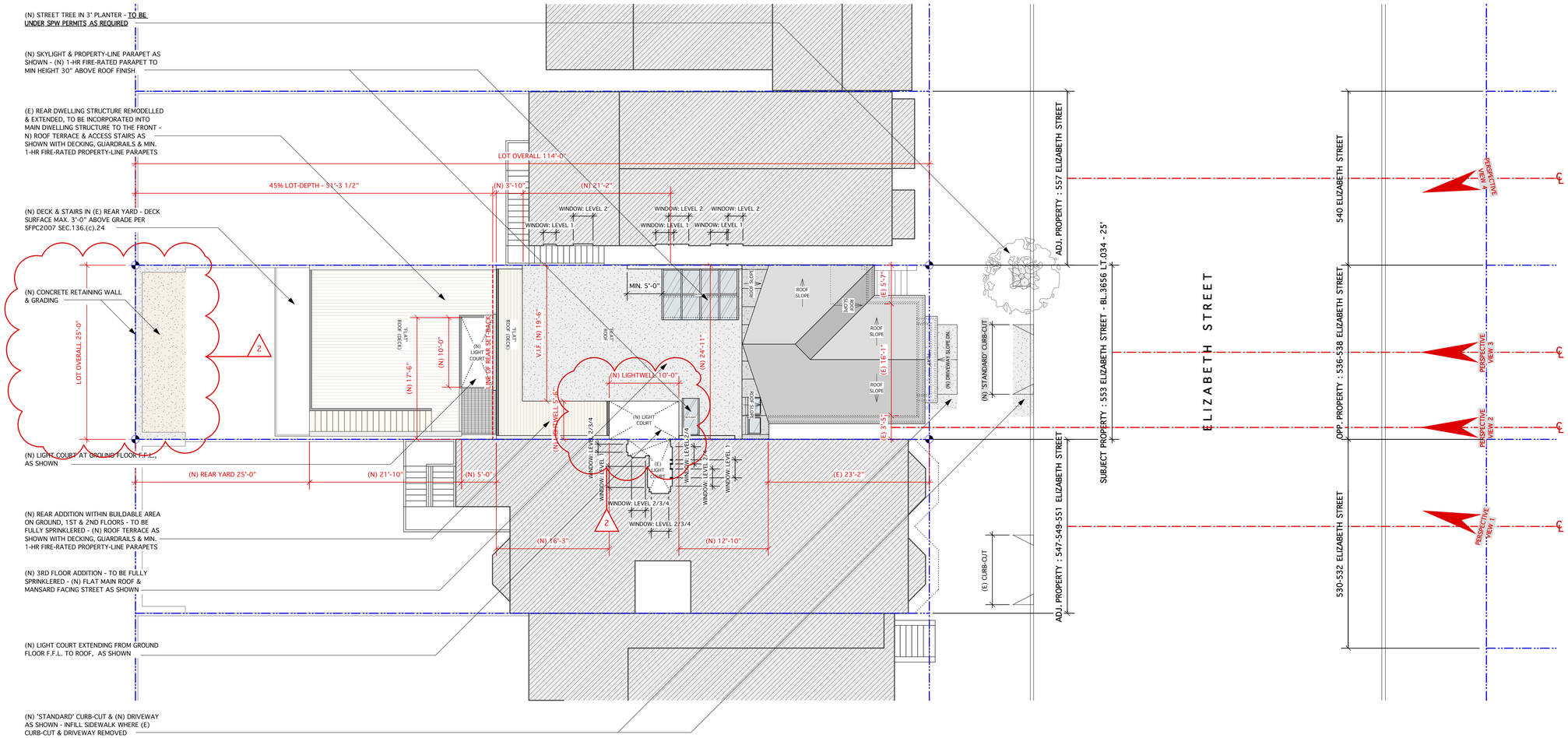
| | | |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.01.2013 | 311/site permit rev.2 submittal | jlb |

project name : 553 elizabeth residence
project number : -
scale : 1/8" = 1'-0"

SITE PLAN - EXISTING

A0.02

file location :
plot date :
file name :




1 A0.03 SITE PLAN - PROPOSED
Scale: 1/8" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client : 553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
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| 10.01.2013 | 311/site permit rev.2 submittal | jlb |
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project name : 553 elizabeth residence
project number : -
scale : 1/8" = 1'-0"

SITE PLAN - PROPOSED

A0.03

file location :
plot date :
file name :

1 A0.04 PERSPECTIVE RENDERING - VIEW 1 - PROPOSED
N.T.S.

PERSPECTIVE RENDERING - VIEW 2 - PROPOSED 2 A0.04
N.T.S.

3 A0.04 PERSPECTIVE RENDERING - VIEW 3 - PROPOSED
N.T.S.

PERSPECTIVE RENDERING - VIEW 4 - PROPOSED 4 A0.04
N.T.S.


JOHN LUM ARCHITECTURE INC.
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TEL 415 558 9550 FAX 415 558 0554


10.31.13.

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

| | | |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.01.2013 | 311/site permit rev.2 submittal | jlb |
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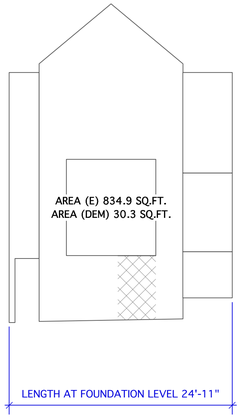
| - | - | - |

project name : 553 elizabeth residence
project number : -
scale : nts

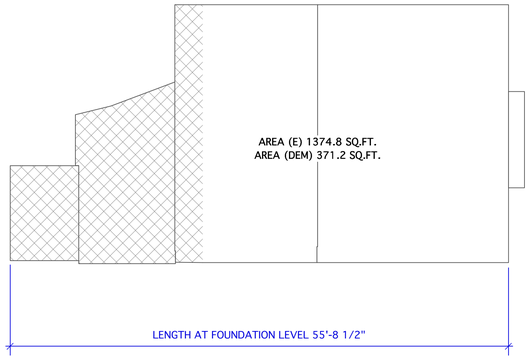
PERSPECTIVE VIEWS - PROPOSED

A0.04

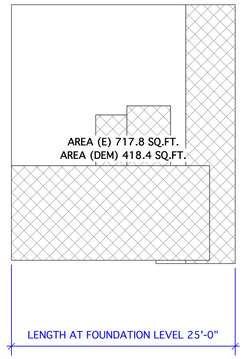
file location :
plot date :
file name :



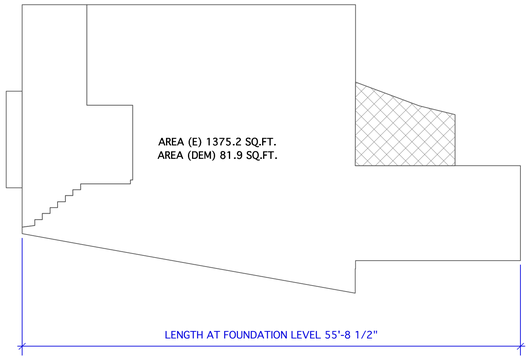

553A ELIZABETH ST (FRONT UNIT)
FRONT (NORTH) ELEVATION




553A ELIZABETH ST (FRONT UNIT)
SIDE (EAST) ELEVATION




(FRONT UNIT) 553A ELIZABETH ST
REAR (SOUTH) ELEVATION




(FRONT UNIT) 553A ELIZABETH ST
SIDE (WEST) ELEVATION

VERTICAL/HORIZONTAL ENVELOPE ELEMENTS (TO BE REMOVED)

VERTICAL/HORIZONTAL ENVELOPE ELEMENTS (TO BE RETAINED)

## 553 ELIZABETH ST (FRONT UNIT)

## SF PLANNING CODE SECTION 317 - DEMOLITION CALCULATIONS

CALCULATION A: - SFPC2007 SEC.317.(b).(2).(A) - DEPT. OF BUILDING INSPECTION

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| A1 - EXTERIOR WALLS SQUARE FEET SURFACE AREA (REQ. <50%) | 4302.7 sq.ft. | 901.8 sq.ft. | 21.0% |
| AND | | | |
| A2 - INTERIOR WALLS SQUARE FEET SURFACE AREA (REQ. <66%) | 2374.1 sq.ft. | 2090.1 sq.ft. | 88.0% |

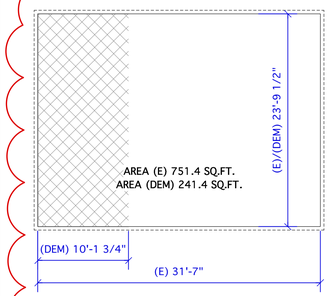
CALCULATION B: - SFPC2007 SEC.317.(b).(2).(B) - PLANNING DEPT.

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| B1 - FRONT & REAR FACADE LINEAR FEET @ FOUNDATION (REQ. <50%) | 49'-11" | 31'-10" | 63.8% |
| AND | | | |
| B2 - ALL EXTERIOR WALLS LINEAR FEET @ FOUNDATION (REQ. <65%) | 161'-4" | 53'-5" | 33.1% |

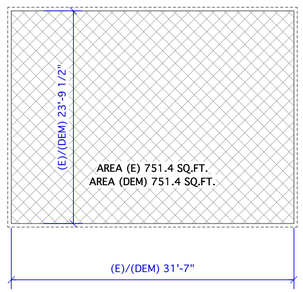
CALCULATION C: - SFPC2007 SEC.317.(b).(2).(C) - PLANNING DEPT.

