



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 24, 2013**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3524 18th Street	Case No.:	2013.0251V
Cross Street(s):	Valencia/Dearborn Street	Building Permit:	2013.01.31.9223
Block /Lot No.:	3577/005A	Applicant/Agent:	Michael Ogrinc
Zoning District(s):	Valencia NCT / 55-X	Telephone:	(415)531-0960
Area Plan:	Mission	E-Mail:	principal@mikeogrinc.com

PROJECT DESCRIPTION

The proposal is to in-fill the second and third floor over ground floor at the rear (northwest corner) of the two-family residential building, increasing the building square footage a total of 160 square feet. Also the exterior stairs located at the middle of the east edge of the building will be removed allowing the second and third floor to be increased approximately 34.5 square feet on each level. The proposal also includes interior remodeling, addition of interior stairs connecting the first and second floor, and a residential elevator connecting all three floors.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 26 feet 3 inches. The existing building already extends 5 feet into the required rear yard leaving a nonconforming rear yard of 21 feet 3 inches; therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Danielle J. Harris** Telephone: **(415) 575-9102** E-Mail: **danielle.j.harris@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0251V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **April 2nd, the Department issued the required Section 311/312 notification for this project (expires May 2, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

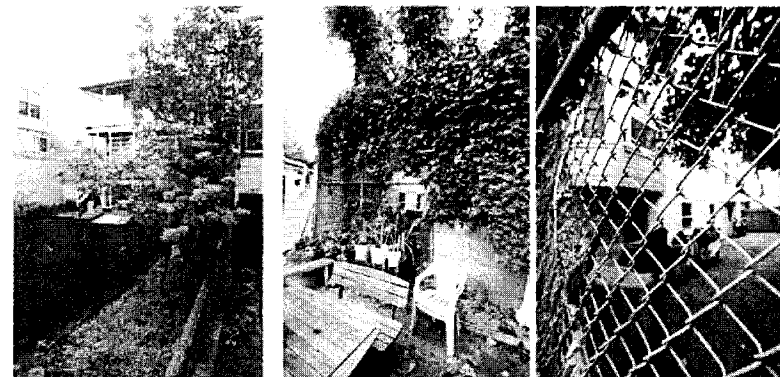
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

[illegible]

B A	REVISION FOR PLANNING	03/02/2013
	RELEASE FOR PLANNING DEPARTMENT REVIEW (SITE PERMIT)	01/28/2013
NUM.	ISSUE DESCRIPTION	DATE
REVISION LOG		
PROJECT NUMBER		12-10016-01
DRAWN BY		M.A. OGRINC
SCALE		As indicated



PROPERTY TO EAST

LOOKING WEST

PROPERTY TO WEST

6 REAR VIEW ADJACENT BUILDINGS

12" = 1'-0"



5 SUBJECT BUILDING REAR FACADE

12" = 1'-0"



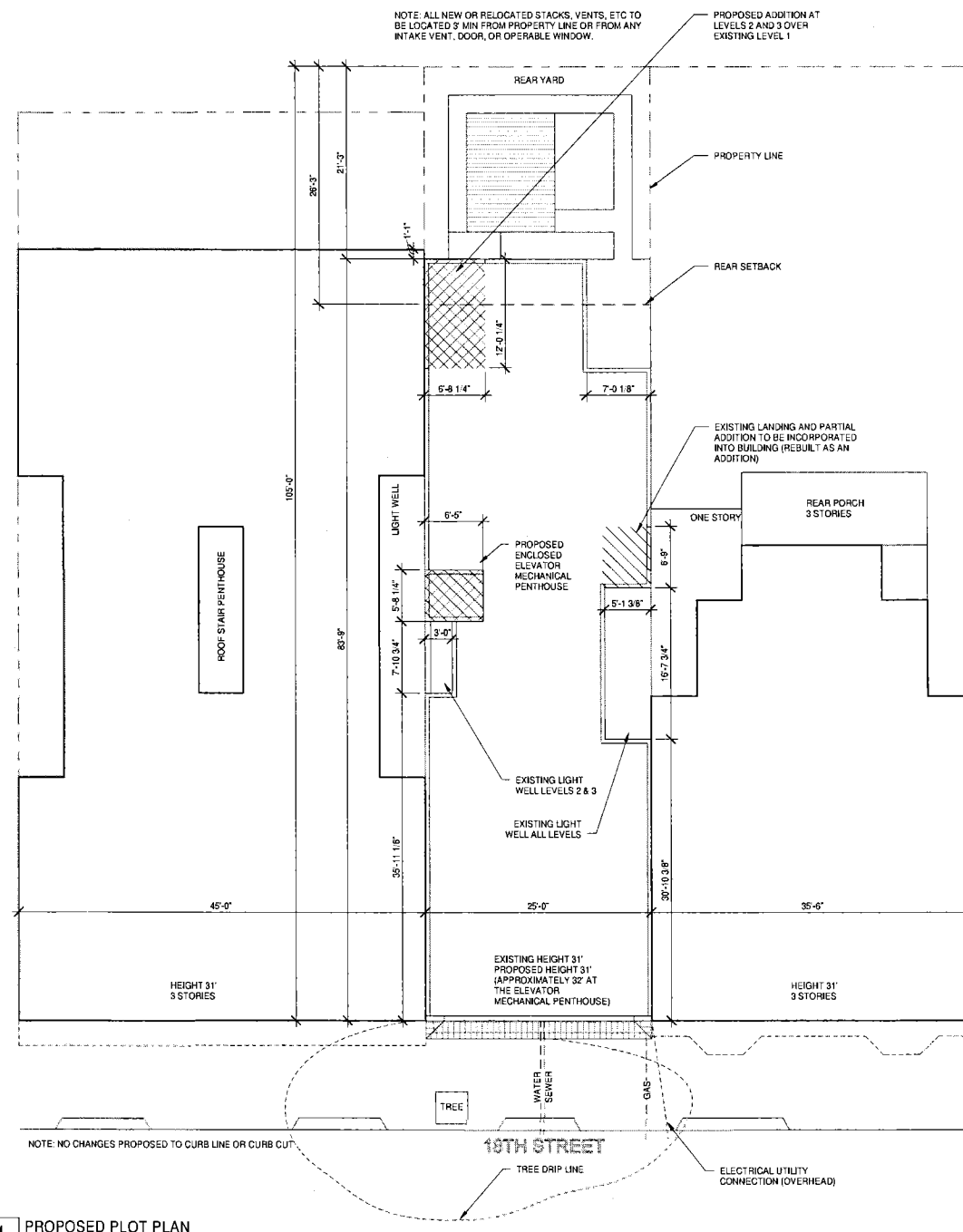
4 SUBJECT BUILDING FRONT FACADE



3 BUILDINGS FACING SIDE OF STREET



2 BUILDINGS SAME SIDE OF STREET



1 PROPOSED PLOT PLAN

1/8" = 1'-0"

490 Douglass Street
San Francisco, CA 94114
415 285 8550

McWALTERS
COLLABORATIVE
ARCHITECTURE
AND DESIGN

3075 Bateman Street
Berkeley, CA 94705
TEL 312.622.5836

JEFFREY &
STEPHANIE WINNER
BUILDING REMODEL
BLOCK 3577 - LOT 5A
3524-3526 18th STREET
SAN FRANCISCO, CA
94110-1619

SHEET NOTES

GENERAL SHEET NOTES

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DO NOT SCALE DRAWING.

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A RELEASE FOR PLANNING DEPARTMENT REVIEW (SITE PERMIT) 01/28/2013

NUM.	ISSUE DESCRIPTION	DATE
REVISION LOG		

PROJECT NUMBER 12-10016-01

DRAWN BY M.A. OGRINC

SCALE 1/4" = 1'-0"

BUILDING ELEVATIONS

A3

COPYRIGHT MICHAEL OGRINC DESIGN SF 2012

NOTE: HEIGHT LIMIT 55'

ADJACENT BUILDING OUTLINE

(N) EXTERIOR WEATHER RATED SHEATHING (NOT VISIBLE)

(E) WOOD DH

(E) PAINTED SHIP LAP SIDING

(E) WOOD DH

(E) SHIP LAP SIDING TYP

4 WEST PROPOSED (SIDE)
1/4" = 1'-0"

NOTE: HEIGHT LIMIT 55'

ADJACENT BUILDING - AT PROPERTY LINE

ADJACENT BUILDING - AT FIRST SETBACK

ADJACENT BUILDING - AT SECOND SETBACK

ADJACENT BUILDING BEHIND

(R) VINYL CASEMENT
(R) VINYL CASEMENT
(R) VINYL CASEMENT

(R) VINYL CASEMENT
(R) VINYL CASEMENT
(R) VINYL CASEMENT

(N) FIXED RATED

(N) FIXED RATED

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(N) FIXED RATED

(N) FIXED RATED

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(R) VINYL CASEMENT
(R) VINYL CASEMENT

(E) SECURITY GRILL (TYP)