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| C1 - VERTICAL ENVELOPE ELEMENTS SQUARE FEET SURFACE AREA (REQ. <50%) | 4302.7 sq.ft. | 901.8 sq.ft. | 21.0% |
| AND | | | |
| C2 - HORIZONTAL ELEMENTS SQUARE FEET SURFACE AREA (REQ. <50%) | 3978.6 sq.ft. | 2014.2 sq.ft. | 50.6% |

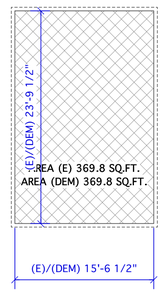
3



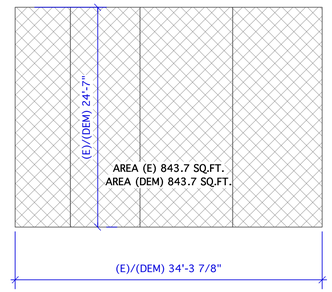

553A ELIZABETH ST (REAR UNIT)
BASEMENT LEVEL PLAN (SLAB)




553A ELIZABETH ST (REAR UNIT)
1ST FLOOR LEVEL PLAN (FRAMING)

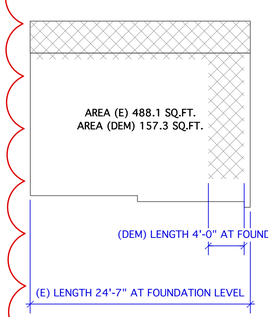



553A ELIZABETH ST (REAR UNIT)
1ST FLOOR CEILING LEVEL PLAN (FRAMING)

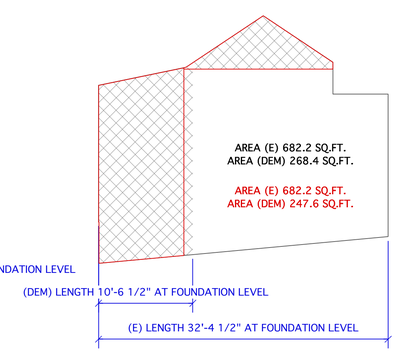



553A ELIZABETH ST (REAR UNIT)
ROOF LEVEL LEVEL PLAN (FRAMING - SHOWN FLATTENED)

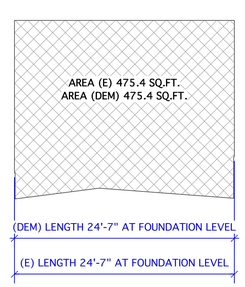
TOTAL AREA (E) 2716.3 SQ.FT.
TOTAL AREA (DEM) 2206.3 SQ.FT.



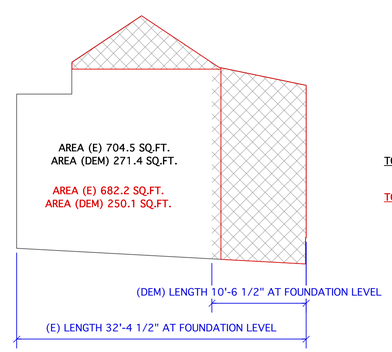

553A ELIZABETH ST (REAR UNIT)
FRONT (NORTH) ELEVATION




553A ELIZABETH ST (REAR UNIT)
SIDE (EAST) ELEVATION




(REAR UNIT) 553A ELIZABETH ST
REAR (SOUTH) ELEVATION




(REAR UNIT) 553A ELIZABETH ST
SIDE (WEST) ELEVATION

TOTAL AREA (E) 2350.6 SQ.FT.
TOTAL AREA (DEM) 1172.5 SQ.FT.

TOTAL AREA (E) 2350.6 SQ.FT.
TOTAL AREA (DEM) 1130.4 SQ.FT.
48.1%

FNT/REAR DEMOLISHED 28'-7"
TOTAL DEMOLISHED 49'-8"

TOTAL EXISTING 113'-11"

## 553A ELIZABETH ST (REAR UNIT)

## SF PLANNING CODE SECTION 317 - DEMOLITION CALCULATIONS

CALCULATION A: - SFPC2007 SEC.317.(b).(2).(A) - DEPT. OF BUILDING INSPECTION

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| A1 - EXTERIOR WALLS SQUARE FEET SURFACE AREA (REQ. <50%) | 2350.2sq.ft. | 1172.2 sq.ft. | 49.9% |
| AND | | | |
| A2 - INTERIOR WALLS SQUARE FEET SURFACE AREA (REQ. <66%) | 1048.0 sq.ft. | 1048.0 sq.ft. | 100% |

CALCULATION B: - SFPC2007 SEC.317.(b).(2).(B) - PLANNING DEPT.

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| B1 - FRONT & REAR FACADE LINEAR FEET @ FOUNDATION (REQ. <50%) | 49'-2" | 28'-7" | 58.1% |
| AND | | | |
| B2 - ALL EXTERIOR WALLS LINEAR FEET @ FOUNDATION (REQ. <65%) | 113'-11" | 49'-8" | 43.6% |

CALCULATION C: - SFPC2007 SEC.317.(b).(2).(C) - PLANNING DEPT.

| | EXISTING | DEMO | % DEMO |
|---|---|---|---|
| C1 - VERTICAL ENVELOPE ELEMENTS SQUARE FEET SURFACE AREA (REQ. <50%) | 2350.2 sq.ft. | 1172.5 sq.ft. | 49.9% |
| AND | | | |
| C2 - HORIZONTAL ELEMENTS SQUARE FEET SURFACE AREA (REQ. <50%) | 2716.3 sq.ft. | 2206.3 sq.ft. | 81.2% |


JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554


10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

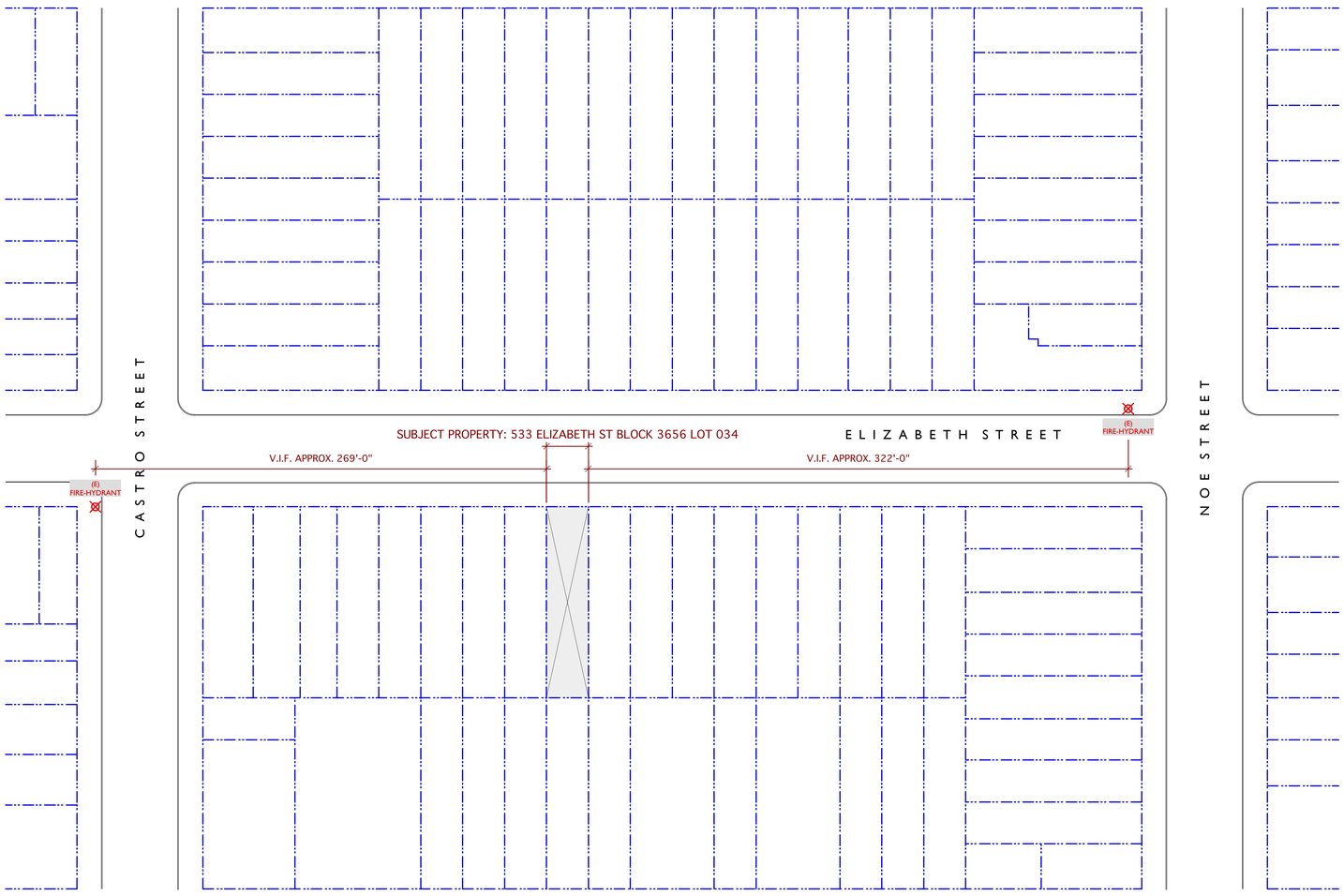
| date : | issues/ revisions : | by : |
|---|---|---|
| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.01.2013 | 311/site permit rev.2 submittal | jb |
| 10.18.2013 | 311/site permit rev.3 submittal | jb |

project name : 553 elizabeth residence
project number : -
scale : nts

DEMOLITION CALCULATIONS - PROPOSED

A0.05

file location :
plot date :
file name :




1 A0.06 BLOCK PLAN - FIRE-HYDRANT LOCATIONS - EXISTING
Scale: 1" = 40 ft

9/1/13

SAN FRANCISCO FIRE DEPARTMENT
BUREAU OF FIRE PREVENTION
PLAN CHECK DIVISION/WATER FLOW
1660 MISSION STREET, 4TH FLOOR
SAN FRANCISCO, CA. 94103
FAX # 415-575-6933

## REQUEST FOR WATER FLOW INFORMATION

E-MAILED 9-16-13 RB

DATE: 9/10/13 REQUEST IS FOR: ☐ FIRE FLOW ☒ SPRINKLER DESIGN

CONTACT PERSON: Irene Velasquez ADDRESS: 1025 Alameda #401, Belmont CA 94002

PHONE NO. (415) 999 / 6189 FAX NO. ( ) /

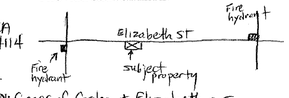
EMAIL: irene@shmodern.com

OWNER'S NAME: 553 Elizabeth LLC PHONE # (415) 999 / 6189

ADDRESS FOR WATER FLOW INFORMATION: 553 Elizabeth St, San Francisco, CA 94114

CROSS STREETS (*BOTH ARE REQUIRED*): Castro / Noe

PROVIDE SKETCH HERE:




SPECIFY STREET FOR POINT OF CONNECTION: Corner of Castro & Elizabeth or Corner of Noe & Elizabeth

OCCUPANCY (CIRCLE ONE): R3 R2 LIVE/WORK COMMERCIAL OTHER

HAZARD CLASSIFICATION: LIGHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER

CAR-STACKER: YES NO

NUMBER OF STORIES: 4 HEIGHT OF BLDG.: 36 FT.

SUBMIT FORM WITH A **$115.00** CHECK MADE PAYABLE TO 'S.F.F.D.'
REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN ADDITIONAL FEE OF **$230.00** WILL BE NECESSARY.
WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL.
INCOMPLETE FORMS **WILL NOT** BE PROCESSED.
PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

**********Official use only**********

Flow data provided by: R. BROWN Date Forwarded 9-16-13

Flow data: **FIELD FLOW TEST** ____ **STATIC** 60 **PSI**
**RECORDS ANALYSIS** X **RESIDUAL** 54 **PSI**
**FLOW** 800 **GPM**

**Gate Page** 101/102 6 " **MAIN on** ELIZABETH ST.

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR BROWN @ 415-558-6114

WATER-FLOW REPORT 2 A0.06
Scale: 1" = 40 ft

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client : 553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 10.01.2013 | 311/site permit rev.2 submittal | jb |

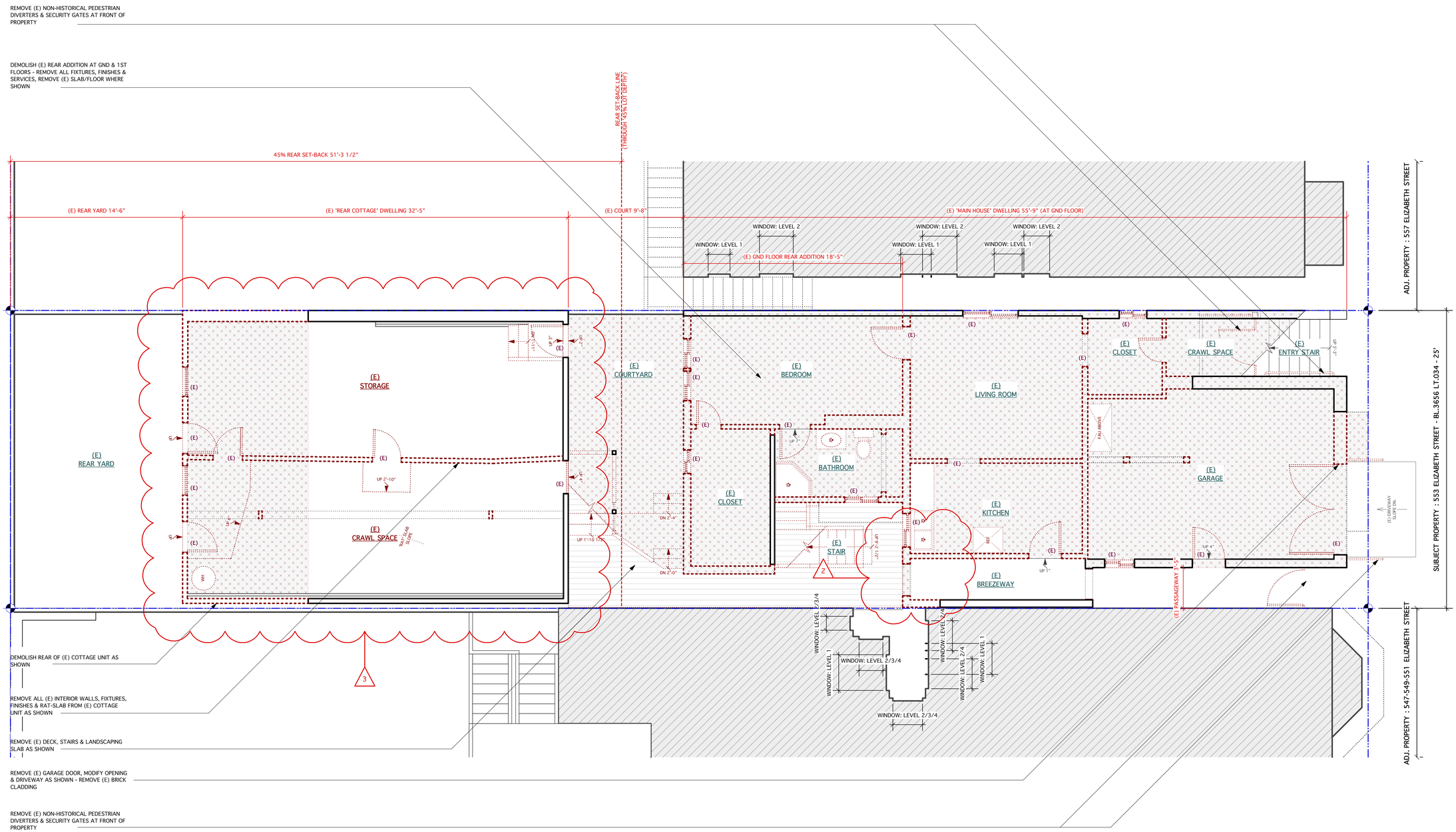
project name : 553 elizabeth residence
project number : -
scale : nts

2

FIRE HYDRANT BLOCK PLAN & FLOW TEST REPORT

A0.06

file location :
plot date :
file name :




1 A1.01 BASEMENT FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

FT30 25 20 15 10 5 0

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
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| 03.19.2013 | 311 neighborhood outreach | jb |
| 04.02.2013 | project review meeting | jb |
| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |
| 10.18.2013 | 311/site permit rev.3 submittal | jb |
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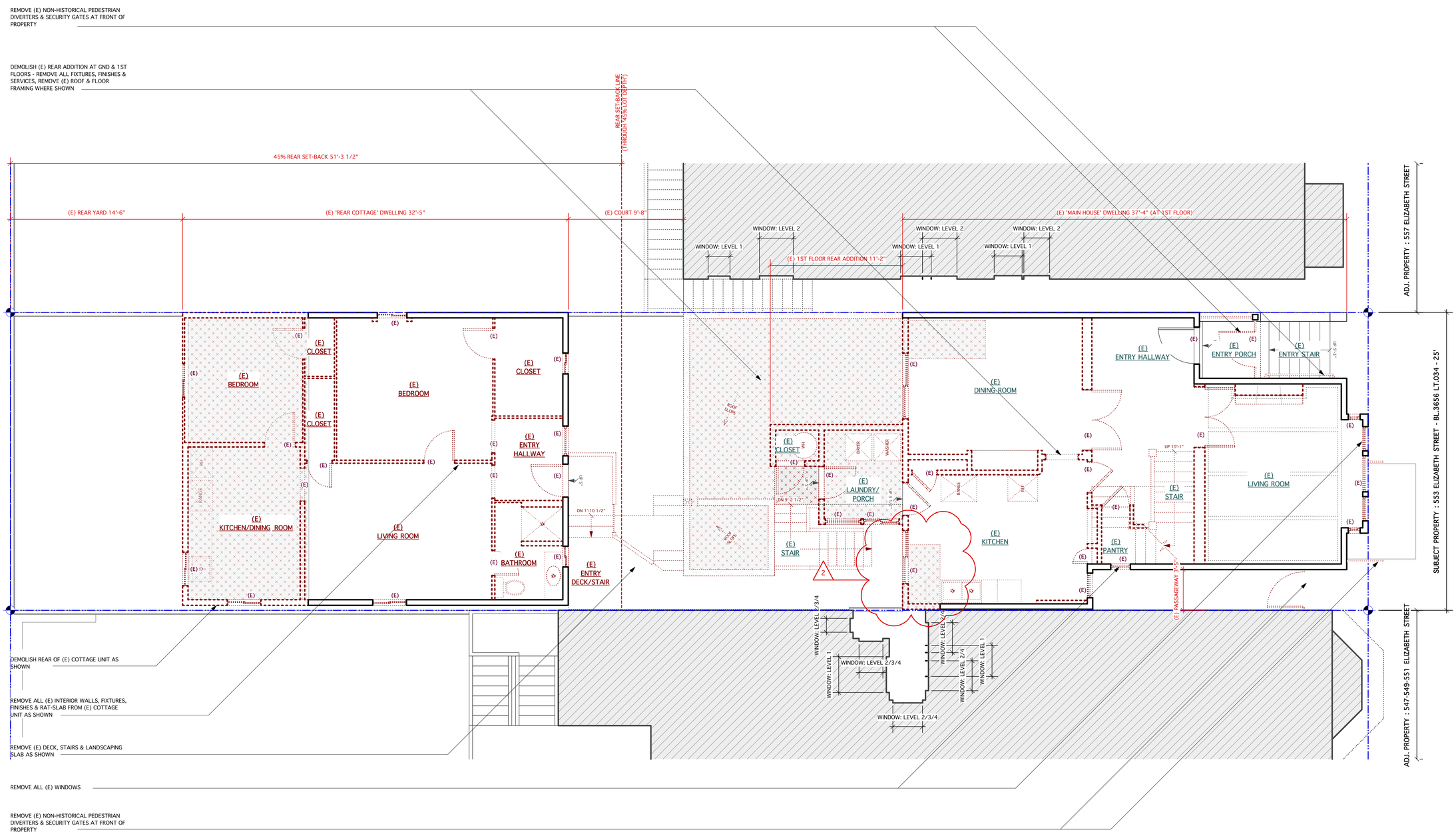
| - | - | - |

project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

BASEMENT FLOOR PLAN - EXISTING

A1.01

file location :
plot date :
file name :