(E) VINYL SLIDER

(E) WOOD DOOR

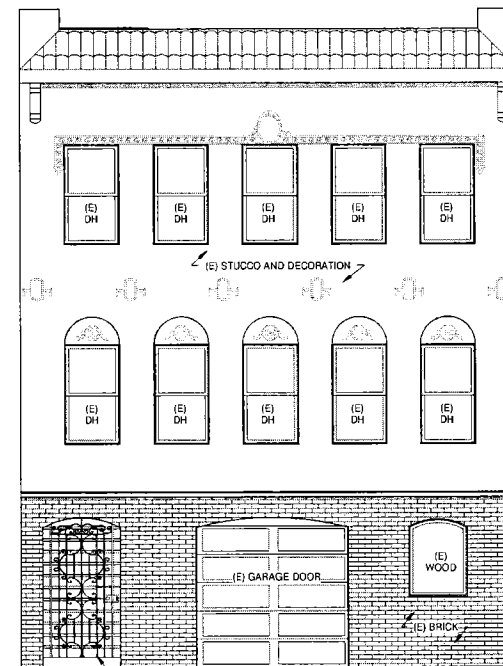
(E) VINYL SLIDER

(E) VINYL SLIDER

NOTE: FENESTRATION MAY CHANGE SOMEWHAT ONCE BUILDING INTERIOR DESIGN IS COMPLETE.

3 EAST PROPOSED (SIDE)
1/4" = 1'-0"

NOTE: HEIGHT LIMIT 55'

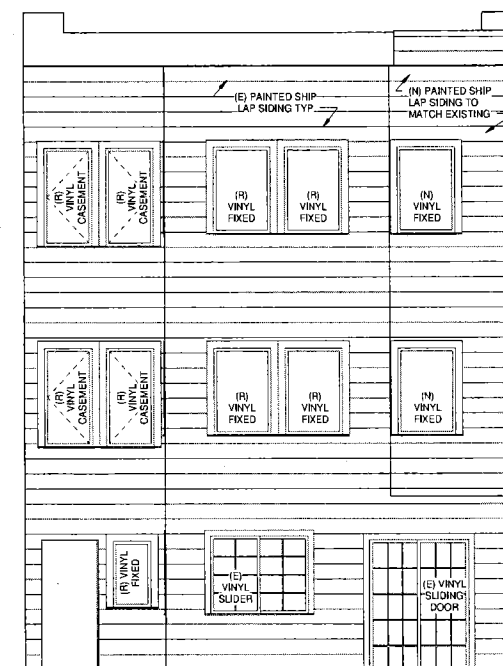


(E) PAINTED METAL SECURITY GATE
NOTE: PERMIT 201212035277 HAS BEEN APPROVED FOR REPLACEMENT / UPGRADE OF FRONT FACADE WINDOWS AT LEVEL 2 AND LEVEL 3.

NOTE: AS PART OF THE PROPOSED WORK, REPAIR WILL BE PERFORMED ON DAMAGED DECORATIVE MEDALLIONS.

2 SOUTH PROPOSED (FRONT)
1/4" = 1'-0"

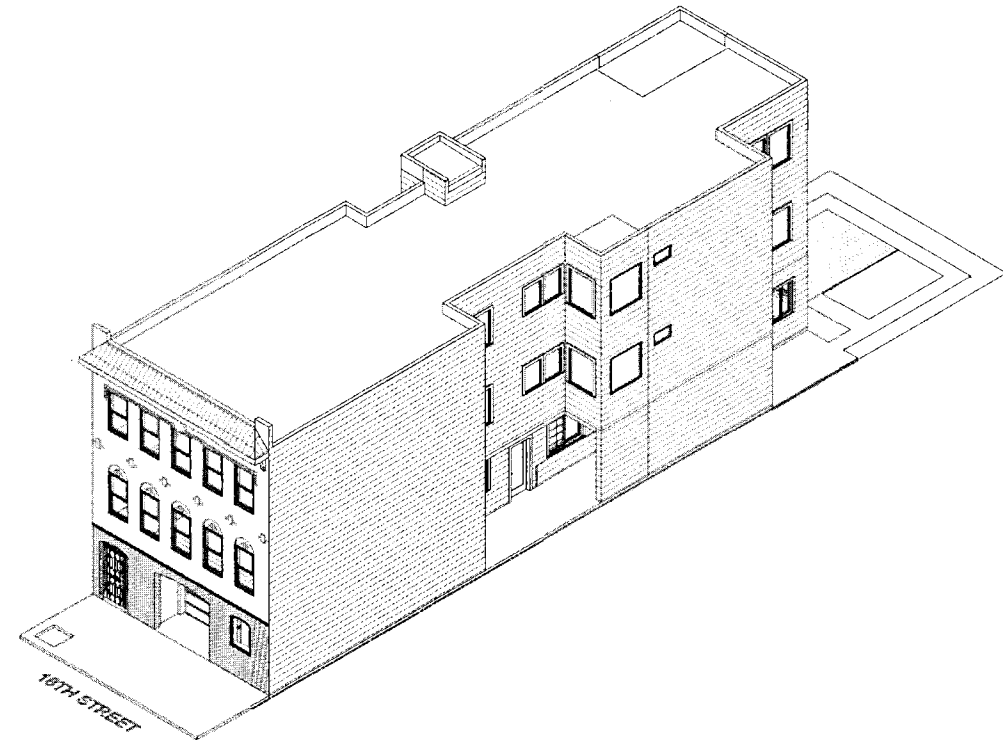
NOTE: HEIGHT LIMIT 55'



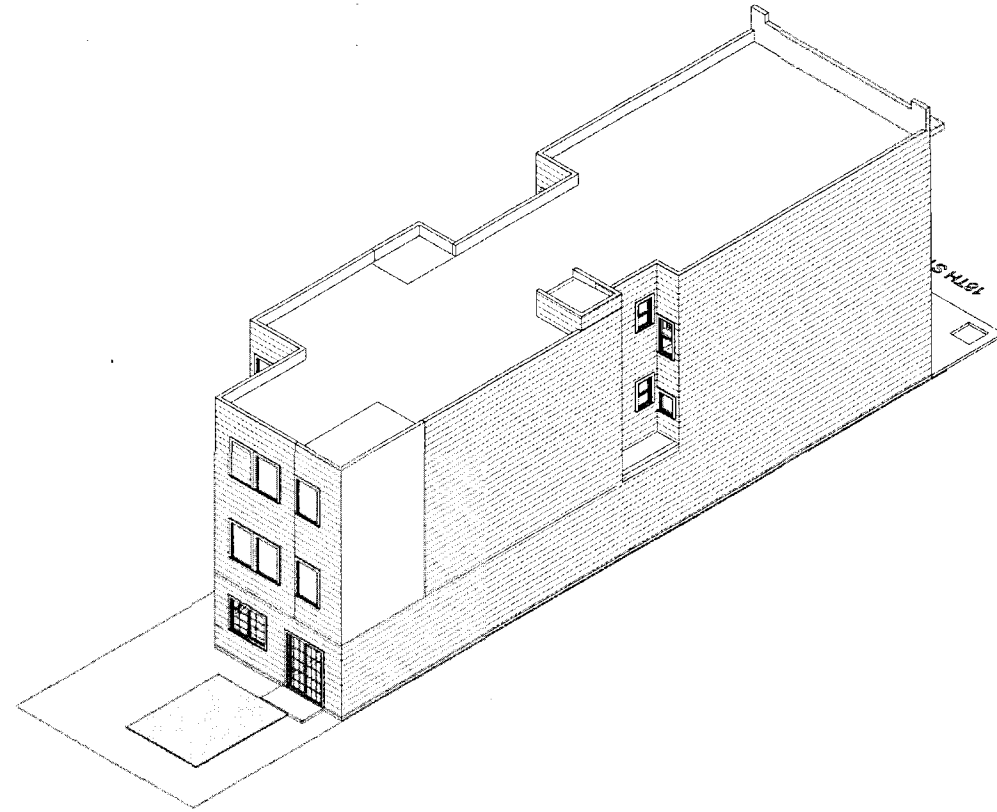
NOTE: FENESTRATION MAY CHANGE SOMEWHAT ONCE BUILDING INTERIOR DESIGN IS COMPLETE.
NOTE: STAIR DESIGN WILL BE FINALIZED ONCE VENDOR IS SELECTED.