1 A1.02 1ST FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

FT30 25 20 15 10 5 0


JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

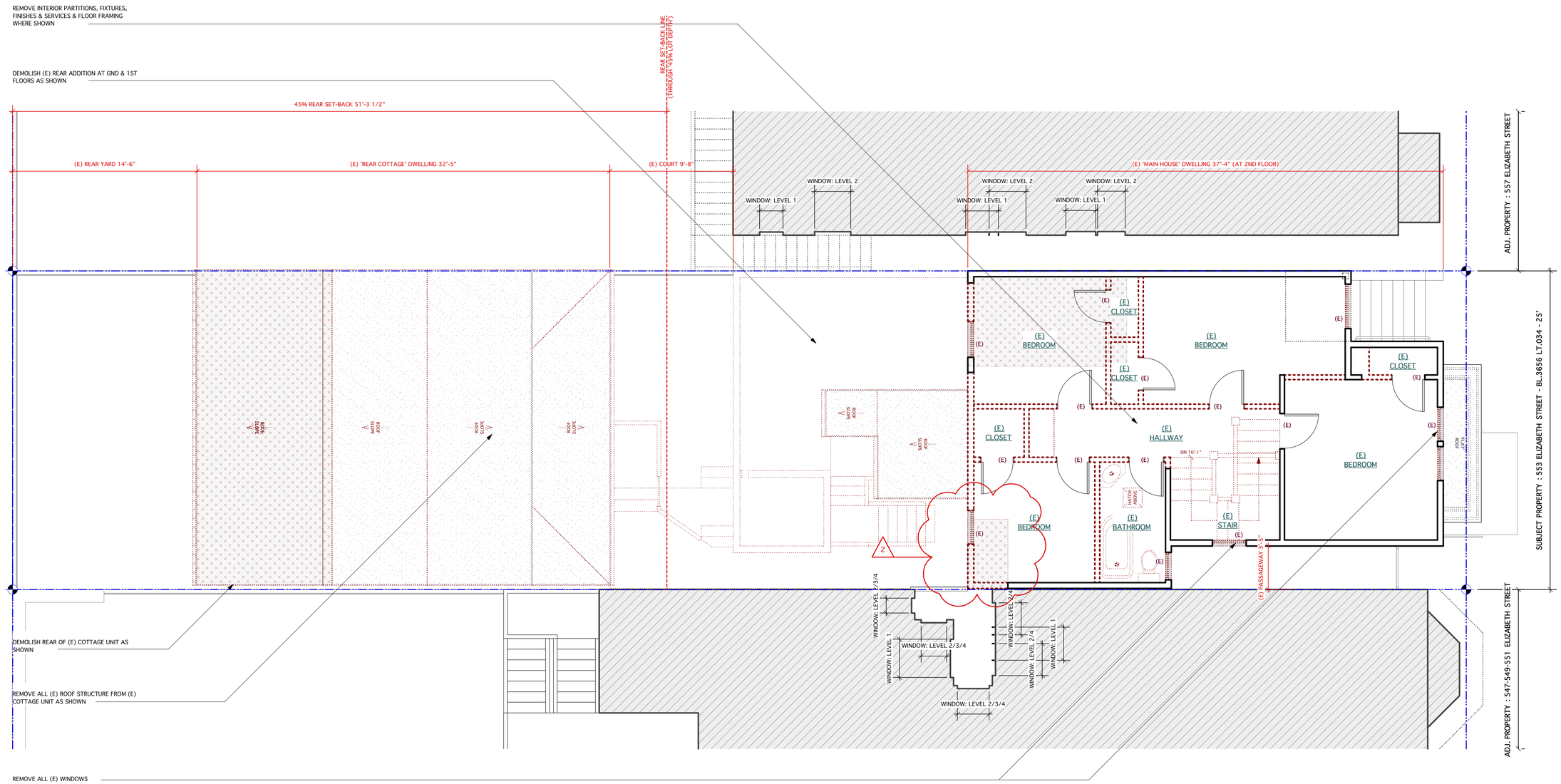
| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
| 03.19.2013 | 311 neighborhood outreach | jb |
| 04.02.2013 | project review meeting | jb |
| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |

project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## 1ST FLOOR PLAN - EXISTING

A1.02

file location :
plot date :
file name :




1 A1.03 2ND FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

FT30 25 20 15 10 5 0

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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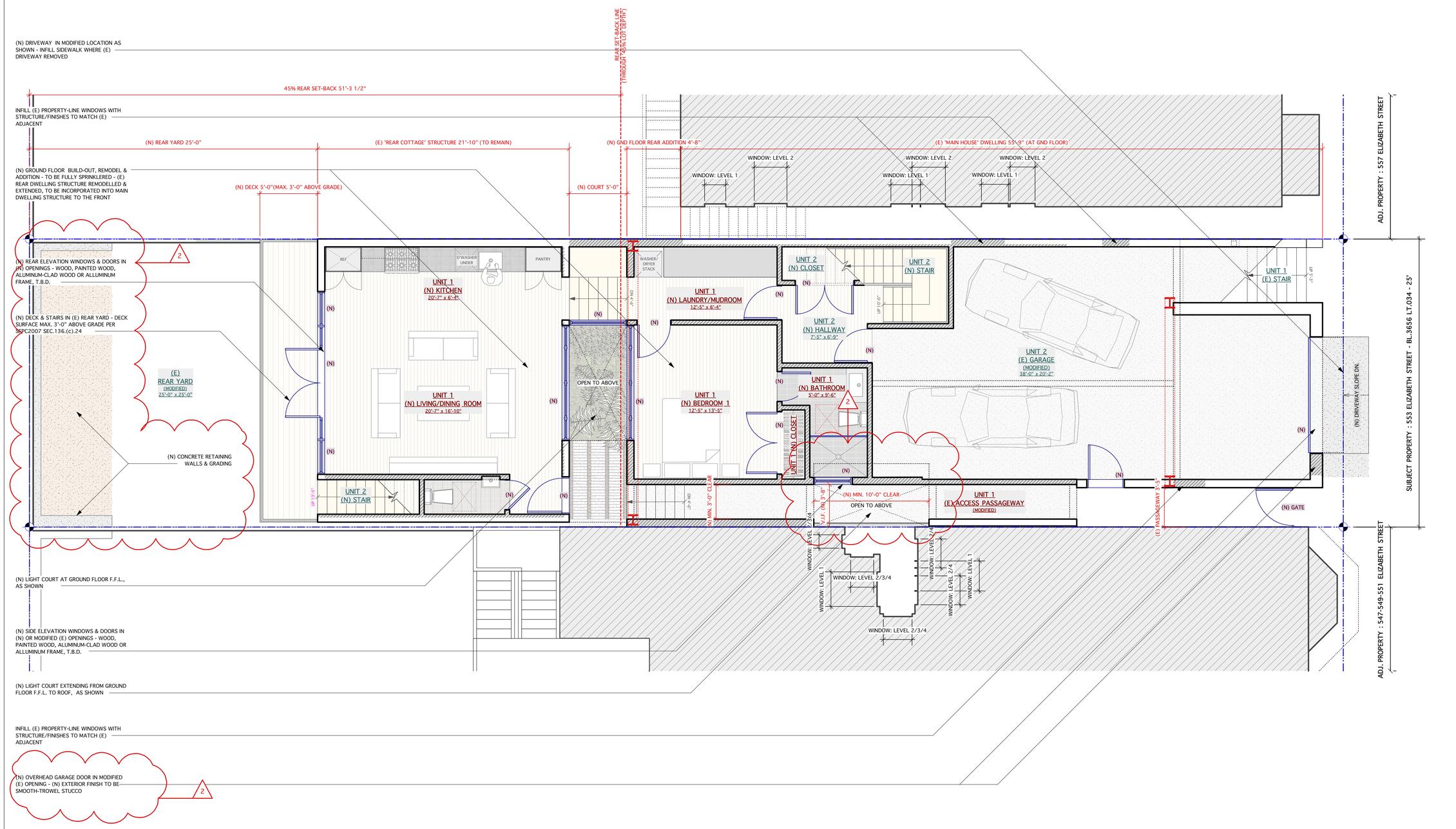
| - | - | - |
| - | - | - |

project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## 2ND FLOOR PLAN - EXISTING

A1.03

file location :
plot date :
file name :




1 A1.04 BASEMENT FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

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client :
553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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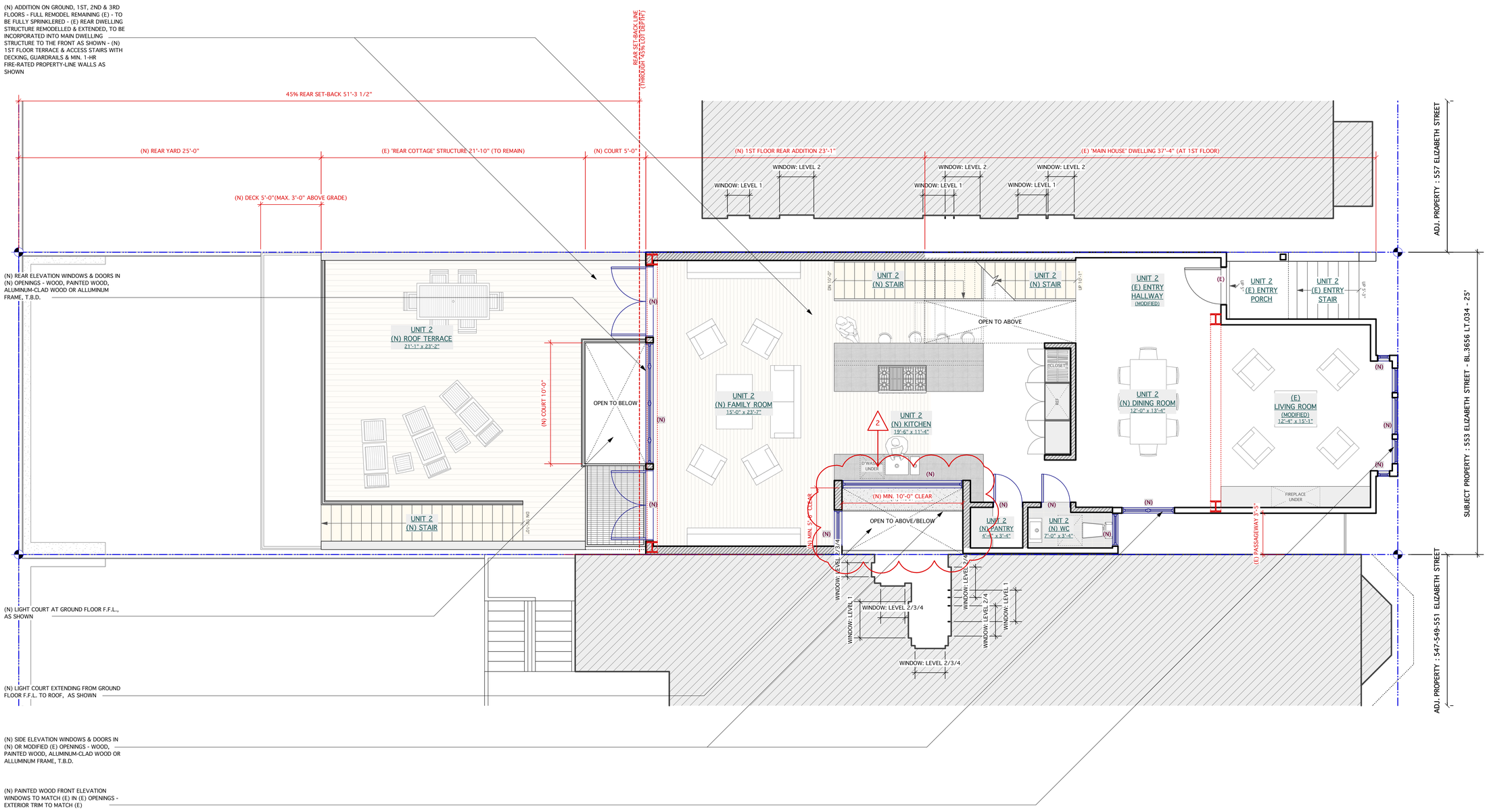
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

BASEMENT FLOOR PLAN - PROPOSED

A1.04

file location :
plot date :
file name :




1 A1.05 1ST FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlj |
| 03.19.2013 | 311 neighborhood outreach | jlj |
| 04.02.2013 | project review meeting | jlj |
| 04.12.2013 | 311/site permit submittal | jlj |
| 05.23.2013 | variance submittal | jlj |
| 10.03.2013 | 311/site permit rev.2 submittal | jlj |
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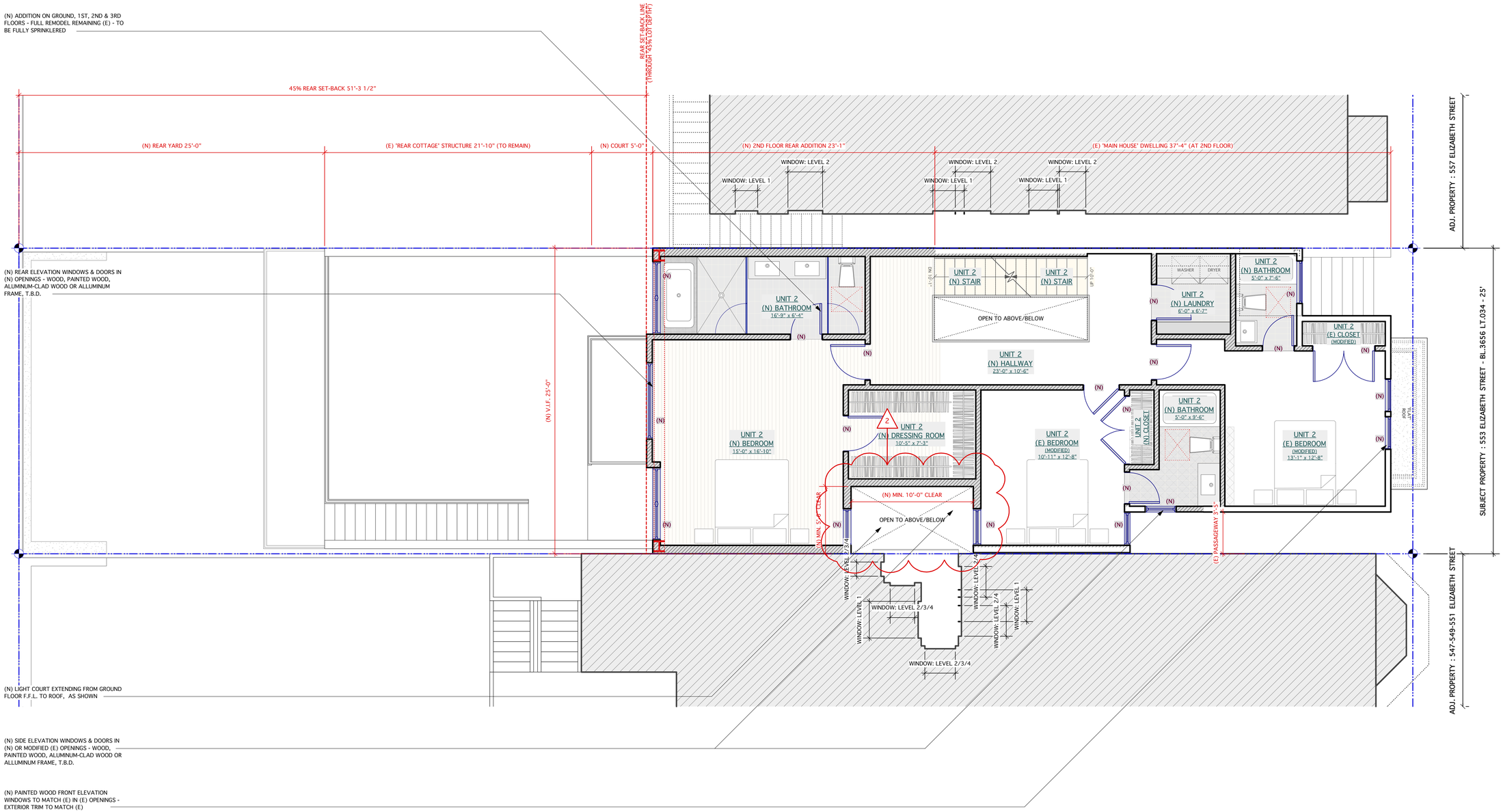
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## 1ST FLOOR PLAN - PROPOSED

A1.05

file location :
plot date :
file name :




1 A1.06 2ND FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

FT30 25 20 15 10 5 0

file location :

plot date :
file name :

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.10.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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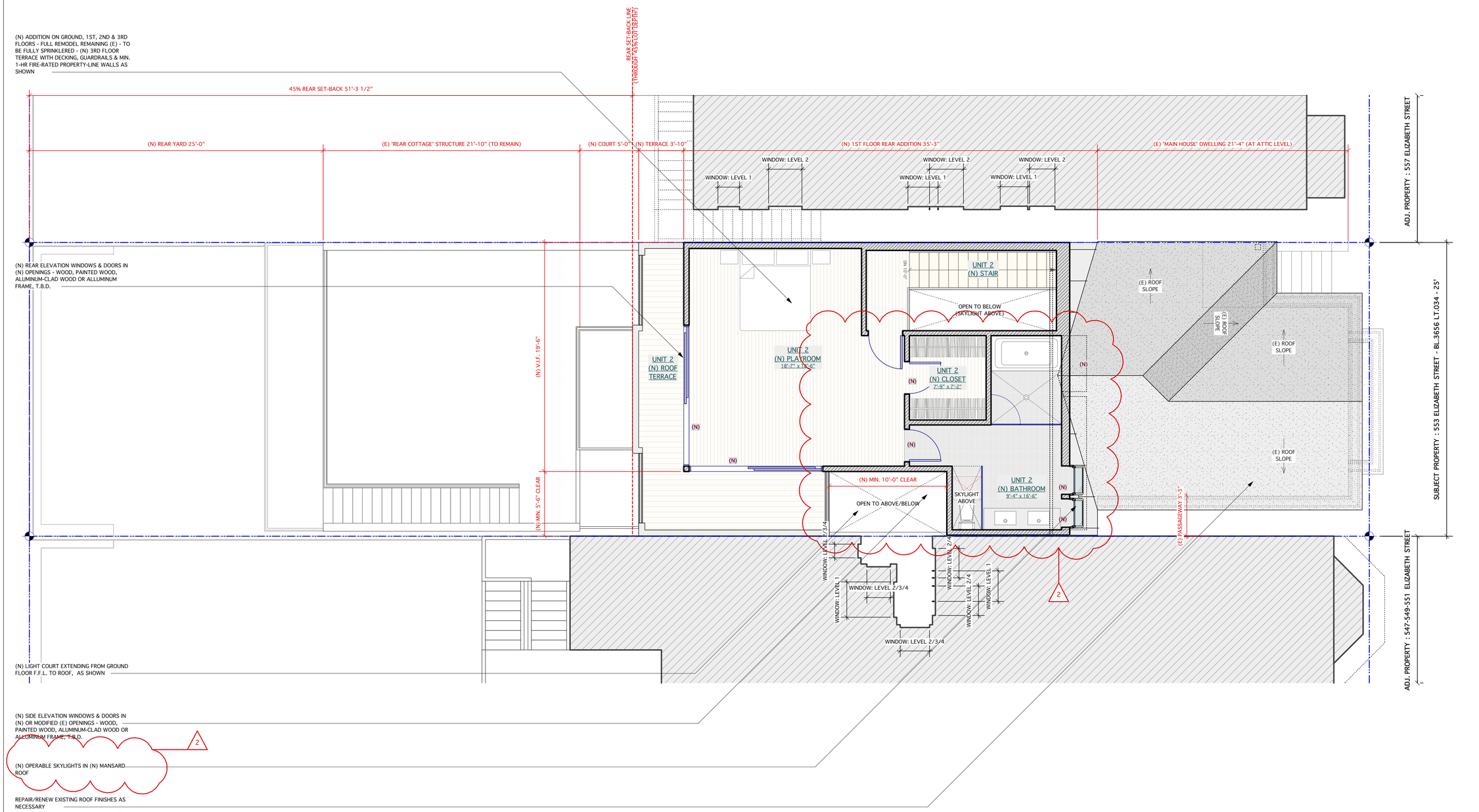
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