1 NORTH PROPOSED (REAR)
1/4" = 1'-0"

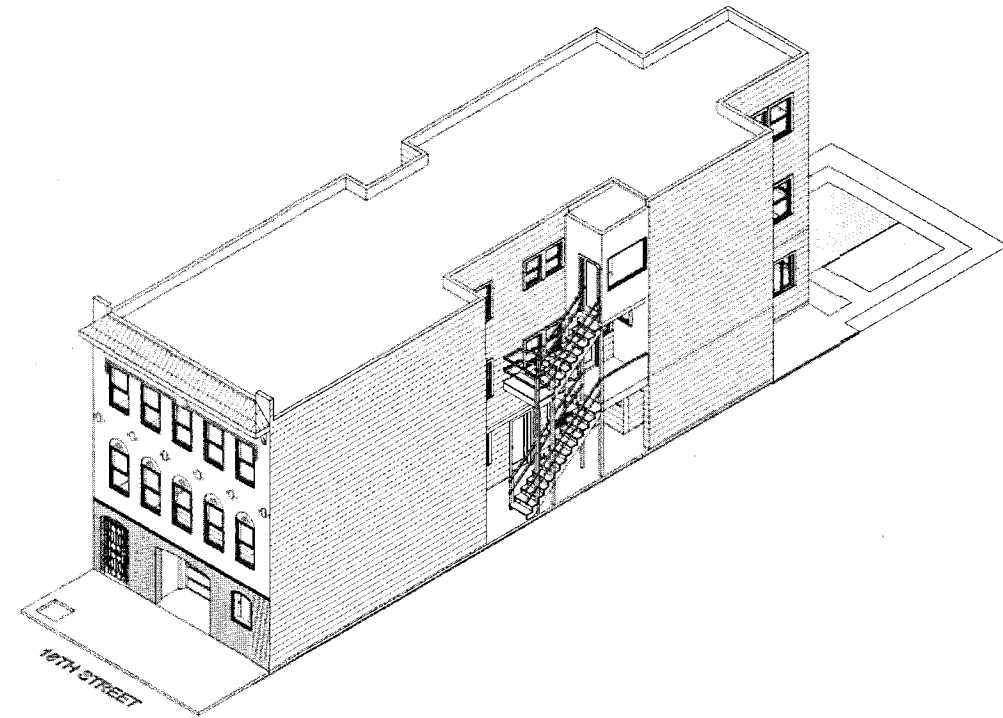
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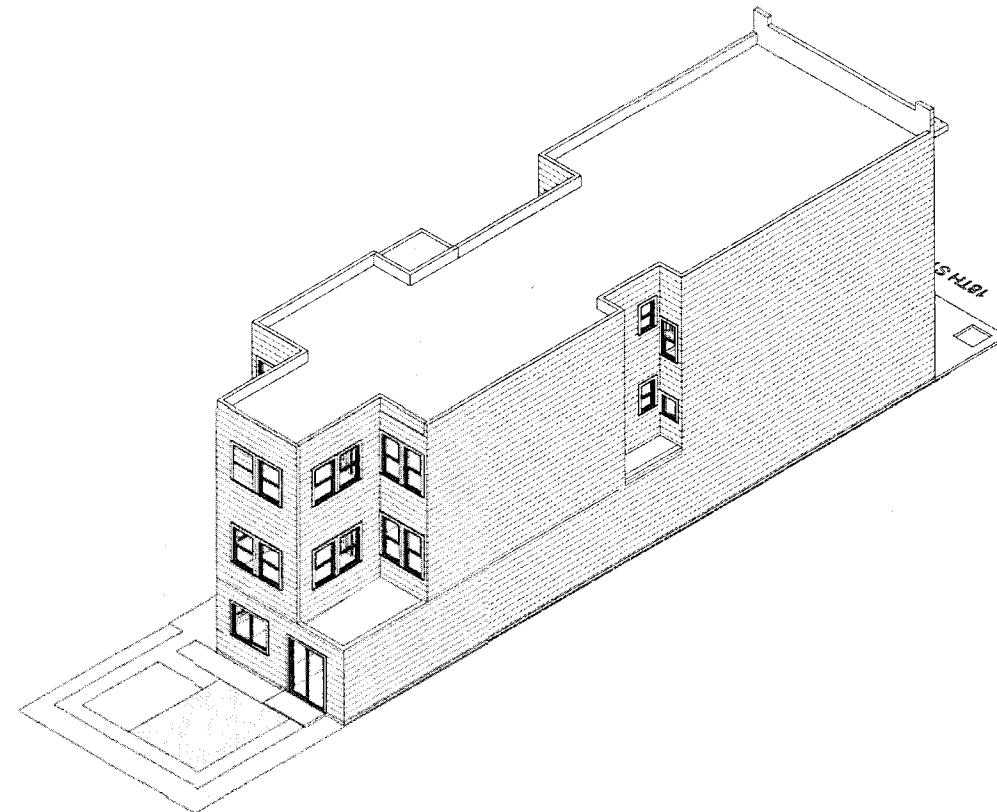
4 SOUTH-EAST - PROPOSED



2 NORTH-WEST - PROPOSED



3 SOUTH-EAST - EXISTING



1 NORTH-WEST - EXISTING



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DRAWN BY	M.A.OGRINC
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SCALE	
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BUILDING AXONOMETRICS

A4