2ND FLOOR PLAN - PROPOSED

A1.06




1 A1.07 3RD FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

FT30 25 20 15 10 5 0

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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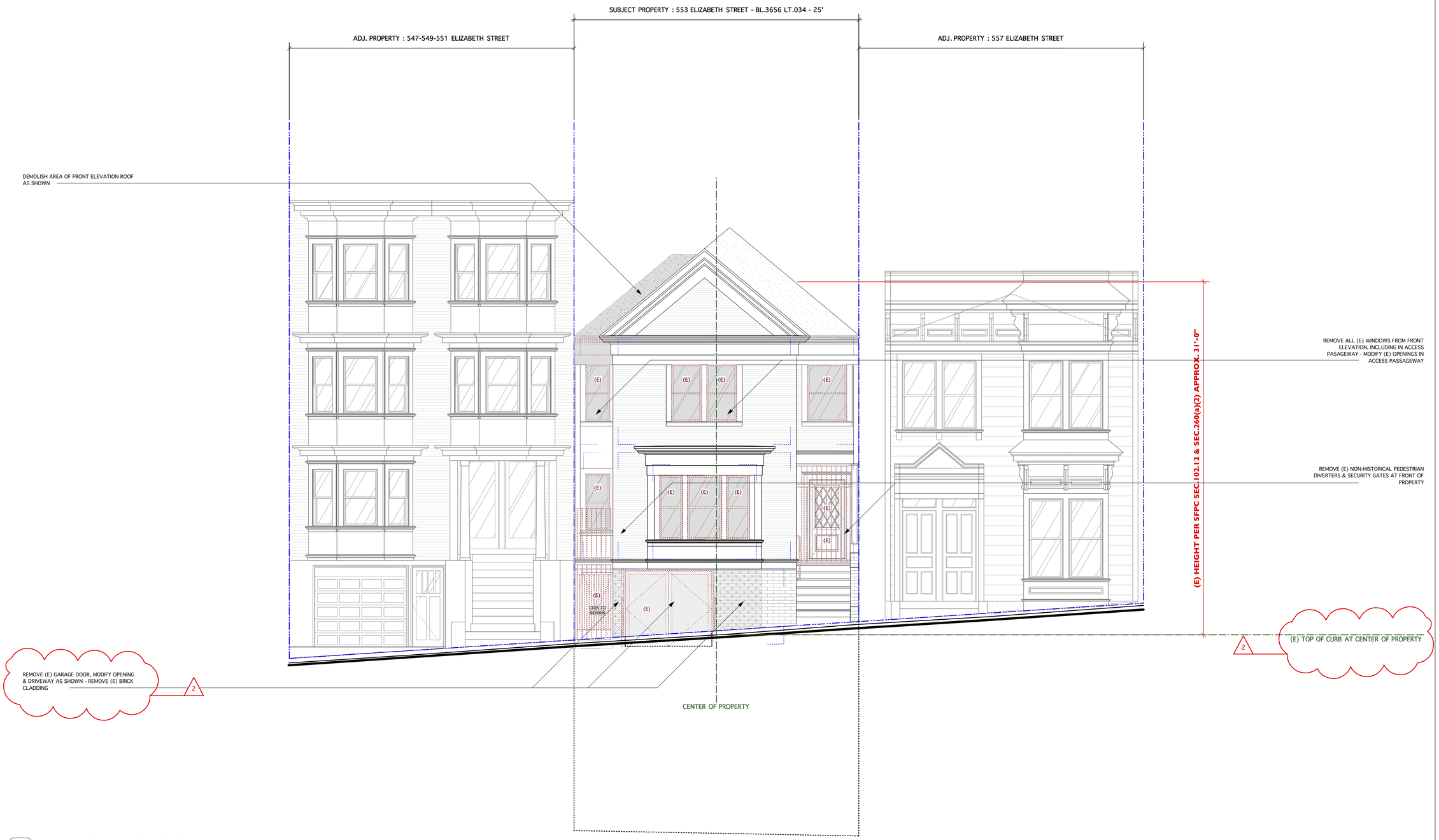
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## 3RD FLOOR PLAN - PROPOSED

A1.07

file location :
plot date :
file name :




1 / A3.01 FRONT (NORTH) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
| 03.19.2013 | 311 neighborhood outreach | jb |
| 04.02.2013 | project review meeting | jb |
| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |
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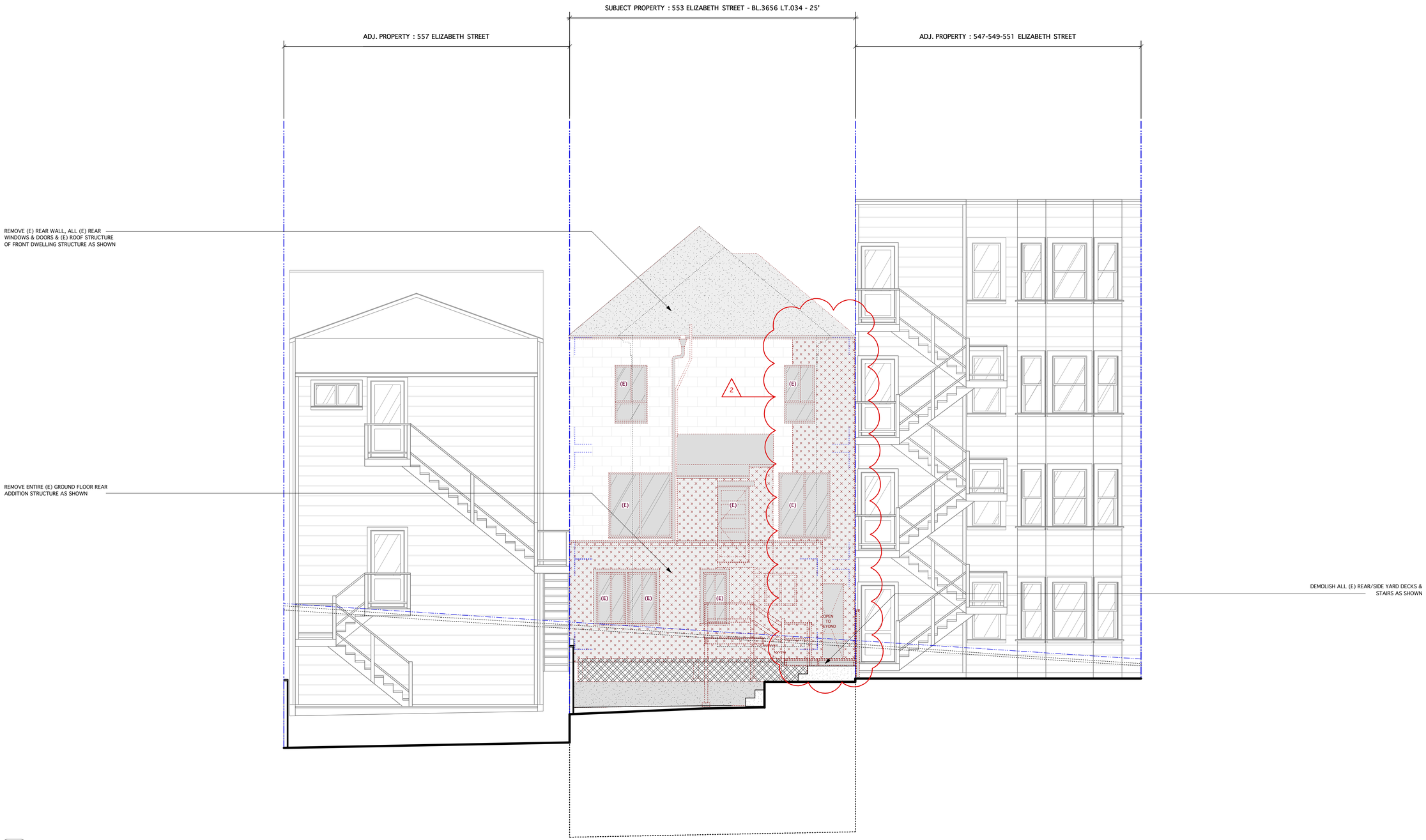
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## ELEVATIONS 1 - FRONT - EXISTING

A3.01

file location :
plot date :
file name :




1 A3.02 REAR (SOUTH) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

client :

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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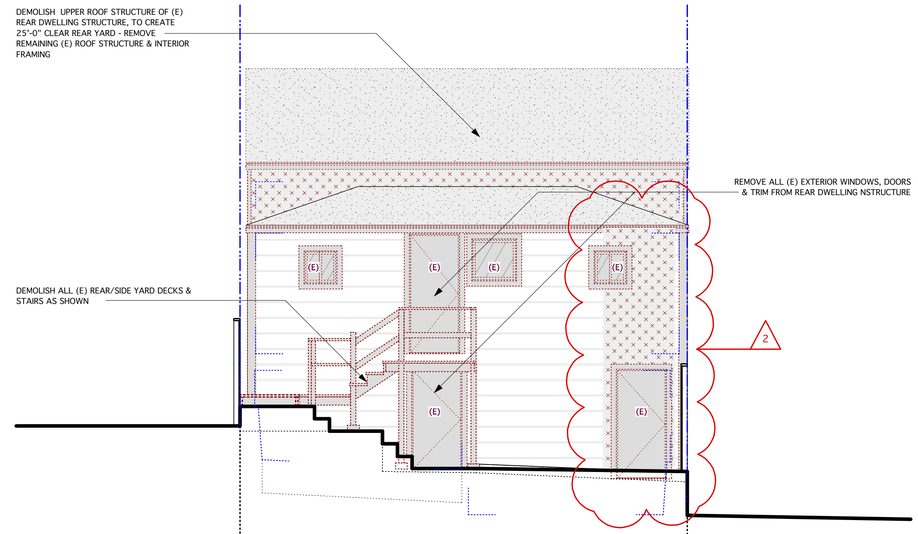
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

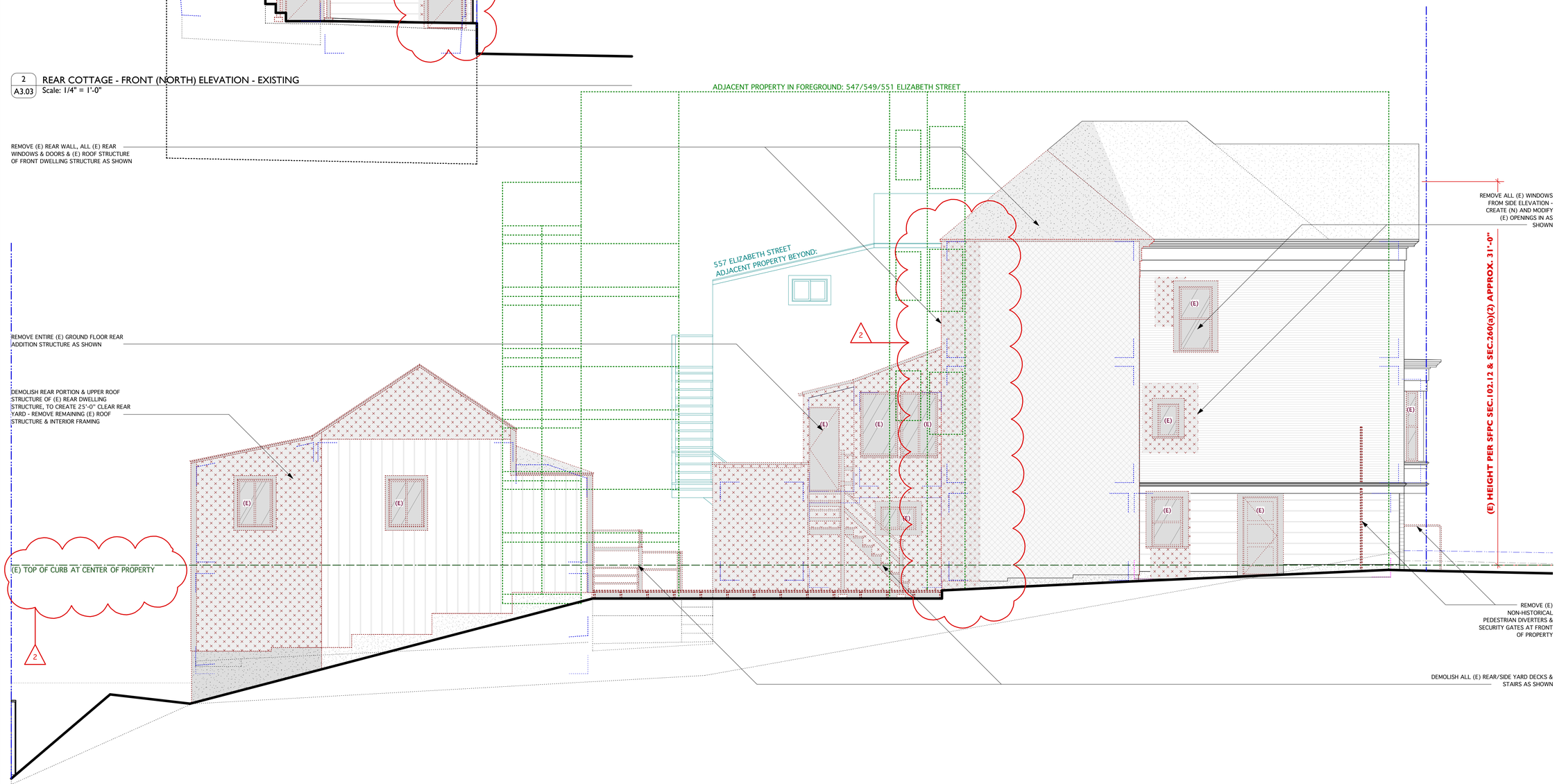
ELEVATIONS 2 - REAR - EXISTING

A3.02

file location :
plot date :
file name :




2 / A3.03 REAR COTTAGE - FRONT (NORTH) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"




1 / A3.03 SIDE (EAST) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
1025 islameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
| 03.19.2013 | 311 neighborhood outreach | jb |
| 04.02.2013 | project review meeting | jb |
| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |
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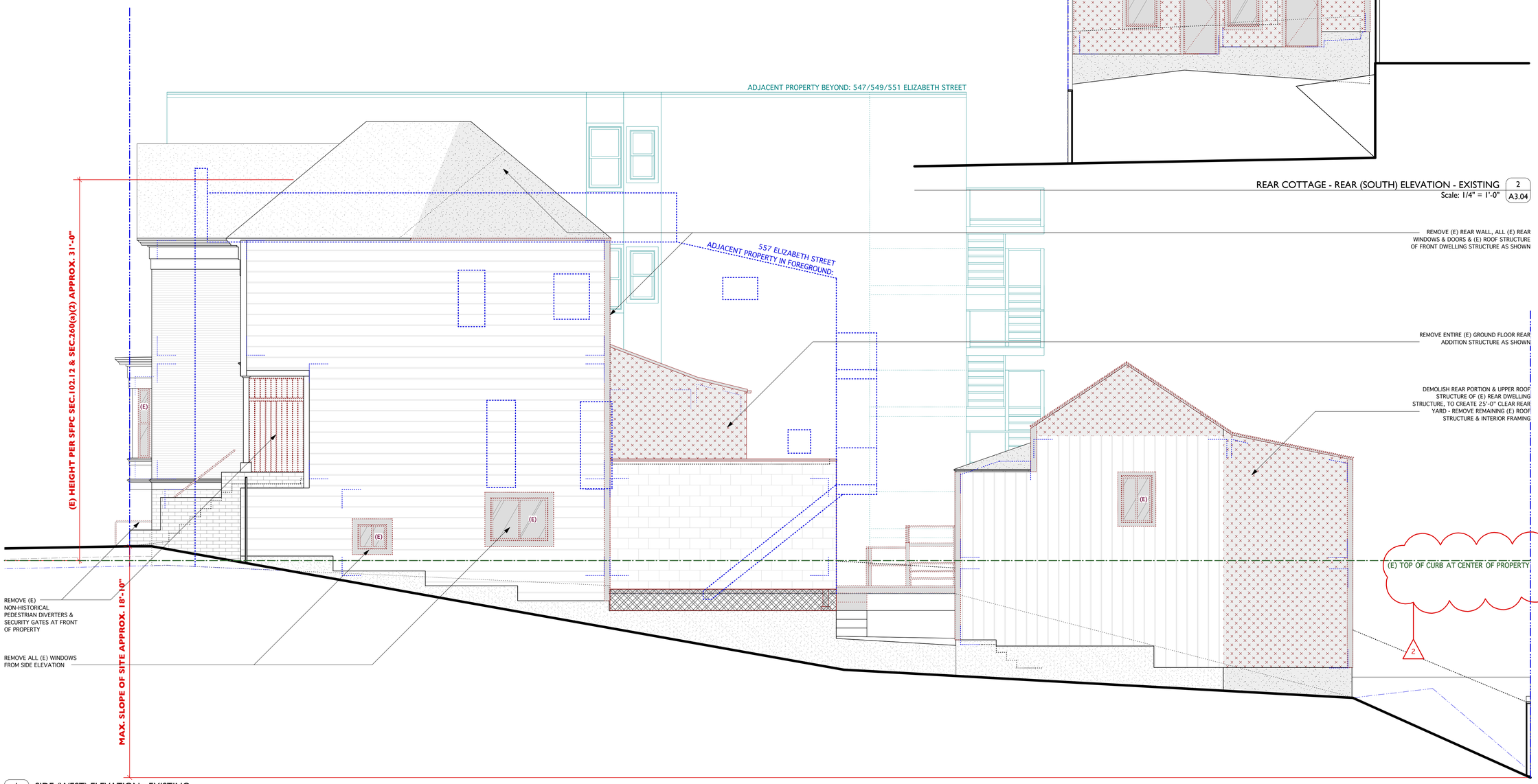
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

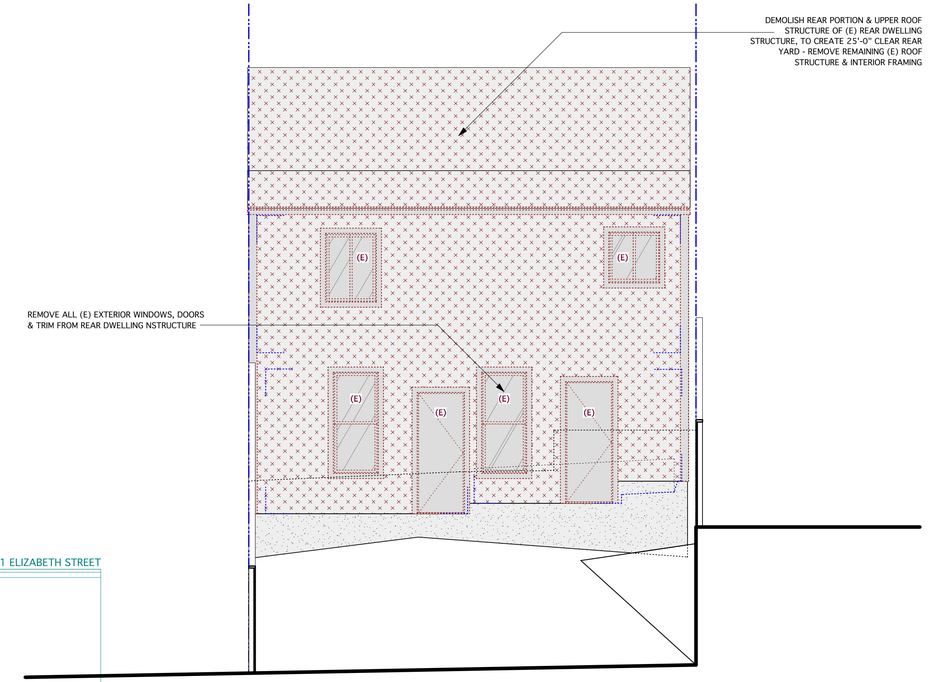
file location :
plot date :
file name :

ELEVATIONS 3 - EAST SIDE - PROPOSED

A3.03




1 A3.04 SIDE (WEST) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"




2 A3.04 REAR COTTAGE - REAR (SOUTH) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

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3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
| 04.02.2013 | project review meeting | jlb |
| 04.12.2013 | 311/site permit submittal | jlb |
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| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

ELEVATIONS 4 - WEST SIDE - PROPOSED

A3.04

file location :
plot date :
file name :

1 / A3.05 FRONT (NORTH) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client : 553 elizabeth llc
1025 alameda, #401
belmont, ca 94002

| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jlb |
| 03.19.2013 | 311 neighborhood outreach | jlb |
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| 05.23.2013 | variance submittal | jlb |
| 10.03.2013 | 311/site permit rev.2 submittal | jlb |
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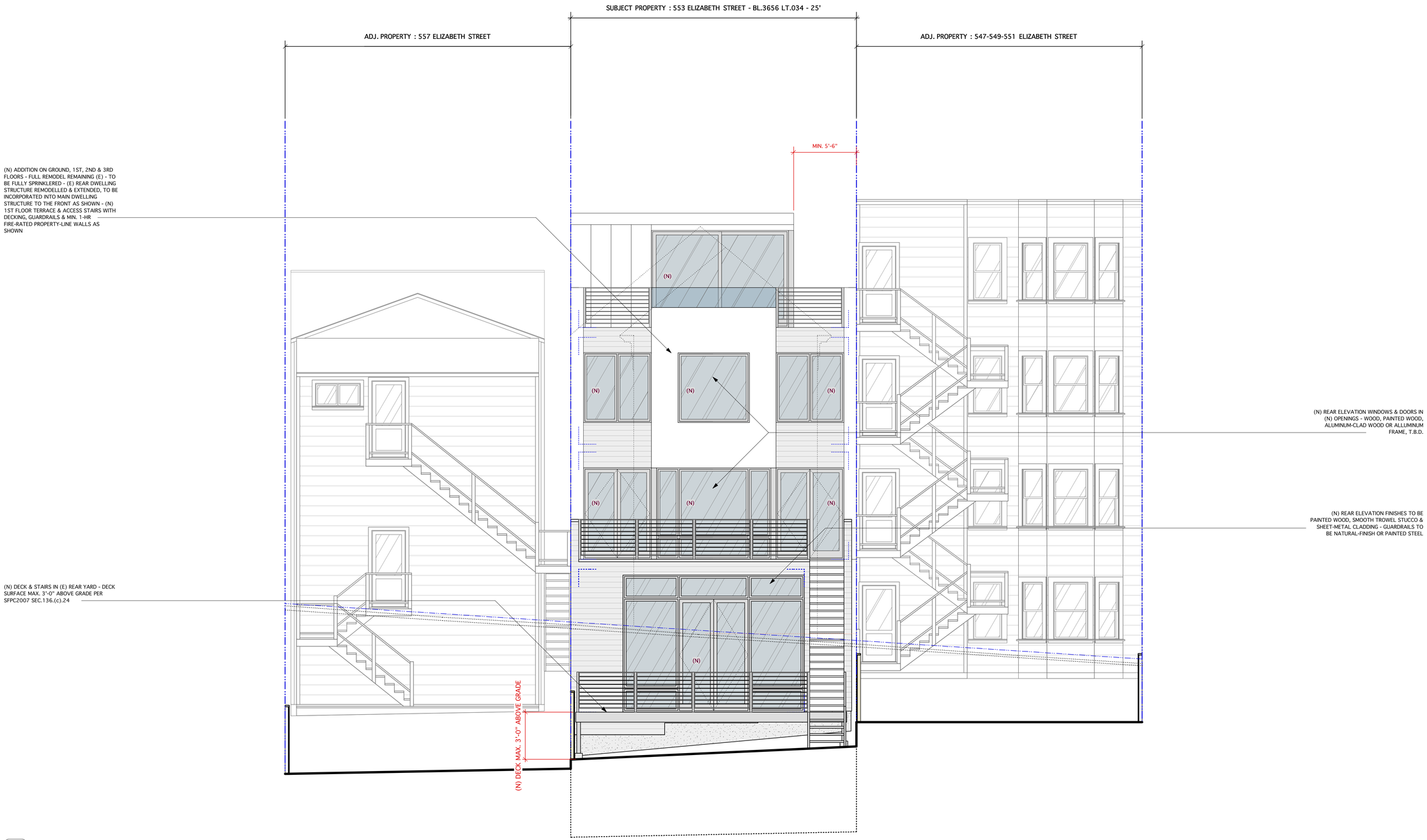
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

## ELEVATIONS 1 - FRONT - PROPOSED

A3.05

file location :
plot date :
file name :




1 A3.06 REAR (SOUTH) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
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1025 alameda, #401
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| date : | issues/ revisions : | by : |
|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
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| 10.03.2013 | 311/site permit rev.2 submittal | jb |
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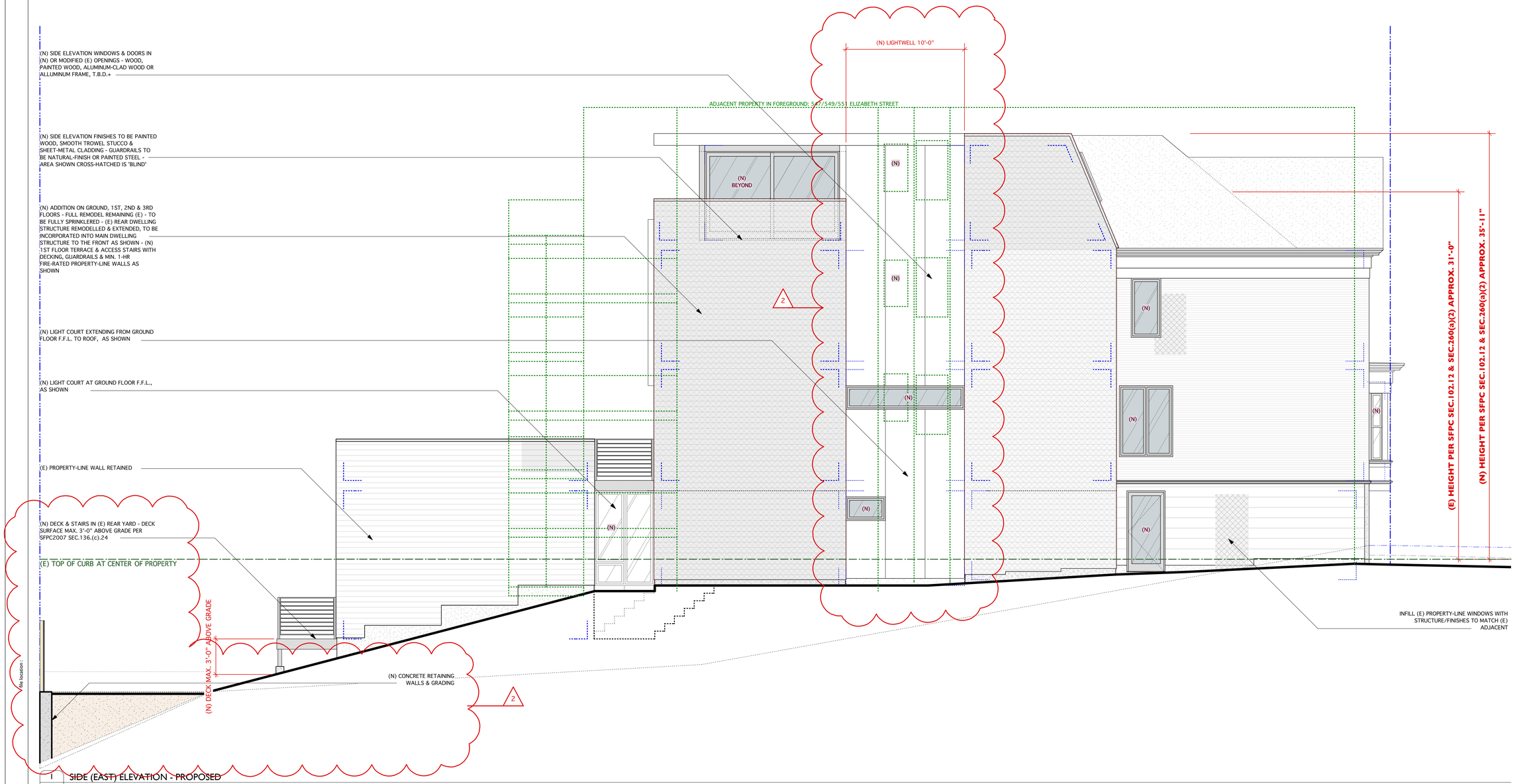
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

ELEVATIONS 2 - REAR - PROPOSED

A3.06

file location :
plot date :
file name :




1 A3.07 SIDE (EAST) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

plot date :
file name :
file location :

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
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| date : | issues/ revisions : | by : |
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| 03.01.2013 | environmental evaluation application | jb |
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| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |
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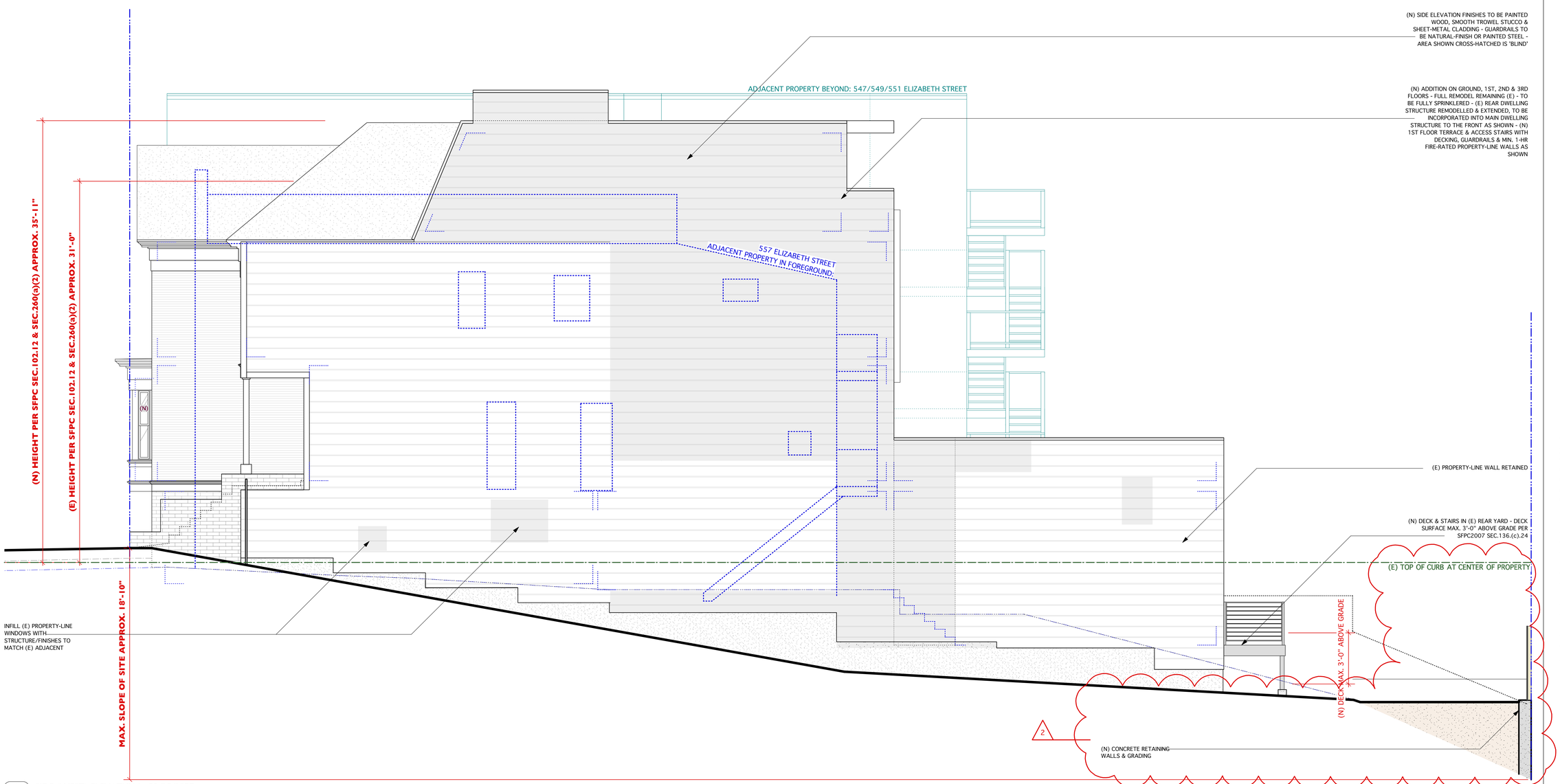
project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

ELEVATIONS 3 - EAST SIDE - PROPOSED

A3.07




1 / A3.08 SIDE (WEST) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

10.31.13.

# 553 ELIZABETH ST RESIDENCE REMODEL

553 ELIZABETH STREET
SAN FRANCISCO, CA 94114
BLOCK 3656 - LOT 034

client :
553 elizabeth llc
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|---|---|---|
| 03.01.2013 | environmental evaluation application | jb |
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| 04.12.2013 | 311/site permit submittal | jb |
| 05.23.2013 | variance submittal | jb |
| 10.03.2013 | 311/site permit rev.2 submittal | jb |
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project name : 553 elizabeth residence
project number : -
scale : 1/4" = 1'-0"

ELEVATIONS 4 - WEST
SIDE - PROPOSED

A3.08

file location :
plot date :
file name :